

# MHM

PERMIT SET FOR

## MHA - MERCURY HOUSING PHASE I

MURFREESBORO HOUSING AUTHORITY

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130

PROJECT NO.: **22054**

ISSUED: MAY 11, 2023



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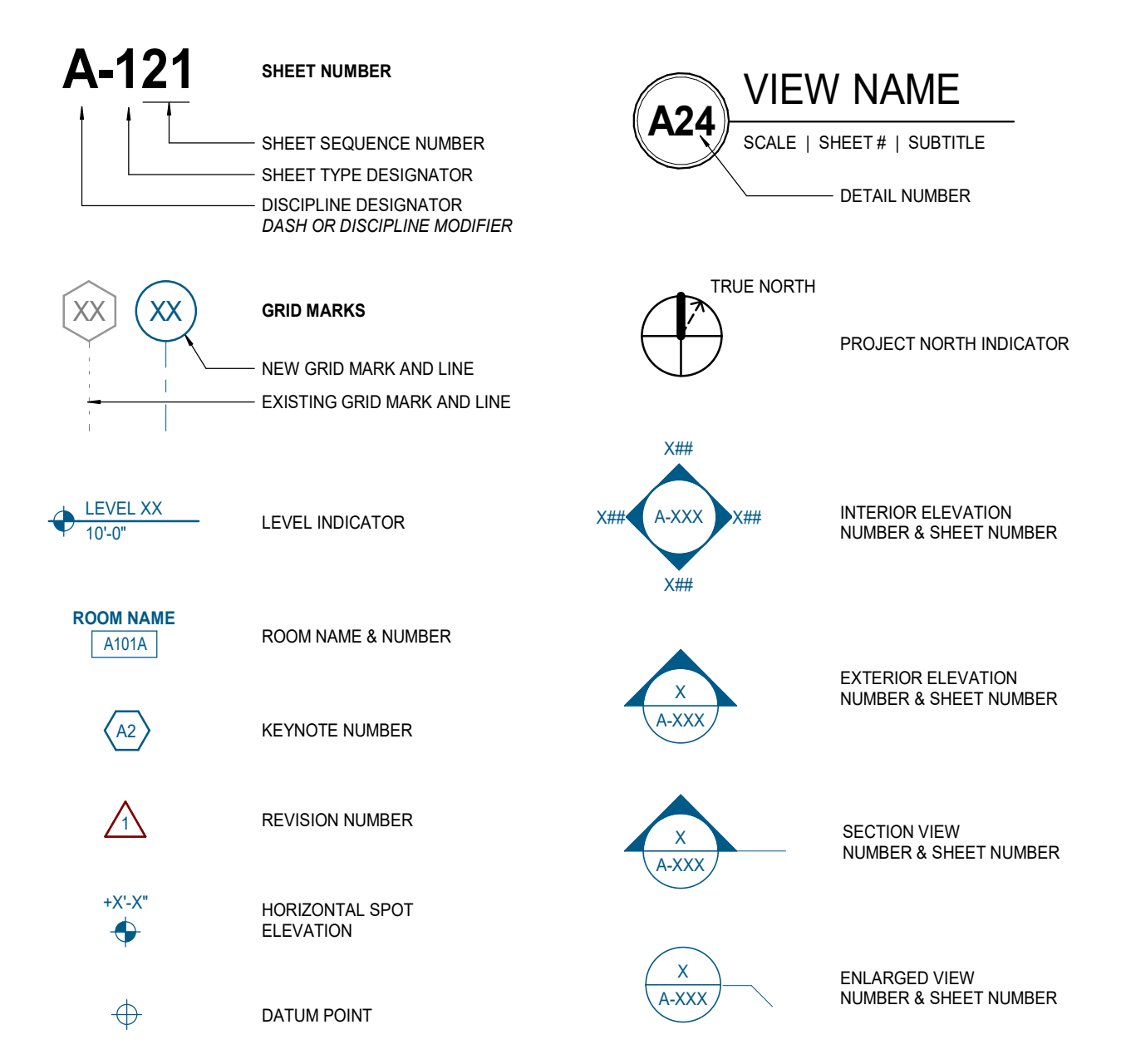
ELECTRICAL:  
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SHEET INDEX

Table with columns: SHEET NO., SHEET DESCRIPTION, ISSUE DATE, REV NO., ISSUED BY, REV DATE. Lists sheets for GENERAL, CIVIL, LANDSCAPE, ARCHITECTURAL, SITE ELECTRICAL, ELECTRICAL, and STRUCTURAL.

Table with columns: SHEET NO., SHEET DESCRIPTION, ISSUE DATE, REV NO., ISSUED BY, REV DATE. Lists sheets for PLUMBING, MECHANICAL, and SITE ELECTRICAL.

SYMBOLS LEGEND



UNIT SF LEGEND

Table with columns: UNIT TYPE, INTERIOR SF, EXTERIOR STORAGE SF, PORCH (FRONT/REAR). Lists units 2.1.A through 3.2.C with their respective square footages.

PROJECT GENERAL NOTES

- OWNER COORDINATION: 1. VERIFY THE BUILDING'S RULES FOR CONSTRUCTION WITH THE OWNER. 2. KEEP DRIVEWAYS, DOCKS AND ENTRANCES SERVING THE PREMISES CLEAR AND AVAILABLE TO THE LANDLORD AND THE OWNERS TENANTS AND VENDORS AT ALL TIMES... 3. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE OWNER PERTAINING TO THE USE OF THE BUILDING ENTRANCES, ELEVATORS, WORKING HOURS, NOISY WORK, ACCESS TO ADJACENT SPACES, SECURITY, OWNERSHIP OF SALVAGED ITEMS AND OTHER ITEMS DEEMED TO BE OF MUTUAL INTEREST. 4. AVOID INTERRUPTION OF SERVICES (ELECTRICAL, SIGNAL, MECHANICAL, FIRE PROTECTION, LIFE SAFETY, PLUMBING, ETC.) TO OCCUPIED AREAS OF THE BUILDING DURING CONSTRUCTION... 5. ALL WORK SHALL CONFORM TO ALL INDUSTRY AND MANUFACTURERS' PUBLISHED STANDARDS AND THE OWNERS REQUIREMENTS FOR QUALITY OF MATERIALS AND WORKMANSHIP... 6. PENETRATIONS IN THE EXTERIOR BUILDING WALL ARE NOT ALLOWED... 7. ALL PENETRATIONS IN FLOOR SLABS MUST BE APPROVED BY THE OWNER. PERMITS AND SAFETY: 1. THE CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS. 2. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND THE WORKMEN ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT, OR ADJACENT TO THE PREMISES... 3. PROVIDE ALL NECESSARY TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC. AS REQUIRED DURING CONSTRUCTION. 4. THE CONTRACTOR SHALL PROVIDE TEMPORARY WALLS, AS REQUIRED, TO ENCLOSE AND BARRICADE WORK AREA... 5. DO NOT OBSTRUCT ACCESS TO EXISTING EXITS OR REDUCE THE WIDTH OF EXIT ACCESS CORRIDORS AND HALLWAYS. CONSTRUCTION COORDINATION: 1. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL PARTS OF THE WORK STATED OR IMPLIED SO THAT NO WORK IS LEFT IN AN UNFINISHED OR INCOMPLETE CONDITION. 2. WHERE SPECIAL COORDINATION IS NECESSARY, PREPARE MEMORANDA FOR DISTRIBUTION TO EACH PARTY INVOLVED... 3. COORDINATE CONSTRUCTION ACTIVITIES INDICATED ON CONTRACT DOCUMENTS TO ASSURE EFFICIENT, ORDERLY, COMPLETE AND OPERATIONAL INSTALLATIONS OF EACH PART OF THE WORK... 4. WHERE AVAILABILITY OF SPACE IS LIMITED, COORDINATE INSTALLATION OF DIFFERENT COMPONENTS TO ASSURE MAXIMUM ACCESSIBILITY OF REQUIRED MAINTENANCE, SERVICE AND REPAIR. 5. COORDINATE TRADES TO PATCH FINISHES THAT ARE DAMAGED AS A RESULT OF CUTTING IN WORK. 6. COORDINATE INSTALLATION OF DIFFUSERS, SPEAKERS, SPRINKLER HEADS, AND ACCESS PANELS WITH LIGHTING LAYOUT. REPORT ANY CONFLICTS TO THE ARCHITECT PRIOR TO INSTALLATION. CONTRACT DOCUMENTS: 1. REFER TO COMPLETE SET OF ISSUED CONTRACT DOCUMENTS FOR APPLICABLE NOTES, ABBREVIATIONS, AND SYMBOLS... 2. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE INTENDED TO INCLUDE OR IMPLY ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. 3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS IN THE DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING HIS BID PRICE... 4. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. 5. LARGE SCALE DRAWINGS GOVERN OVER SMALL SCALE DRAWINGS... 6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, BENCHMARKS, WORKPOINTS, SPOT ELEVATIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE... 7. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE SLAB UNLESS OTHERWISE NOTED. 8. FIELD MEASURE AND CONFIRM DIMENSIONS FOR D.F.C.I. EQUIPMENT. 9. EXIT SIGNS AND SMOKE DETECTORS LOCATED IN HARD CEILINGS SHALL BE POSITIONED AS REQUIRED BY THE AUTHORITY... 10. EQUIPMENT AND FURNITURE SHOWN ARE NOT INCLUDED IN CONTRACT UNLESS OTHERWISE NOTED. CONSTRUCTION: 1. NEW AND EXISTING OPENINGS IN RATED WALL, FLOOR, CEILING, AND ROOF ASSEMBLIES SHALL BE SEALED WITH PENETRATION SEALANT SYSTEMS... 2. MAINTAIN THE FIRE RATINGS OF CONSTRUCTION AROUND CABINETS, PANELS, AND BOXES RECESSED IN RATED WALL, FLOOR, AND CEILING ASSEMBLIES. 3. APPROVE FLOOR OUTLET LOCATIONS WITH ARCHITECT AND OWNER PRIOR TO CORE DRILLING. 4. PROVIDE NON-COMBUSTIBLE STIFFENERS, BRACING, BACKING PLATES AND BLOCKING REQUIRED FOR SECURE INSTALLATION OF DOORS AND DOOR HARDWARE... 5. LEVEL FLOOR THAT EXCEED 1/4" VARIANCE IN A 10'-0" RADIUS. 6. ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION. 7. ALL EXTERIOR STEEL HANDRAILS, GUARDRAILS, AND BOLLARDS SHALL BE GALV. AND PAINTED... 8. PIPING LOCATED ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED IN FURRED SPACES... 9. PROVIDE CONTINUOUS PERIMETER FIRE SAFING BETWEEN FLOORS AND COORDINATE THE INSTALLATION WITH THE EXTERIOR WALL FIRE RATINGS OF SAFING SHALL MATCH FIRE RATING OF FLOOR CONSTRUCTION. EXISTING AND COMPLETED WORK: 1. CLEAN AND PROTECT CONSTRUCTION IN PROGRESS AND ADJOINING MATERIALS IN PLACE... 2. CLEAN AND MAINTAIN COMPLETED CONSTRUCTION AS FREQUENTLY AS NECESSARY THROUGHOUT THE DURATION OF THE CONSTRUCTION PERIOD.

Project Information:

22054

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MURFREESBORO, TN 37130



Consultant:

Table with columns: #, ISSUED BY, DATE. Shows revision 1 issued by M. Butler on 08/23/2023.

Issue Date: MAY 11, 2023  
PIC: M. BUTLER  
PM: M. BUTLER  
PA: G. TAYLOR, C. MYERS  
Drawn By: Author  
Checked By: Project Checked By

Sheet Information:

G-001

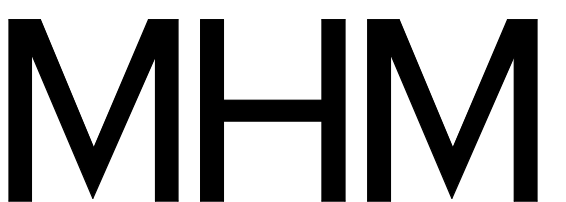
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LOCAL ZONING ORDINANCE REQUIREMENTS
BUILDING REQUIREMENTS
OCCUPANCY CLASSIFICATION (CHAPTER 3)
GENERAL BUILDING HEIGHTS AND AREAS (CHAPTER 5)



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Project Information:

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MURFREESBORO, TN 37130



Consultant:

Table with 2 columns: #, ISSUED BY, DATE

Issue Date: MAY 11, 2023
PIC: M. BUTLER
PM: M. BUTLER
PA: G. TAYLOR C. MYERS
Drawn By: Author
Checked By: Project Checked By

Sheet Information:

G-100

PROJECT CODE INFORMATION

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6/30/2023 2:03:04 PM

Notes:

- 1) Engineering Department Point of Contact is Katie Noel, 615-893-6441; KNoel@MurfreesboroTN.gov
- 2) Planning Department Point of Contact is Holly Smith, 615-893-6441; HSmith@MurfreesboroTN.gov

# Mercury Park

## Blocks 2 & 3

### Murfreesboro, Tennessee

#### Preliminary Plat, Site Plan, & Construction Drawings

Drawing Index

Sheet No.	Title
C-000	Cover Sheet
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C-302	EPSC Details
C-400-401	Details



**Site Location Map**  
Not To Scale

**Owner/Developer:**  
Murfreesboro Housing Authority  
P.O. Box 278  
Murfreesboro, TN 37133

**Deed Reference:**  
Tax Map 102D, Group G, Parcel 9.00  
Tax Map 103N, Group N Parcel 22.00 & 23.00

**Yard Requirements:**  
Front: 10'  
Side: 10'  
Rear: 10'

**Intended Use:**  
Single Family Detached & Duplex

**Land Use Data:**  
Zoned: PUD (2021-414)  
14: 1-Story Building  
Building Ht.: 14'-0"  
10: 2-Story Building  
Building Ht.: 23'-8"  
Total # of Units: 34 Units  
Total # of Structures: 24  
Total Floor Area: 32,881 Sq.Ft.  
2 Lot on: 4.34± Acres  
34 Dwelling = 7.83 Dwelling  
4.34 Acres = 7.83 Acres

Pavers: 15,404 Sq.Ft.  
Private Concrete: 27,788 Sq.Ft.  
Concrete In R.O.W.: 8,641 Sq.Ft.

**F.A.R. = 32,881 Sq.Ft./4.34 Ac. = 0.17**

**Parking Requirement:**  
Per PUD  
Provided: 97 Driveways + 6 Visitors + 2 H.C. = 105 Total Spaces Provided

**Flood Map No.:**  
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C0260H dated January 5, 2007.

**SEC, Inc.** SITE ENGINEERING CONSULTANTS  
ENGINEERING • SURVEYING • LAND PLANNING  
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129  
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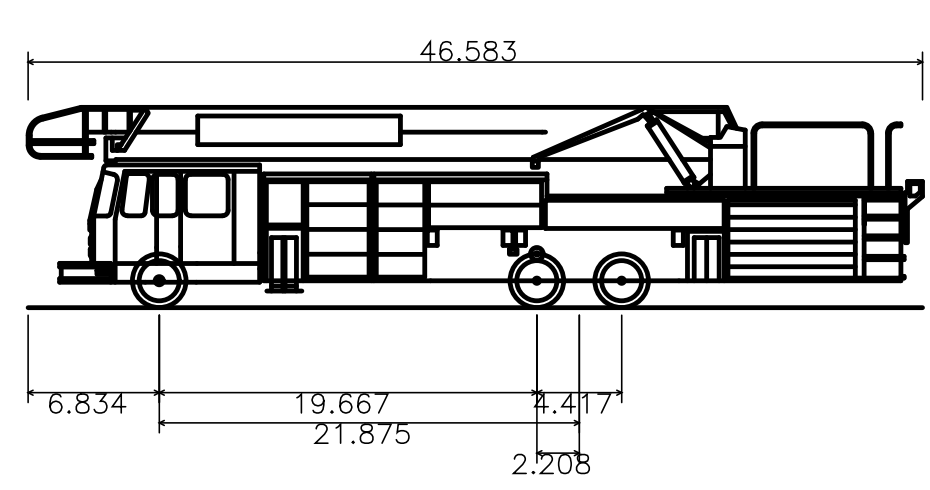
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By: \_\_\_\_\_ Date: \_\_\_\_\_  
Matthew A. Taylor, P.E. TN. Reg. #112515

**Watershed: Town Creek**  
Disturbed Area: 4.71± Ac.  
Existing Impervious Area: 2.01± Ac.  
Proposed Impervious Area: 2.13± Ac.

Sheet C-000  
Mercury Park  
S.E.C. Project #22820  
Submitted: 2-28-2023  
Revised: 5-3-2023  
5-11-2023

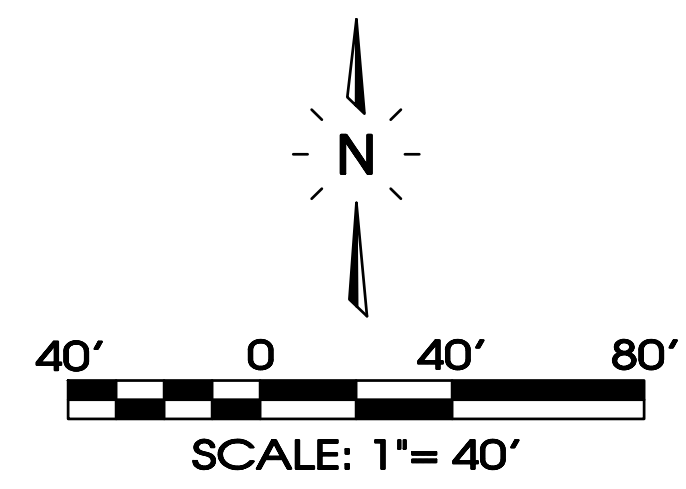


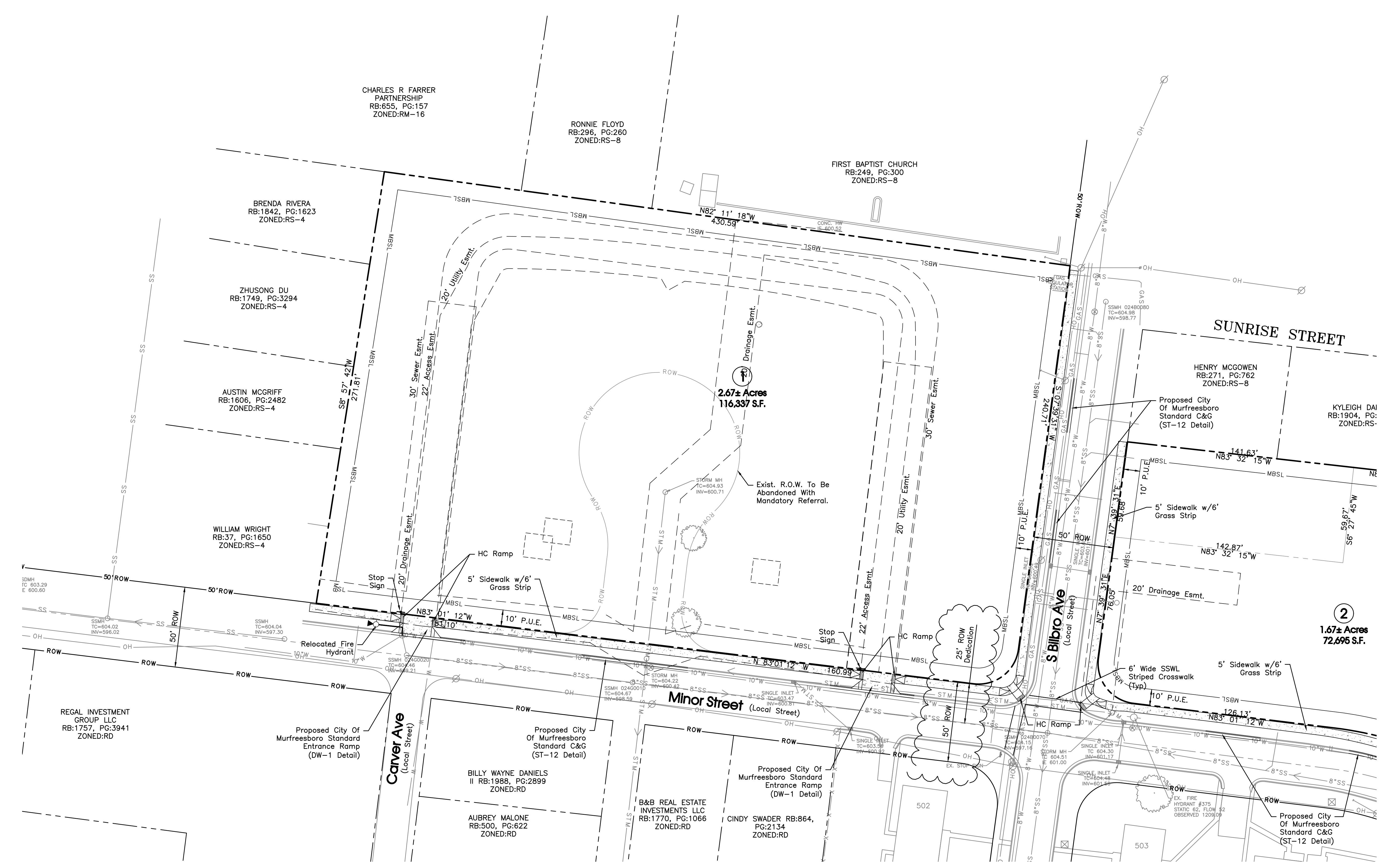


Murfreesboro Fire Truck  
Overall Length 46.583ft  
Overall Width 8.333ft  
Overall Body Height 10.432ft  
Min Body Ground Clearance 0.862ft  
Track Width 8.000ft  
Lock-to-lock time 4.00s  
Curb to Curb Turning Radius 36.750ft

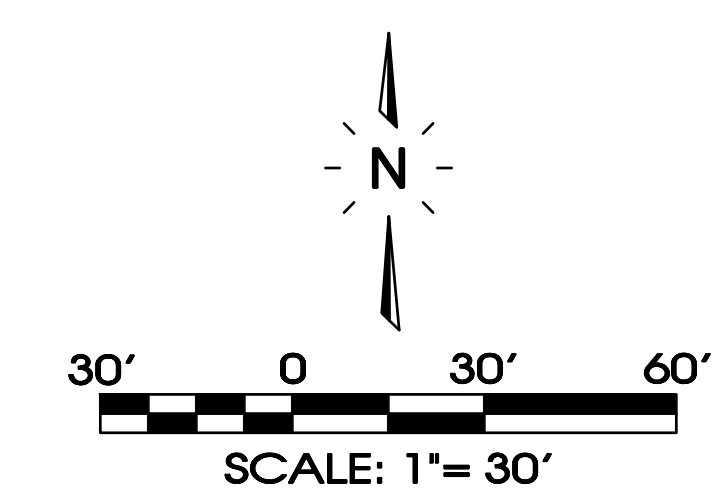
Survey Provided By Client.

**Data Table:**  
Existing Units = 25 Units  
Proposed Units = 34 Units  
+9 Units





Survey Provided By Client.



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LANDSCAPE ARCHITECTURE  
850 MIDDLE TENNESSEE BOULEVARD  
MURFREESBORO, TENNESSEE 37129  
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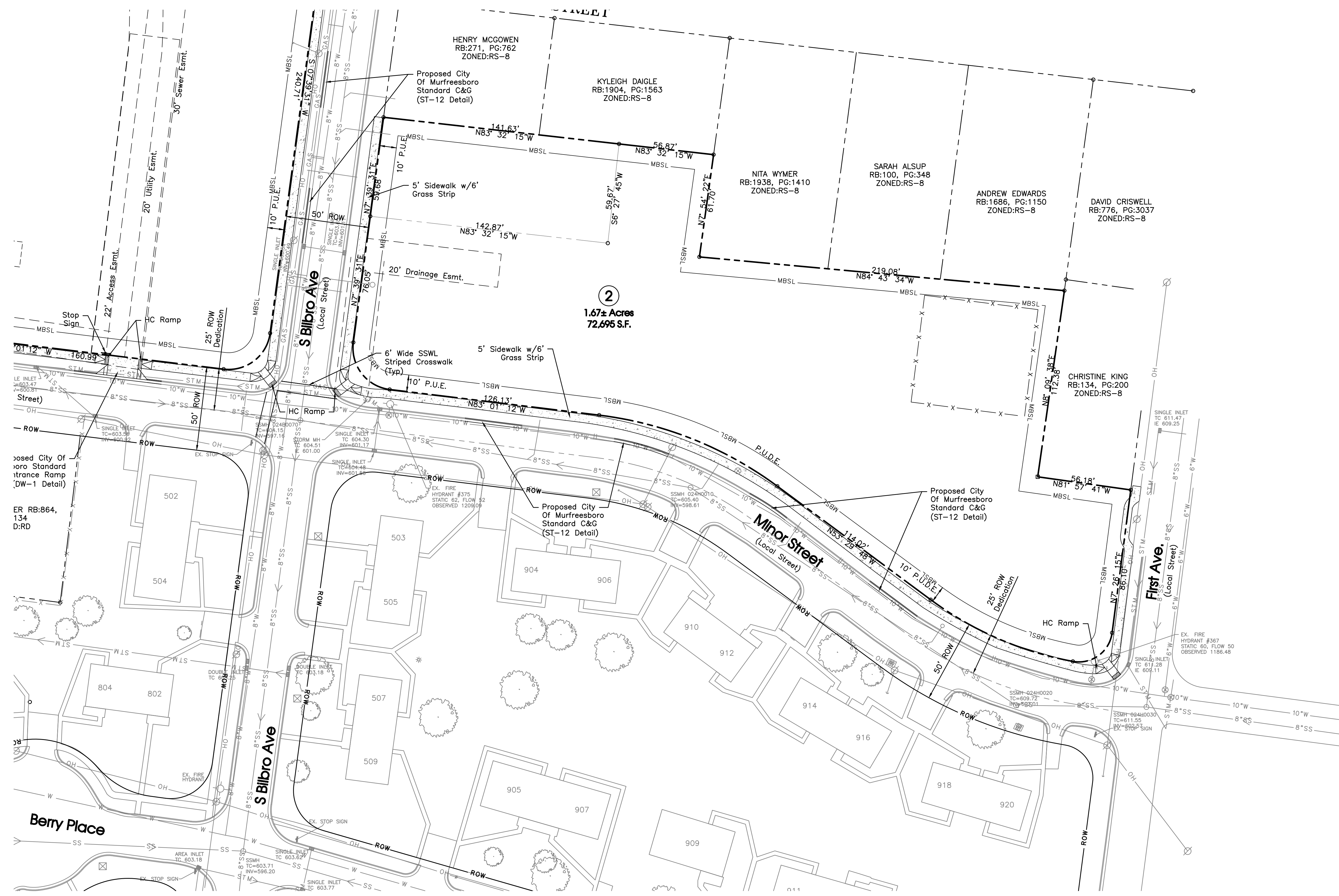
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1	STAFF COMMENTS	4-5-2023
2	STAFF COMMENTS	5-3-2023
3	CONSTRUCTION DOCUMENTS	5-11-2023

Issue Date:	FEBRUARY 28, 2023
PIC	M. BUTLER
PM	M. BUTLER
PA	G. TAYLOR C. MYERS
Drawn By:	PRN
Checked By:	M. TAYLOR

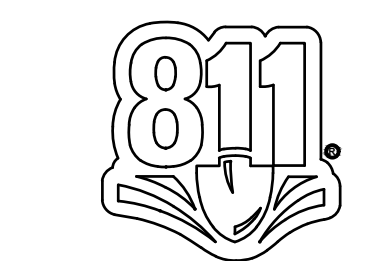
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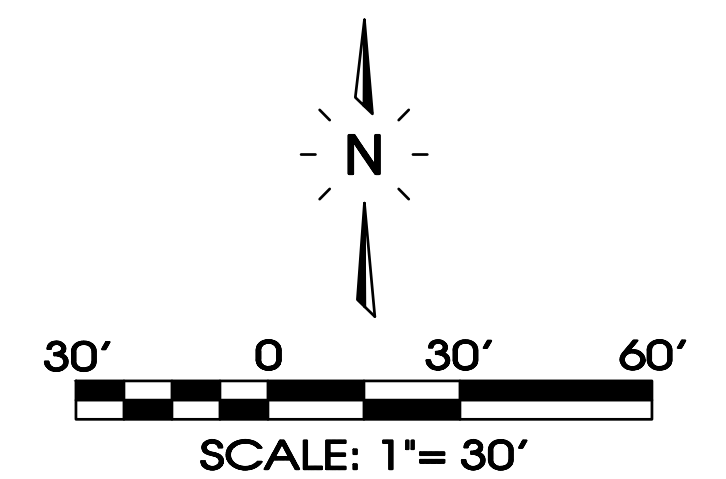
PRELIMINARY PLAT



Survey Provided By Client.



Know what's below.  
Call before you dig.

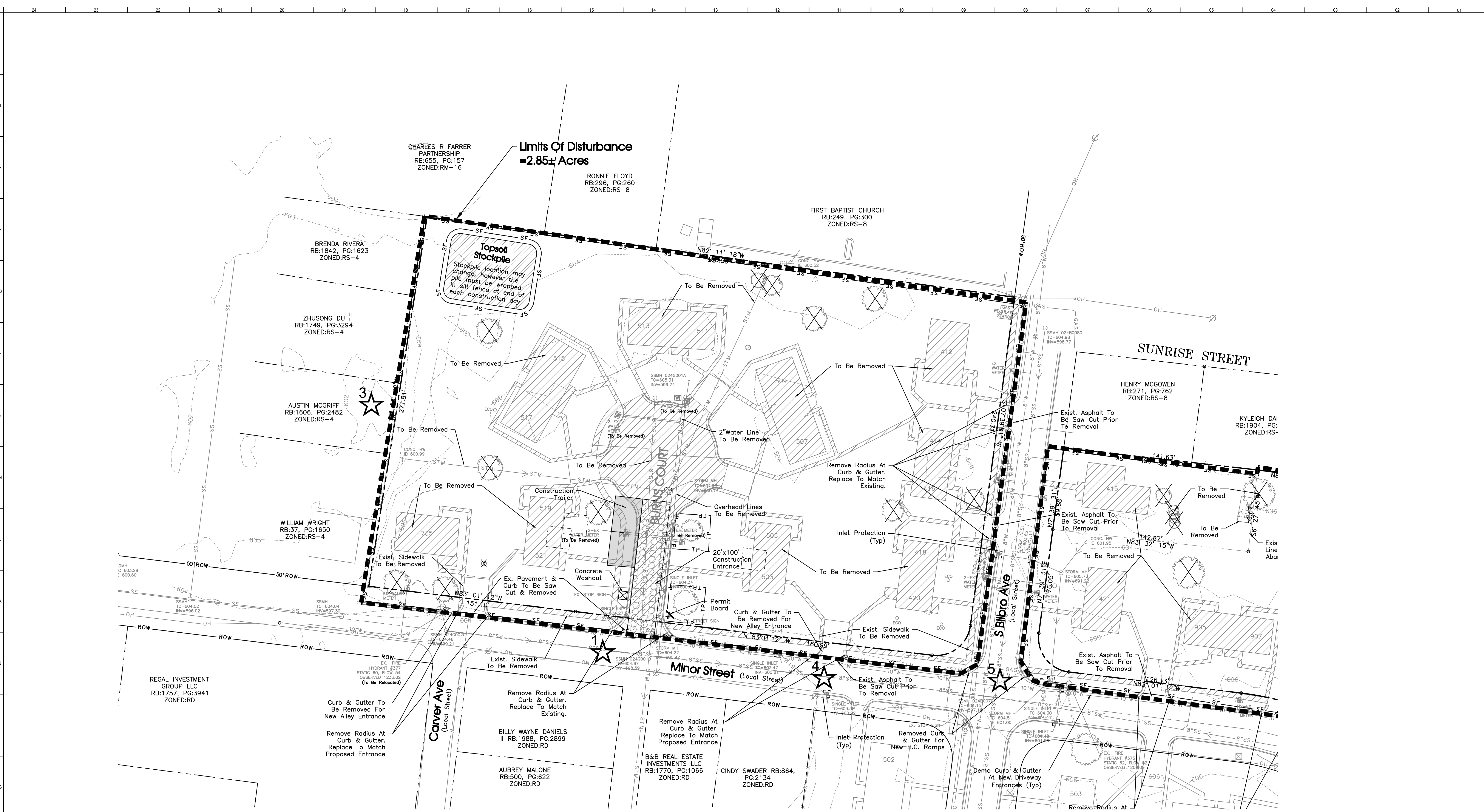


PRELIMINARY PLAT

1"=30' | (C-004)

SEC Project No.: 22820





**SWPPP Narrative:**  
During demolition and mobilization, the sediment and stormwater runoff will be controlled with certain Best Management Practices (BMPs). Silt fence will be installed on the down-slope sides of the site. The storm inlets will be protected with silt fence inlet protection until the stone base and pavements can be installed. A stone construction entrance will be installed upon mobilization of site to limit the tracking of mud and sediment onto the adjacent pavements and roadways. Covered dumpsters will be on site for disposal of trash and other debris. Paint and other potentially hazardous chemicals will be stored inside the building or otherwise approved weatherproof container. The contractor purchasing the materials will be responsible for legally disposing of the container. The contractor purchasing the materials will be responsible for legally disposing of the containers and excess materials in accordance with the manufacturers' recommendations. A washout area will be provided for the concrete trucks as required.

It is the contractor's responsibility during construction to install and maintain all sedimentation and storm water pollution prevention BMPs described above and detailed within the plans at all times, which includes regular removal and disposal of accumulated debris. All erosion and sediment controls must be maintained properly until the site is stabilized. Maintenance must include inspections of all erosion and sediment controls after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, re-grading, re-seeding, re-mulching and re-netting must be performed immediately. The developer will own and maintain the site after construction has been completed.

**Construction Sequence:**

1. Stake and/or flag limits of clearing.
2. During preconstruction meeting oil erosion & sediment control facilities & procedures shall be discussed.
3. Clear & grub, as necessary, for installation of perimeter controls.
4. Demo trees as shown.
5. Install silt fence perimeter controls as shown on plans.
6. Install construction entrance and concrete washout facility, if conditions are such that mud is collecting on vehicle tires, the tires must be cleaned before the vehicles enter the public roadway. The site entrance shall be maintained in a condition that will prevent the tracking or flow of mud onto the public right-of-way. All materials spilled, dropped, washed or tracked from vehicles onto the roadway must be removed promptly.
7. Clear & grub the remaining site as necessary.

**EPSC Phasing**

- |               |   |
|---------------|---|
| Initial:      | Silt Fence Along Downgradient Perimeter Construction Entrance Temp. Conc. Washout |
| Intermediate: | Filter Fabric Inlet Protection Silt Fence To Protect Ditches                      |
| Final:        | Landscaping & Grass Sod Of All Pervious Areas (See Landscaping Plan)              |

General Contractor Shall Install All Initial EPSC Measures Prior To Any Earthwork Beginning.  
Survey Provided By Client.

**EXISTING ON-SITE CONDITIONS**

COVER	SCS CLASSIFICATION	AREA (Ac)
HOUSES, ROADS, SIDEWALKS, LAWNS	RESIDENTIAL DISTRICT, 38% IMPERVIOUS B-SOILS, CN=75	4.72
COMPOSITE CN=75		

**PROPOSED ON-SITE CONDITIONS**

COVER	SCS CLASSIFICATION	AREA (Ac)
HOUSES, ROADS, SIDEWALKS, LAWNS	RESIDENTIAL DISTRICT, 65% IMPERVIOUS B-SOILS, CN=85	4.72
COMPOSITE CN=85		

**Demo Legend**



**INITIAL OUTFALLS**

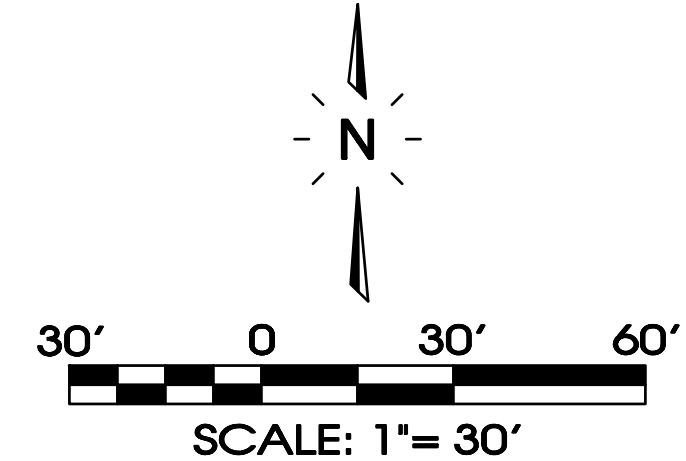
NUMBER	DESCRIPTION	AREA	SLOPE	LAT.	LONG.
1	CONSTRUCTION EXIT - MINOR STREET	0.10	0-1%	35.8382	-86.3785
2	CONSTRUCTION EXIT - 1ST AVENUE	0.10	0-1%	35.8378	-86.3759
3	WEST SILT FENCE	1.41	3-6%	35.8386	-86.3791
4	SOUTH SILT FENCE	1.07	3-6%	35.8381	-86.3782
5	S BILBRO AVENUE	2.04	3-6%	35.8381	-86.3776

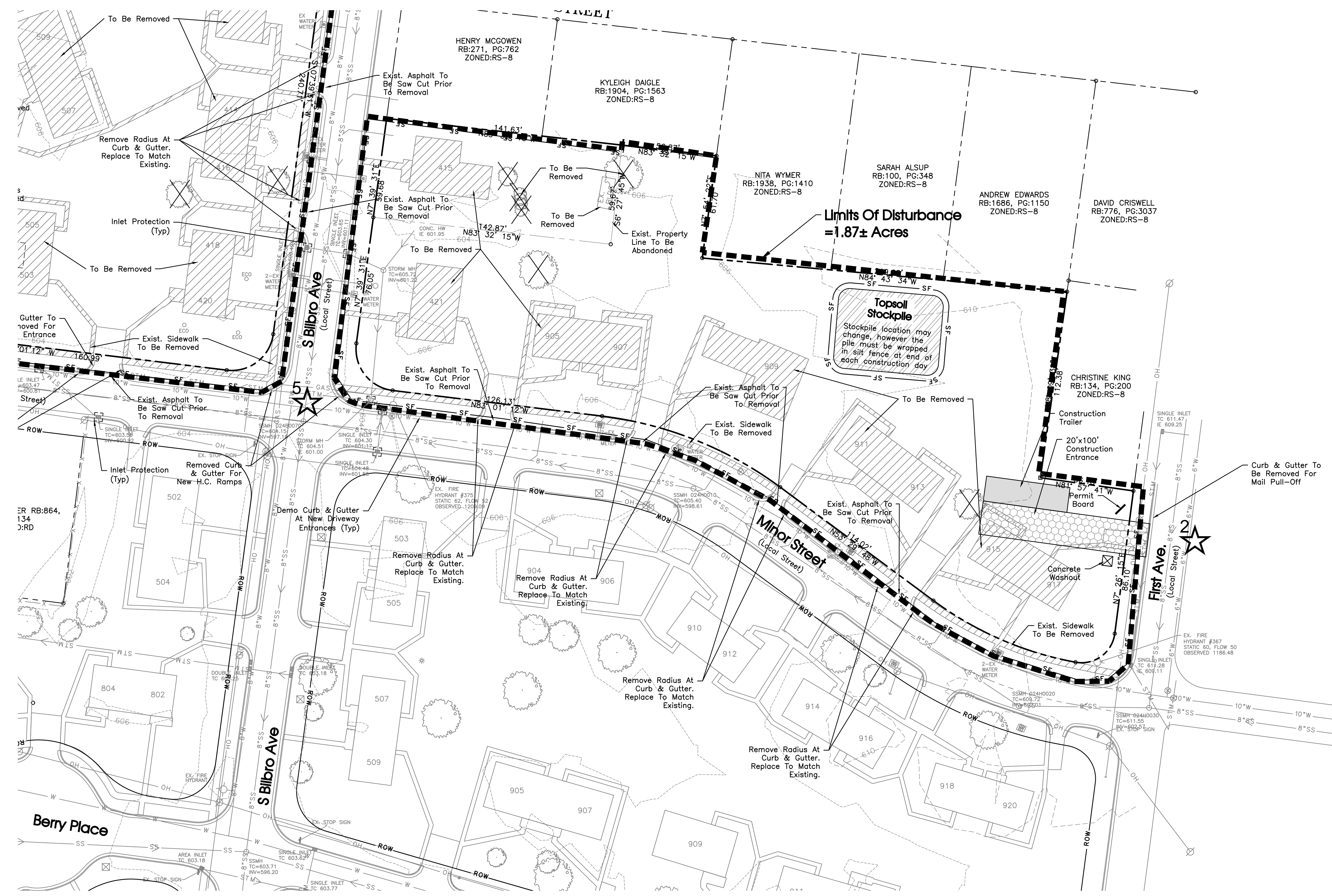
**PROPOSED BMP'S**

BMP	TYPE
SEDIMENT CONTROL BARRIER	TEMPORARY, SEDIMENT CONTROL
CONSTRUCTION ENTRANCE	TEMPORARY, SEDIMENT CONTROL
VEGETATION	PERMANENT, EROSION PREVENTION
INLET PROTECTION	TEMPORARY, SEDIMENT CONTROL

**EPSC Notes:**

- Staging Area, Worker Parking & Adjoining Drive To Be Constructed Of Stone.
- Staging Area is To Be Kept Litter Free With Daily Cleanup. In Addition, All Stored Materials Are To Be Kept In Organized & Stocked Fashion. An unkept site will not be permitted, and if debris is stored in areas outside of the designated storage area, City Staff will shut down the job site.
- All Construction Signage Is To Be Constructed Of 2-4"x4" Painted Posts.
- Areas That Have Not Been Disturbed Within 14 Days Must Be Stabilized.
- Sign #1 - Display Surface Can Be No More Than 32 S.F. & Must Be Less Than 9 Ft. Tall.





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**EPSC Phasing**

Initial: Silt Fence Along Downgradient Perimeter Construction Entrance Temp. Conc. Washout

Intermediate: Filter Fabric Inlet Protection Silt Fence To Protect Ditches

Final: Landscaping & Grass Sod Of All Pavement Areas (See Landscaping Plan)

**General Contractor Shall Install All Initial EPSC Measures Prior To Any Earthwork Beginning.**

Survey Provided By Client.

**EXISTING ON-SITE CONDITIONS**

COVER	SCS CLASSIFICATION	AREA (Ac)
HOUSES, ROADS, SIDEWALKS, LAWNS	RESIDENTIAL DISTRICT, 38% IMPERVIOUS B-SOILS, CN=75	4.72
		COMPOSITE CN=75

**PROPOSED ON-SITE CONDITIONS**

COVER	SCS CLASSIFICATION	AREA (Ac)
HOUSES, ROADS, SIDEWALKS, LAWNS	RESIDENTIAL DISTRICT, 65% IMPERVIOUS B-SOILS, CN=85	4.72
		COMPOSITE CN=85

**INITIAL OUTFALLS**

NUMBER	DESCRIPTION	AREA	SLOPE	LAT.	LONG.
1	CONSTRUCTION EXIT - MINOR STREET	0.10	0-1%	35.8382	-86.3785
2	CONSTRUCTION EXIT - 1ST AVENUE	0.10	0-1%	35.8378	-86.3759
3	WEST SILT FENCE	1.41	3-6%	35.8386	-86.3791
4	SOUTH SILT FENCE	1.07	3-6%	35.8381	-86.3782
5	S BILBRO AVENUE	2.04	3-6%	35.8381	-86.3776

**PROPOSED BMP'S**

BMP	TYPE
SEDIMENT CONTROL BARRIER	TEMPORARY, SEDIMENT CONTROL
CONSTRUCTION ENTRANCE	TEMPORARY, SEDIMENT CONTROL
VEGETATION	PERMANENT, EROSION PREVENTION
INLET PROTECTION	TEMPORARY, SEDIMENT CONTROL

**Demo Legend**



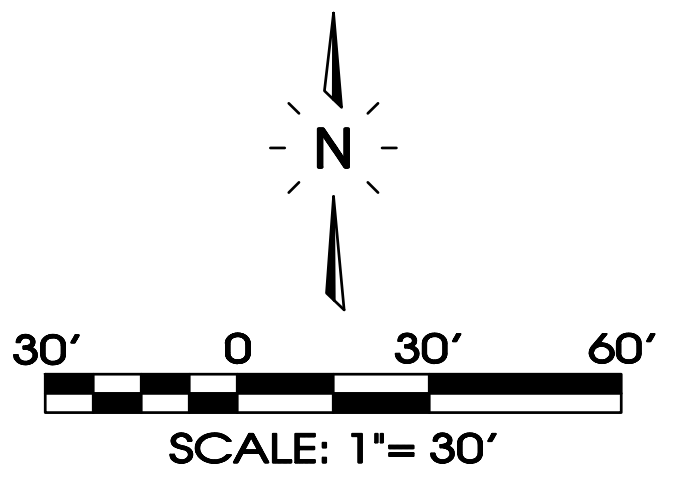
**EPSC Notes:**  
Staging Area, Worker Parking & Adjoining Drive To Be Constructed Of Stone.

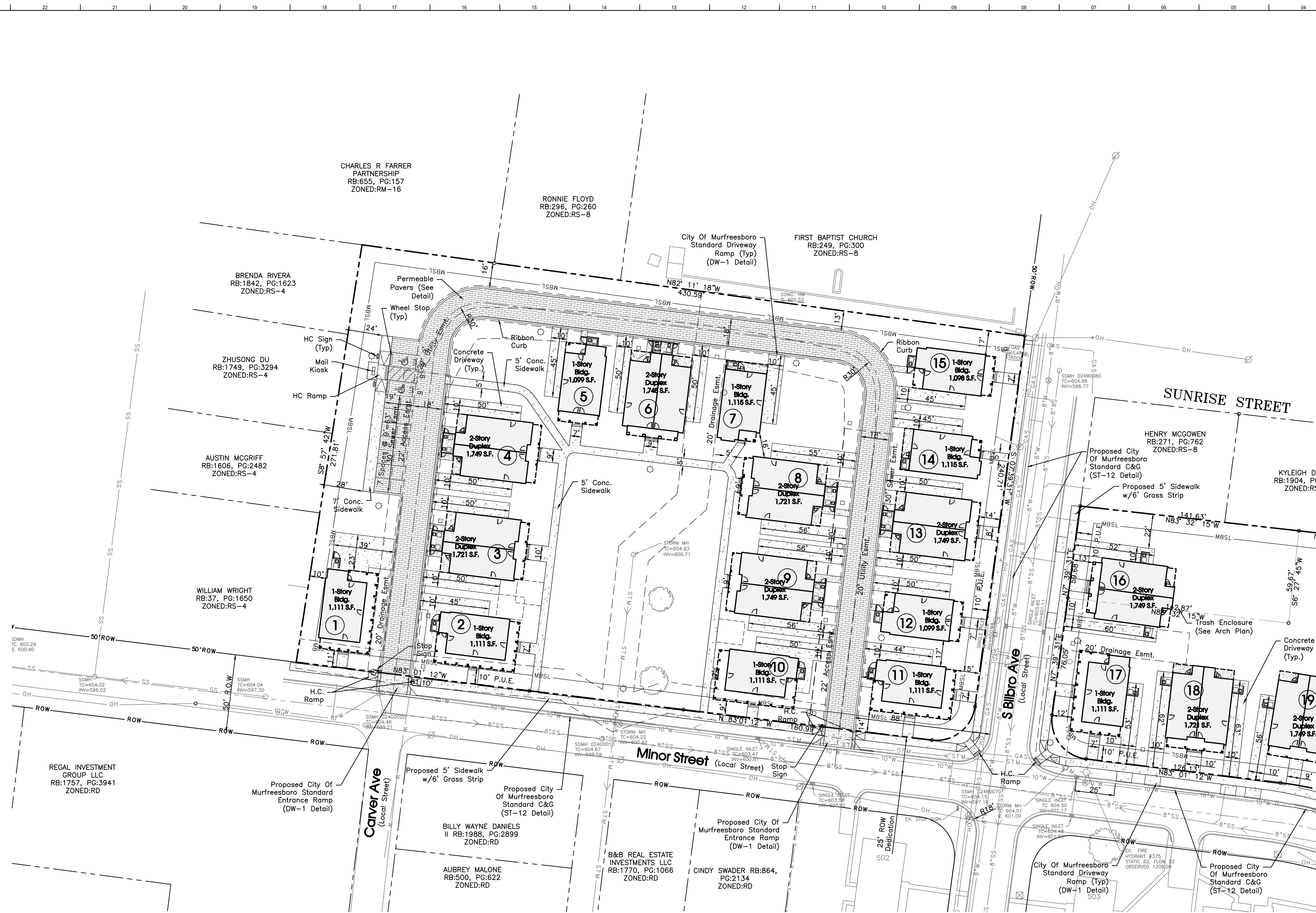
Staging Area is To Be Kept Litter Free With Daily Cleanup. In Addition, All Stored Materials Are To Be Kept In Organized & Stacked Fashion. An unkept site will not be permitted, and if debris is stored in areas outside of the designated storage area, City Staff will shut down the job site.

All Construction Signage Is To Be Constructed Of 2-4"x4" Painted Posts.

Areas That Have Not Been Disturbed Within 14 Days Must Be Stabilized.

Sign #1 - Display Surface Can Be No More Than 32 S.F. & Must Be Less Than 9 Ft. Tall.

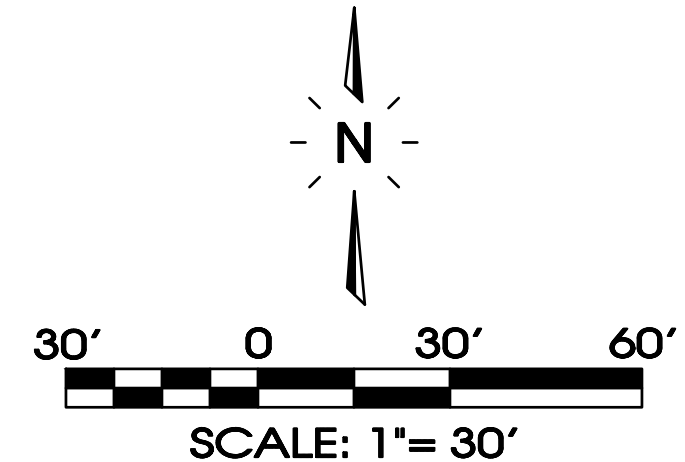
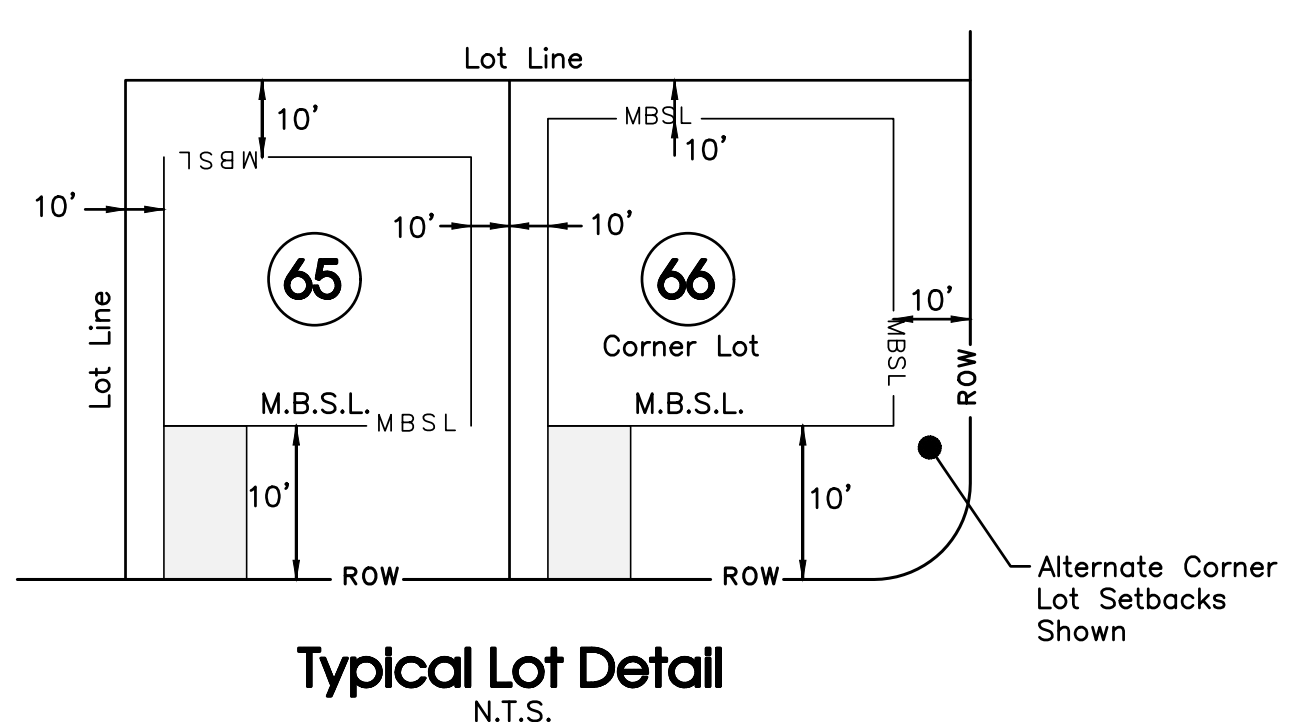




Survey Provided By Client.

**Pavement Hatch Legend**

- Concrete Pavement
- Permeable Pavers



**Owner/Developer:**  
MurFREESBORO Housing Authority  
P.O. Box 278  
MurFREESBORO, TN 37133

**Deed Reference:**  
Tax Map 102B, Group G, Parcel 9.00  
Tax Map 103N, Group N Parcel 22.00 & 23.00

**Yard Requirements:**  
Front: 10'  
Side: 10'  
Rear: 10'

**Intended Use:**  
Single Family Detached & Duplex

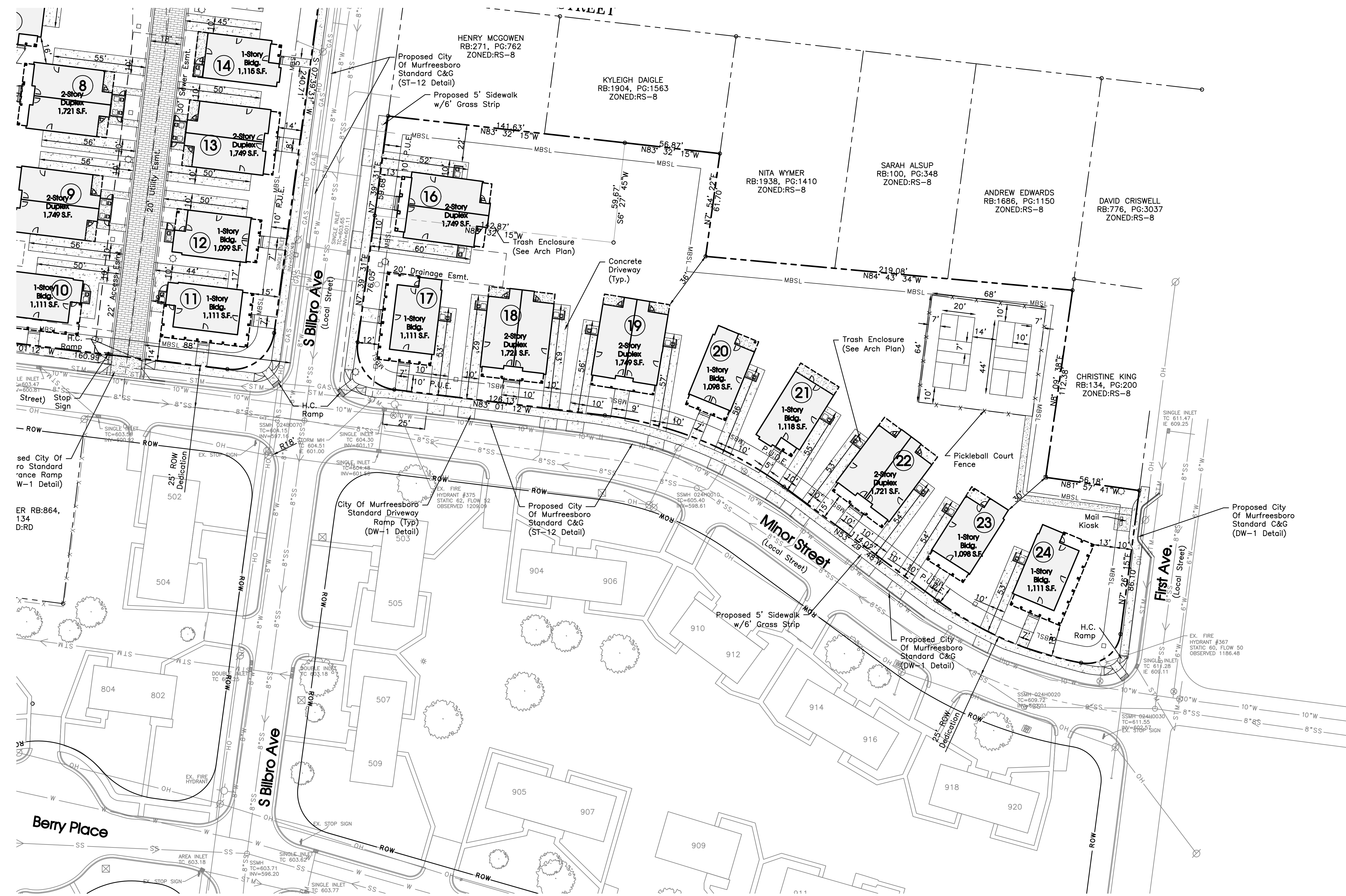
**Land Use Data:**  
Zoned: PUD (2021-414)  
14: 1-story Building  
15: 2-story Building  
16: 2-story Building  
17: 2-story Building  
18: 2-story Building  
19: 2-story Building  
Total # of Units: 34 Units  
Total # of Structures: 24  
Total Floor Area: 32,881 Sq Ft.  
Total Lot Area: 4,364 Acres  
F.A.R. = 5.52

**F.A.R. = 32,881 Sq Ft./4.34 Ac. = 0.17**

**Parking Requirement:**  
Per PUD:  
Provided: 97 Driveways + 6 Visitors + 2 H.C. = 105 Total Spaces Provided

**Flood Map No.:**  
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47146C020501 dated January 9, 2007.

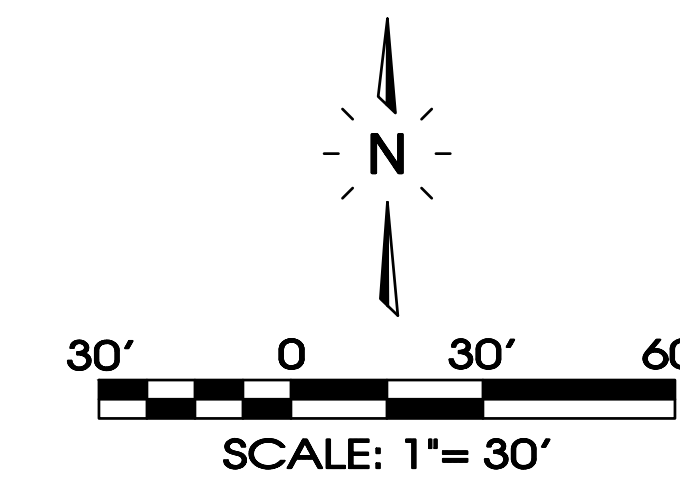
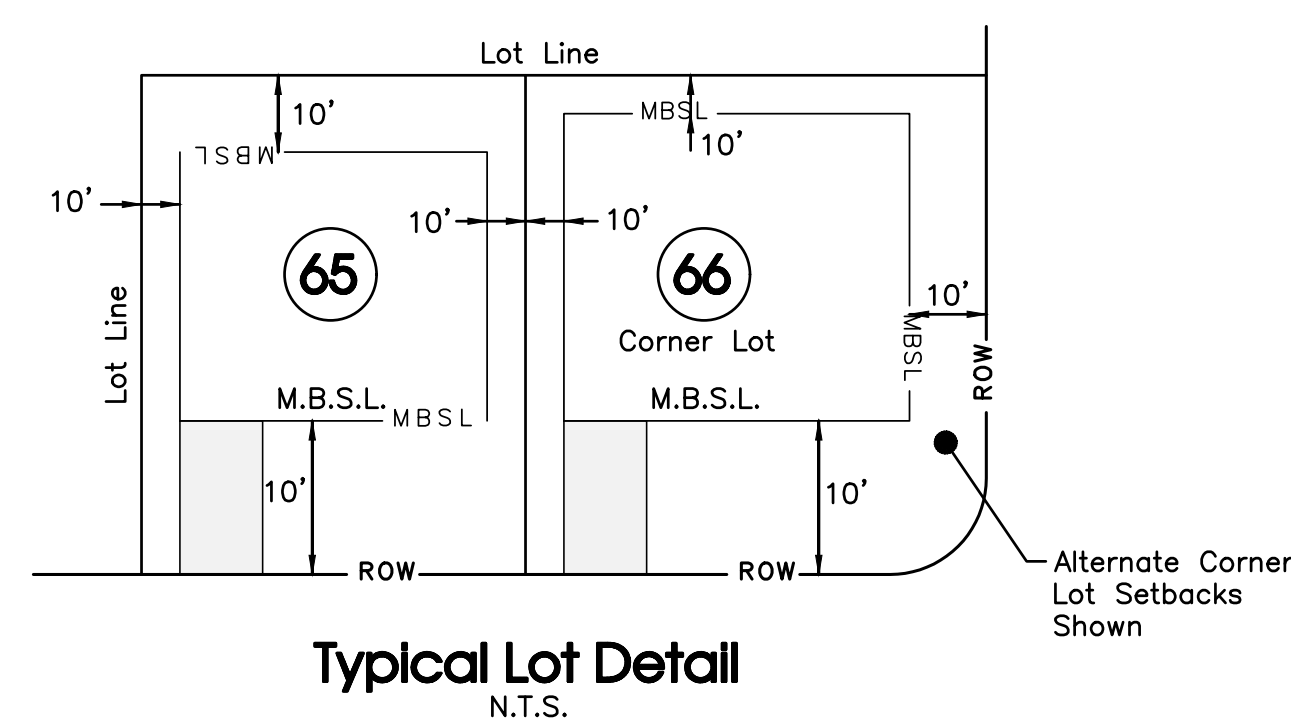
SEC Project No: 22820



Survey Provided By Client.

**Pavement Hatch Legend**

- Concrete Pavement
- Permeable Pavers



Know what's below.  
Call before you dig.

**Owner/Developer:**  
Murfreesboro Housing Authority  
P.O. Box 278  
Murfreesboro, TN 37133

**Deed Reference:**  
Tax Map 102D, Group G, Parcel 9.00  
Tax Map 103N, Group N Parcel 22.00 & 23.00

**Yard Requirements:**  
Front: 10'  
Side: 10'  
Rear: 10'

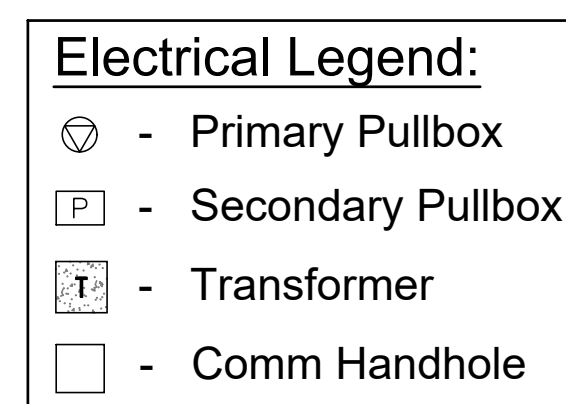
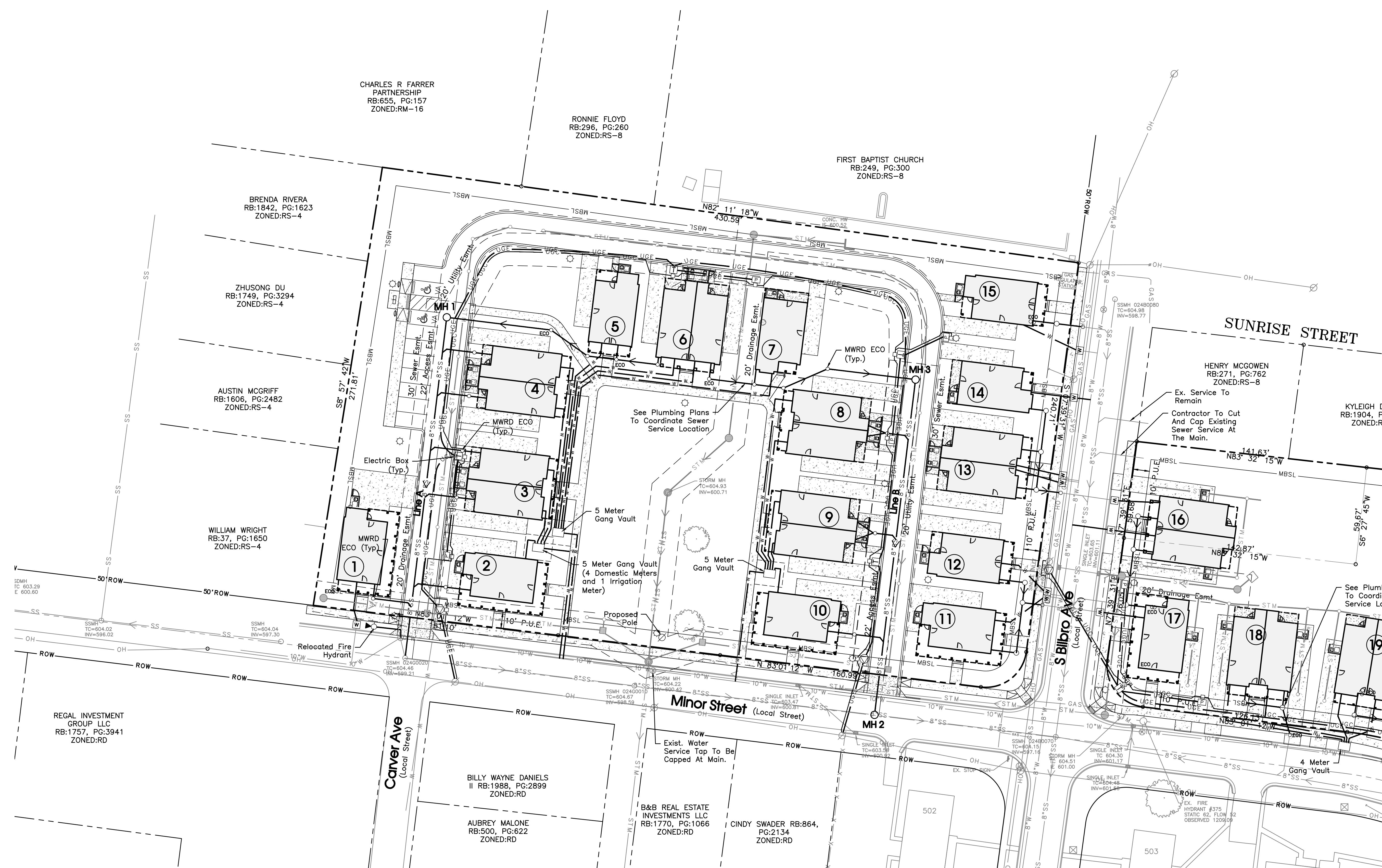
**Intended Use:**  
Single Family Detached & Duplex

**Land Use Data:**  
Zoned: R4D (2021-414)  
14: 1-story Building  
18: 2-story Building  
Building Ht.: 23'-0"  
Total # of Units: 24 Units  
Total # of Structures: 24  
Total Floor Area: 32,881 Sq Ft.  
Total Lot Area: 4.364 Acres  
F.A.R. = 5.52

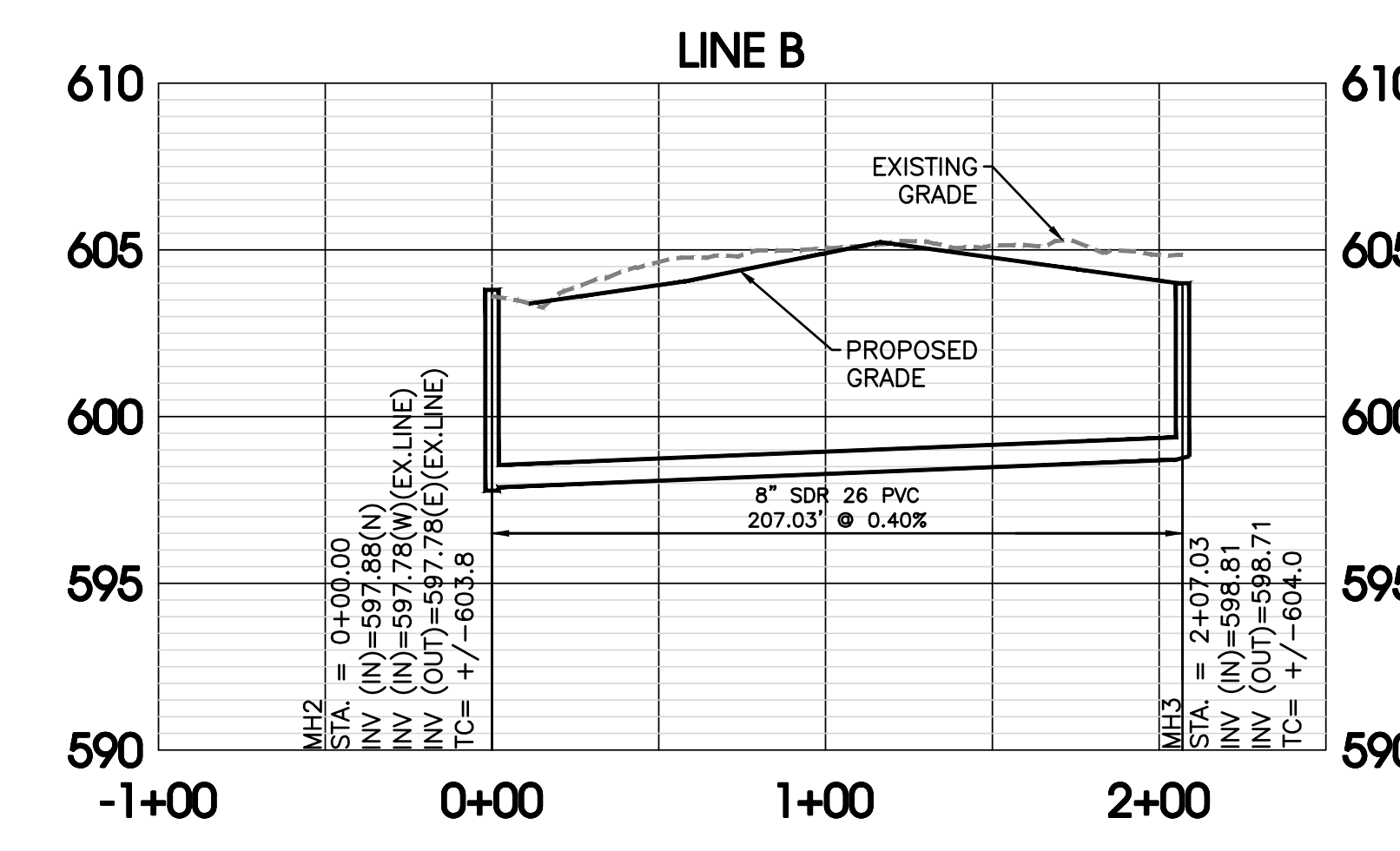
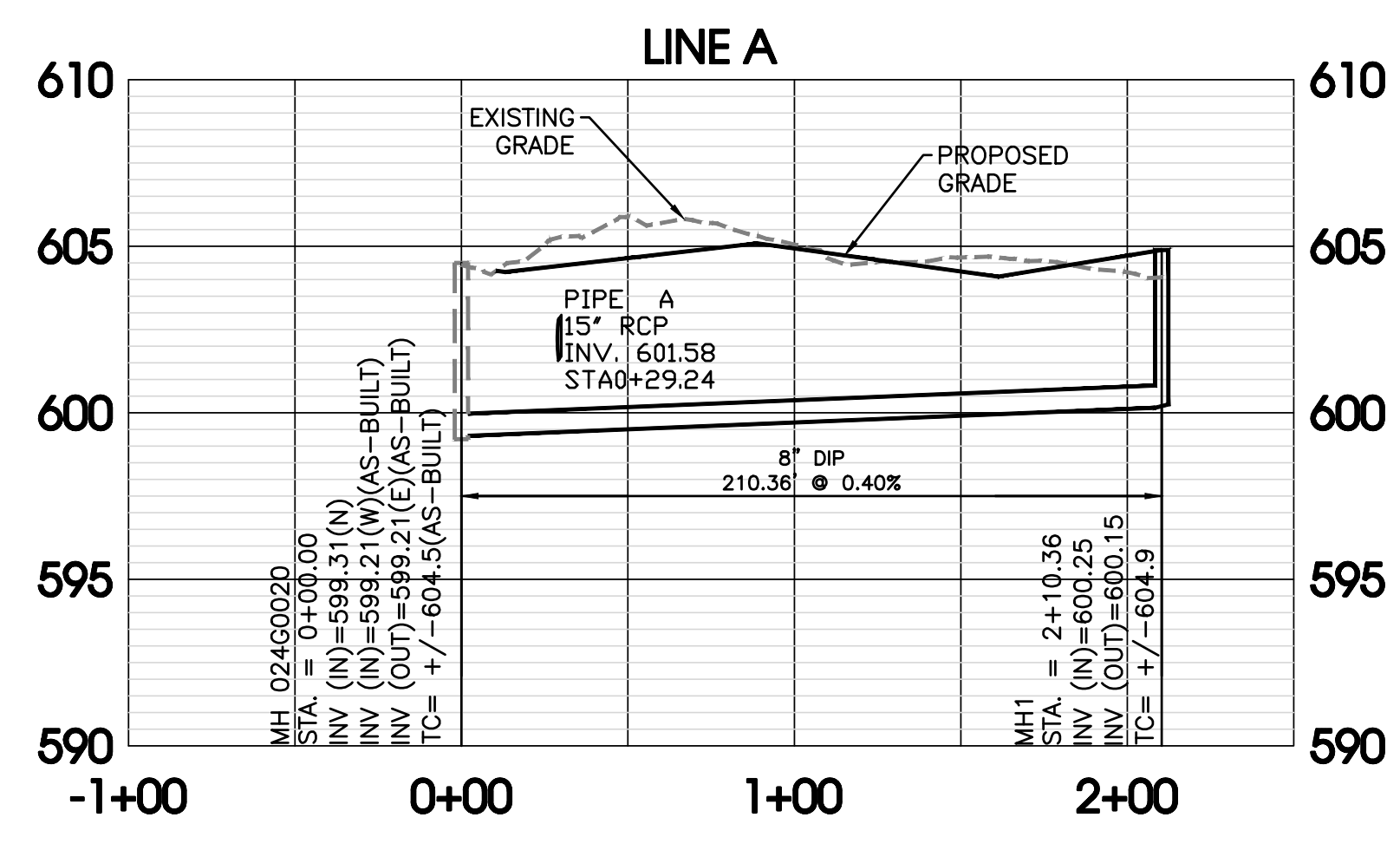
F.A.R. = 32,881 Sq Ft./4.34 Ac. = 0.17

**Parking Requirement:**  
Per R4D:  
Provided: 97 Driveways + 6 Visitors + 2 H.C. = 105 Total Spaces Provided

**Flood Map No.:**  
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47146C0200N dated January 9, 2007.



The proposed electrical, gas, water and telecommunications information shown hereon is not an actual design to be used for construction, and is for reference and illustrative purposes only. The contractor shall refer to the actual final design for each proper discipline (electrical, civil, mechanical, etc.) with the Tennessee professional engineer's seal, for precise design information.



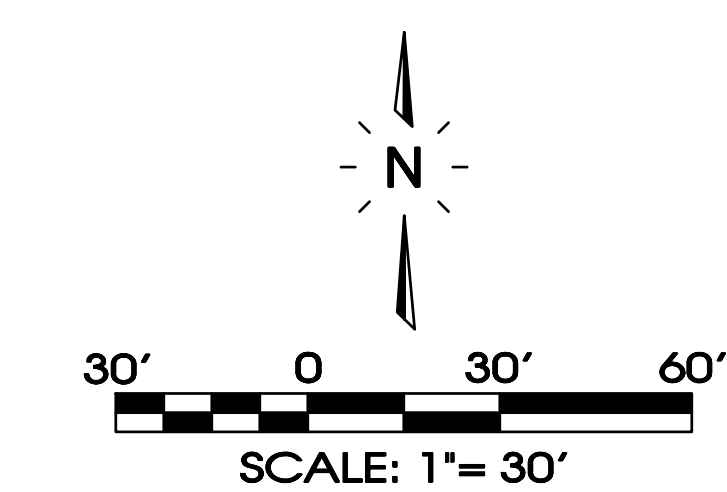
1"=50' Horiz  
1"=5' Vert

**Survey Provided By Client.**

**APPROVED FOR CONSTRUCTION**  
THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE  
**MURFREESBORO WATER RESOURCES DEPARTMENT**  
UNDER THE AUTHORITY DELEGATED BY THE  
TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION  
DIVISION OF WATER RESOURCES  
AND IS HEREBY APPROVED FOR CONSTRUCTION.

THIS APPROVAL SHALL NOT BE CONSIDERED AS CREATING A PRESUMPTION OF CORRECT OPERATION OR AS WARRANTING BY THE MURFREESBORO WATER RESOURCES DEPARTMENT THAT THE APPROVED FACILITIES WILL REACH THE DESIGNED GOALS.

APPROVAL DATE \_\_\_\_\_  
APPROVAL EXPIRES IN 12 MONTHS  
BY \_\_\_\_\_





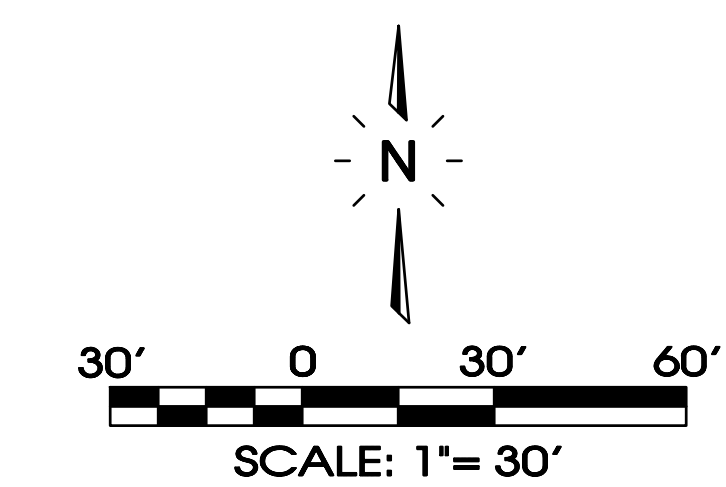
**Electrical Legend:**

- ⊖ - Primary Pullbox
- P - Secondary Pullbox
- T - Transformer

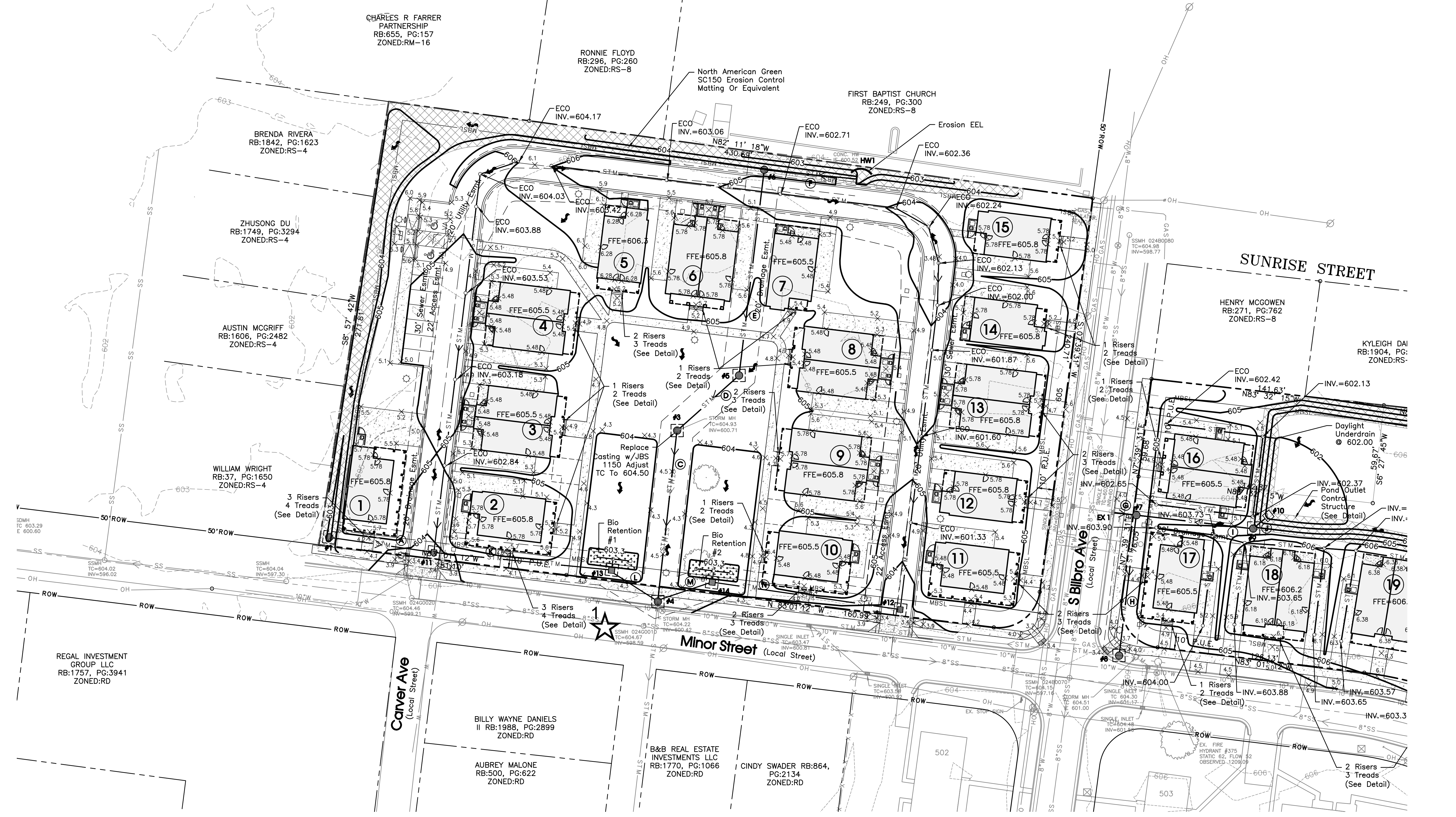
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APPROVAL DATE  
APPROVAL EXPIRES IN 12 MONTHS  
BY \_\_\_\_\_



Know what's below.  
Call before you dig.

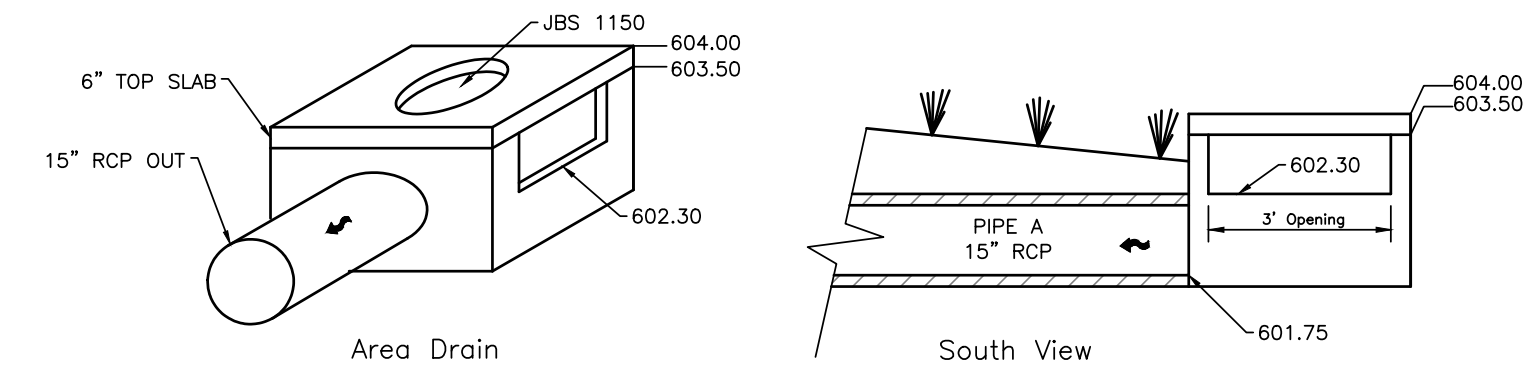


**STRUCTURE TABLE**

STR#	T.O.C	INV. IN (FT)	INV. OUT (FT)	CASTING	TYPE
1	604.0	N/A	601.75	JBS 1150	Area Drain (See Detail)
2		INTENTIONALLY NOT USED			
3	604.5	601.05	601.05	JBS 1111	Junction Box
4	604.2	600.42 600.42 600.42	600.42	JBS 1111	Junction Box
5	604.7	601.33	601.33	JBS 1111	Junction Box
6	605.1	602.02	602.02	JBS 1111	Junction Box
7	604.5	601.19 601.19	600.19	JBS 1111	Junction Box
8	604.5	599.93 599.93	599.93	JBS 1111	Junction Box
9	604.9	601.32	600.40	JBS 1111	Junction Box
10	603.0	N/A	601.50		Pond Outlet Structure (See Detail)
11	604.3	601.81	601.81		Paver Outlet Structure (See Detail)
12	603.7	601.07	601.07		Paver Outlet Structure (See Detail)
13	603.8	600.55	600.55		Bio-Retention Outlet Structure (See Detail)
14	603.8	600.55	600.55		Bio-Retention Outlet Structure (See Detail)
EX 1	603.70	N/A	601.23		Existing Curb Inlet
HW1	603.10	N/A	602.29		HW-INLET

**PIPE TABLE**

PIPE	INV. IN (FT)	INV. OUT (FT)	LENGTH (FT)	SLOPE (%)	MATERIAL	SIZE (IN)
A	601.75	601.56	64	0.30	RCP III	15
B	INTENTIONALLY NOT USED					
C	601.05	600.42	104	0.60	RCP III	18
D	601.33	601.05	50	0.55	RCP III	18
E	602.02	601.33	126	0.55	RCP III	18
F	602.34	602.02	59	0.55	RCP III	18
G	601.23	601.19	13	0.30	RCP III	15
H	601.19	600.93	86	0.30	RCP III	15
I	601.40	601.19	71	0.30	RCP III	15
J	601.50	601.40	11	0.91	RCP III	15
K	601.56	600.55	108	0.94	RCP III	15
L	600.55	600.42	30	0.43	RCP III	15
M	600.55	600.42	31	0.42	RCP III	15
N	601.07	600.55	116	0.45	RCP III	15



**STRUCTURE #1 AREA DRAIN DETAIL**  
SCALE: NONE

**EXISTING ON-SITE CONDITIONS**

COVER	SCS CLASSIFICATION	AREA (Ac)
HOUSES, ROADS, SIDEWALKS, LAWNS	RESIDENTIAL DISTRICT, 38% IMPERVIOUS B-SOILS, CN=75	4.72
		COMPOSITE CN=75

**PROPOSED ON-SITE CONDITIONS**

COVER	SCS CLASSIFICATION	AREA (Ac)
HOUSES, ROADS, SIDEWALKS, LAWNS	RESIDENTIAL DISTRICT, 65% IMPERVIOUS B-SOILS, CN=85	4.72
		COMPOSITE CN=85

**NOTES:**

1) Final EPSC Measures Shown Here On Shall Be Enacted As Early As Practical During Construction. Stabilization Timing Criteria Has Been Established In The SWPPP and TNCGP.

2) Inlet Protection, Erosion Blanket & Temporary Stabilization (I.E. Seed & Mulch) Will Be Installed By General Contractor. Permanent Stabilization Measure (I.E. Sod, Landscape/Pavement) Will Be Installed By Contractor.

3) Contractor To Stabilize All Disturbed Areas After Construction.

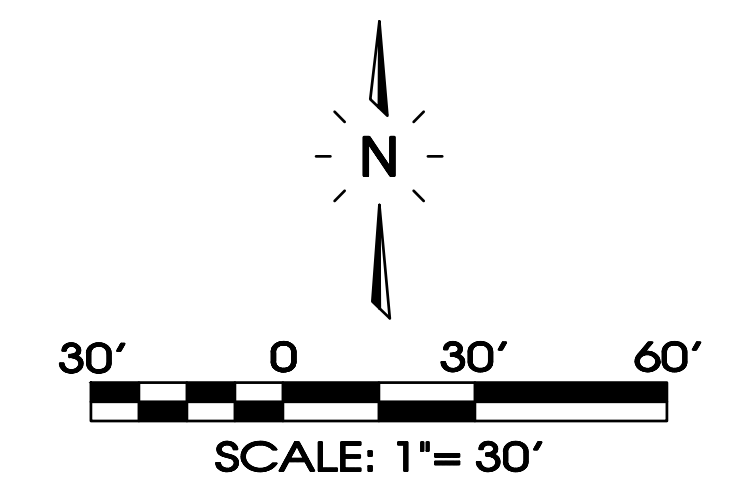


Outfall

Survey Provided By Client.

**FINAL OUTFALLS**

NUMBER	DESCRIPTION	AREA	SLOPE	LAT.	LONG.
1	EXISTING STORMWATER SYSTEM	4.72	3-6%	35.8381	-87.3775



Know what's below.  
Call before you dig.



STRUCTURE TABLE

STR#	T.O.C	INV. IN (FT)	INV. OUT (FT)	CASTING	TYPE
1	604.0	N/A	601.75	JBS 1150	Area Drain (See Detail)
2				INTENTIONALLY NOT USED	
3	604.5	601.05	601.05	JBS 1111	Junction Box
4	604.2	600.42	600.42	JBS 1111	Junction Box
5	604.7	601.33	601.33	JBS 1111	Junction Box
6	605.1	602.02	602.02	JBS 1111	Junction Box
7	604.5	601.19	600.19	JBS 1111	Junction Box
8	604.5	599.93	599.93	JBS 1111	Junction Box
9	604.9	601.32	600.40	JBS 1111	Junction Box
10	603.0	N/A	601.50		Pond Outlet Structure (See Detail)
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12	603.7	601.07	601.07		Paver Outlet Structure (See Detail)
13	603.8	600.55	600.55		Bio-Retention Outlet Structure (See Detail)
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EX 1	603.70	N/A	601.23		Existing Curb Inlet
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PIPE TABLE

PIPE	INV. IN (FT)	INV. OUT (FT)	LENGTH (FT)	SLOPE (%)	MATERIAL	SIZE (IN)
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D	601.33	601.05	50	0.55	RCP III	18
E	602.02	601.33	126	0.55	RCP III	18
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K	601.56	600.55	108	0.94	RCP III	15
L	600.55	600.42	30	0.43	RCP III	15
M	600.55	600.42	31	0.42	RCP III	15
N	601.07	600.55	116	0.45	RCP III	15



FINAL OUTFALLS

NUMBER	DESCRIPTION	AREA	SLOPE	LAT.	LONG.
1	EXISTING STORMWATER SYSTEM	4.72	3-6%	35.8381	-87.3775

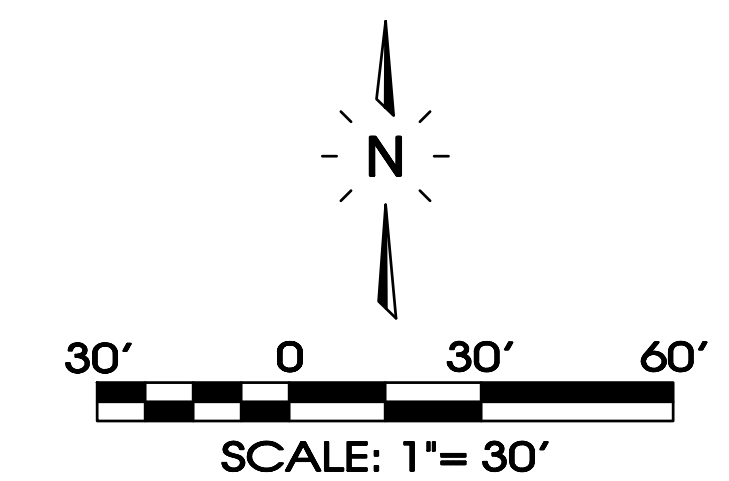
EXISTING ON-SITE CONDITIONS

COVER	SCS CLASSIFICATION	AREA (Ac)
HOUSES, ROADS, SIDEWALKS, LAWNS	RESIDENTIAL DISTRICT, 38% IMPERVIOUS B SOILS, CN=75	4.72
		COMPOSITE CN=75

PROPOSED ON-SITE CONDITIONS

COVER	SCS CLASSIFICATION	AREA (Ac)
HOUSES, ROADS, SIDEWALKS, LAWNS	RESIDENTIAL DISTRICT, 65% IMPERVIOUS B SOILS, CN=85	4.72
		COMPOSITE CN=85

Survey Provided By Client.



NOTES:  
1) Final EPSC Measures Shown Here On Shall Be Enacted As Early As Practical During Construction. Stabilization Timing Criteria Has Been Established In The SWPPP and TNCGP.

2) Inlet Protection, Erosion Blanket & Temporary Stabilization (I.E. Seed & Mulch) Will Be Installed By General Contractor. Permanent Stabilization Measure (I.E. Sod, Landscape/Pavement) Will Be Installed By Contractor.

3) Contractor To Stabilize All Disturbed Areas After Construction.





are strongly discouraged and are illicit discharge if the activity produces a discharge to the City street or City storm water management system.

- Temporarily or permanently stabilize bare soil areas and soil stockpiles as soon as practical when the area is inactive or has reached finished grade.
- Preserve vegetated areas as long as practical or permanently if possible. Limit clearing to the minimum necessary to accomplish construction.
- Restrict vehicle (construction and street) access to lots to the construction site area. Access restriction can be enhanced by the use of temporary construction fencing or other barriers.
- Discourage vehicles involving across lot areas to allow only those absolutely necessary to complete construction. Temporary barriers such as beams or temporary fences may be effective in discouraging these types of activities.
- Control sediments within 72-hour period. Failure to control EPSC sediments may result in delayed inspections, notices of violation, fines, penalties, and/or stop-work orders.
- Install additional EPSC measures if sediment is leaving your site. Failure to contain sediment in your site may result in delayed inspections, notices of violation, fines, penalties, and/or stop-work orders.

### PROCEDURES

#### Administrative Procedures

This section describes the administrative procedures that should be followed by the builder from the issuance of a building permit through final lot stabilization for compliance with this manual.

- Obtain building permit from Building and Codes Department.
- Develop an erosion prevention and sediment control (EPSC) concept for lot.
- Identify and assign responsibility to key personnel for the installation, inspection, and maintenance of EPSC measures.
- Install initial EPSC measures before beginning construction on lot.
- At a minimum, the initial EPSC measures must include a stabilized construction entrance (See BMP-CE) and down stream sediment control barriers (See Typical Lot Diagram).
- Prepare lot for footing inspection.
- Building and Codes inspector must approve the adequacy and installation of the initial EPSC measures and will not inspect or approve footing until the initial EPSC measures are in place. Additionally, the inspector may require the installation of additional EPSC measures if those initially installed are not adequate.
- Install appropriate EPSC measures as necessary as construction progresses. For example, protection of soil stockpiles and changes in drainage patterns due to lot grading may dictate the need for additional EPSC measures.
- Inspect and maintain EPSC measures during the project to ensure function of the measures including replacing failed measures, installing additional measures as warranted, and maintaining active measures to removal of accumulated sediment.
- At a minimum, the Building and Codes inspector will review and accept the adequacy and maintenance of the EPSC measures before conducting further building inspections and re-inspections. Failure of the builder to adequately maintain EPSCs will result in failed EPSC inspections. The EPSC measures inspection must pass before the inspector can conduct requested building inspections.
- The builder is responsible for maintenance of the EPSC measures until the lot is not a significant potential source of sediment. Typically, this point is reached when a good cover of grass is established over the lot. A final Certificate of Occupancy cannot be issued until the yard is seeded and mowed or sodded.

#### Builder's Guidelines

This section provides guidelines (Do and Don't) to the builder that should be followed during the construction of a one or two-family dwelling.

- The builder is the single responsible party for the proper implementation of an EPSC associated with a lot. This includes the responsibility for the administration of employees, subcontractors, and/or suppliers.
- Periodic inspections, repair, and maintenance are essential for proper EPSC.
- The builder is responsible for preventing mud, sediment, debris, dirt, rock, and other matter from entering the street. In the event that these materials enter the street, they should be removed immediately to prevent tracking by vehicles and/or washing by rain.
- The temporary construction site should be maintained as necessary to provide a clean stable area off the street for access, parking, storage, delivery, etc. Geotextile fabric is recommended and can be used under the gravel to increase the useful life and prevent deterioration of the soil especially in muddy or wet conditions. As the construction exit accumulates mud and sediment, it should be removed with new stone or the upper layer removed to expose clean a rock surface underneath.
- From time to time, EPSC measures may need to be removed temporarily to allow completion of construction activities. Examples include removal of silt control barrier to allow the completion of water and sewer connections or finished grading of the lot for seeding or sodding. In these instances, the measures may be removed temporarily but must be replaced at the end of the construction activity or at the end of each working day if more than one day is needed. In any event, the BMPs should be maintained until the final yard is stabilized.
- A builder or homeowner cannot modify the City's storm water management system including the pipes, inlets, area drains, ditches and related elements typically within the street or within a drainage easement without the prior written approval of the City Engineer or designer.
- The street should remain free of construction materials/debris, waste bins, portable toilets, or other items to ensure that these items or materials in them do not easily enter the City's storm water system and to maintain access on the City street.
- Damage to streets and ditches should remain free of stockpiled soil, sediment, mud, construction materials/waste, etc. at all times.
- Utilize downspout extenders as soon as gutters and downspouts are installed to divert roof drainage away from exposed soils and to stable areas such as street drainage, sidewalk, or vegetated area.
- Sediment, mud, paint, chemicals, debris, concrete waste/exposed aggregate washdown, construction wastes and similar materials should not be "washed down" to the street or City storm water management system. This includes final cleanup of the lot. The use of pressure washers and other types of wet cleaning

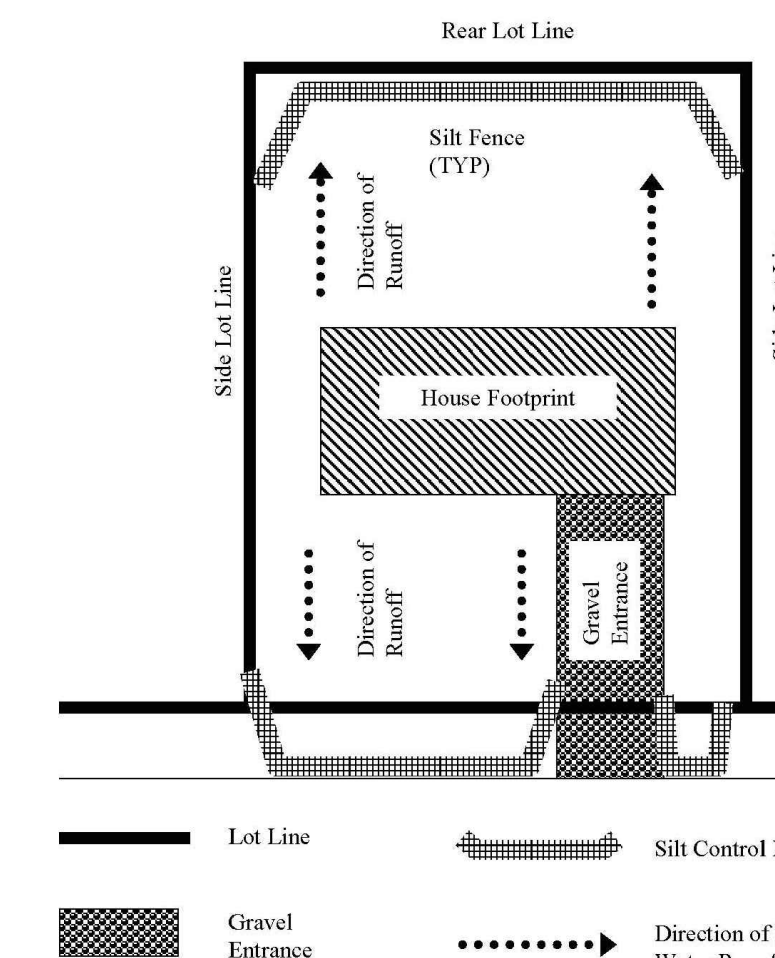
One and Two Family Residential Construction  
Erosion Prevention and Sediment Control  
Best Management Practices Manual  
Version 1  
Date: December 10, 2014

One and Two Family Residential Construction  
Erosion Prevention and Sediment Control  
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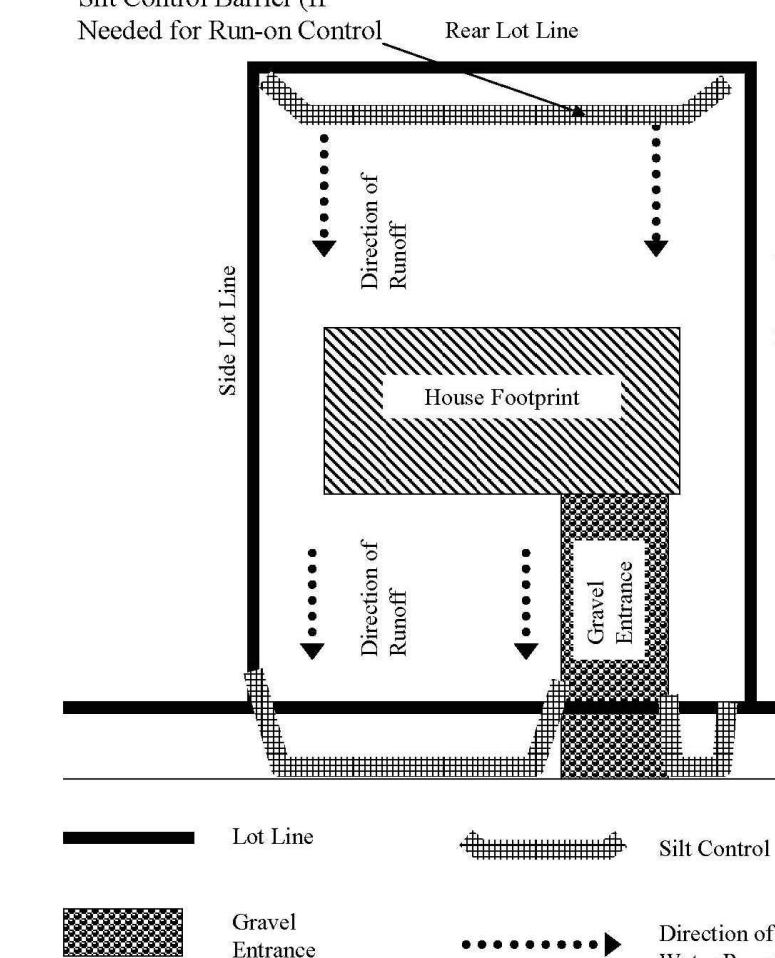
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### One and Two Family Erosion Prevention and Sediment Control Plan Type A (Lot Slopes to Rear and Street)



### One and Two Family Erosion Prevention and Sediment Control Plan Type B (Lot Slopes Street)



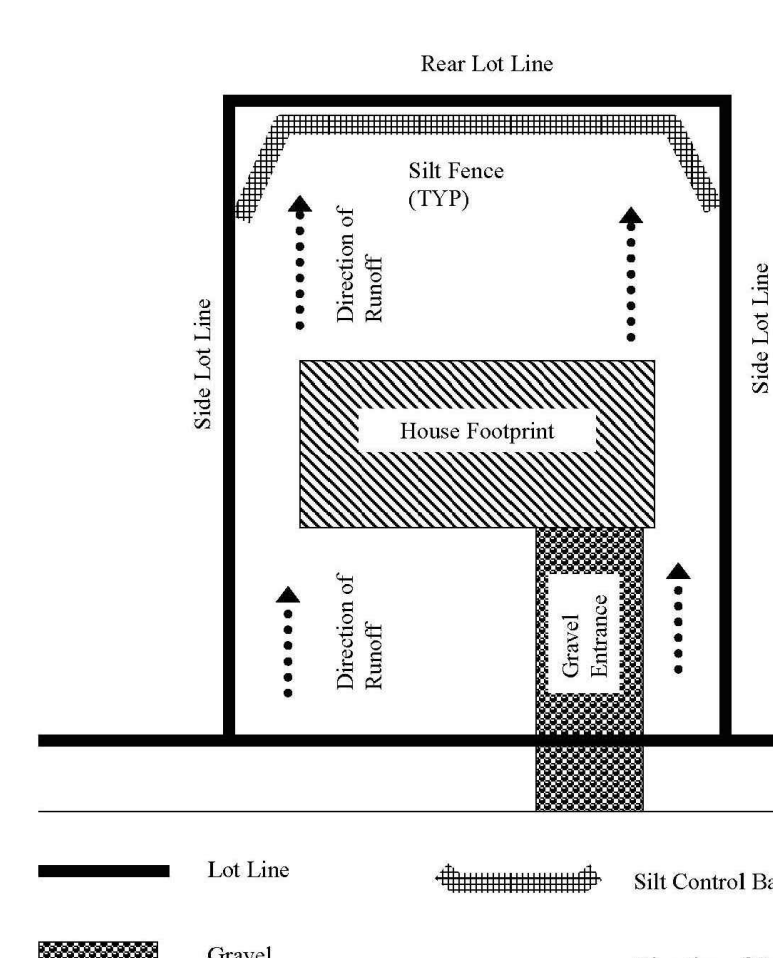
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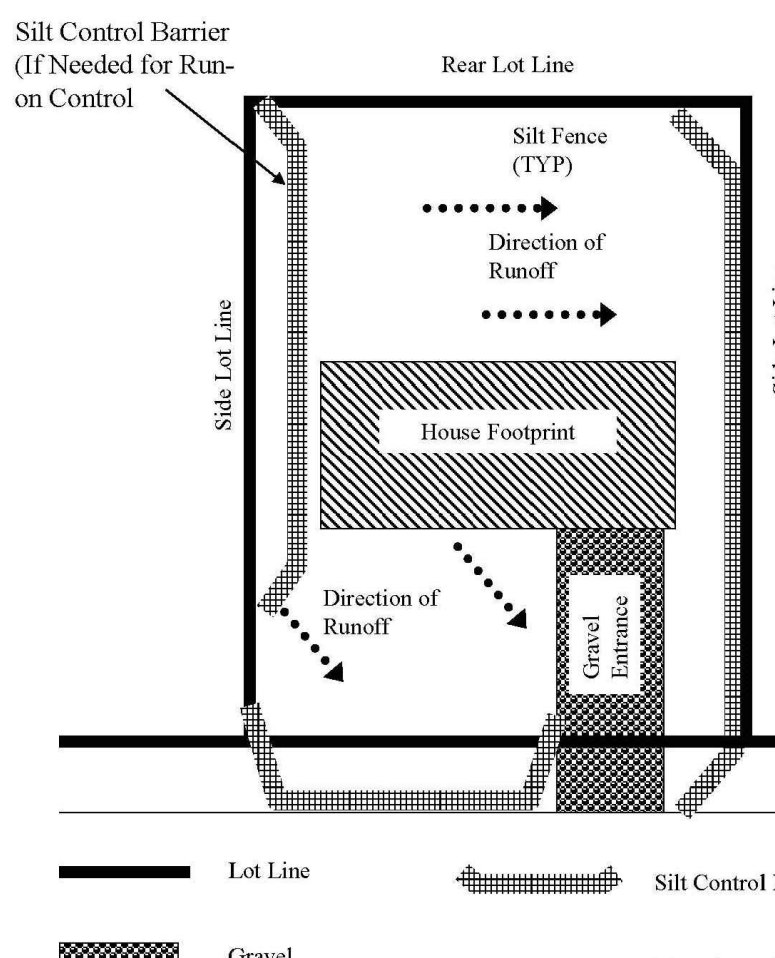
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Version 1  
Date: December 10, 2014



### One and Two Family Erosion Prevention and Sediment Control Plan Type C (Lot Slopes to Rear)

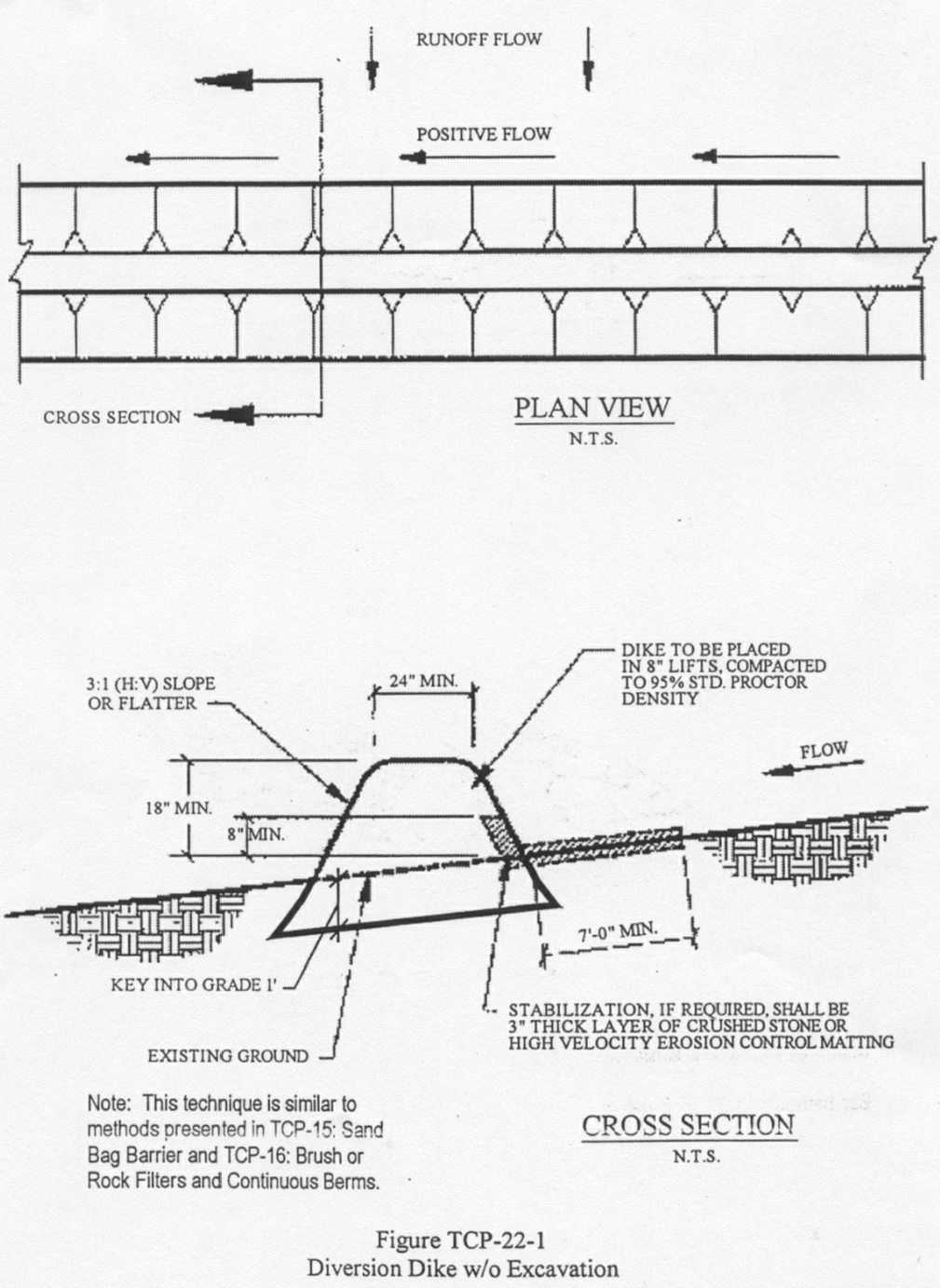


### One and Two Family Erosion Prevention and Sediment Control Plan Type D (Lot Slopes to Side)



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Date: December 10, 2014

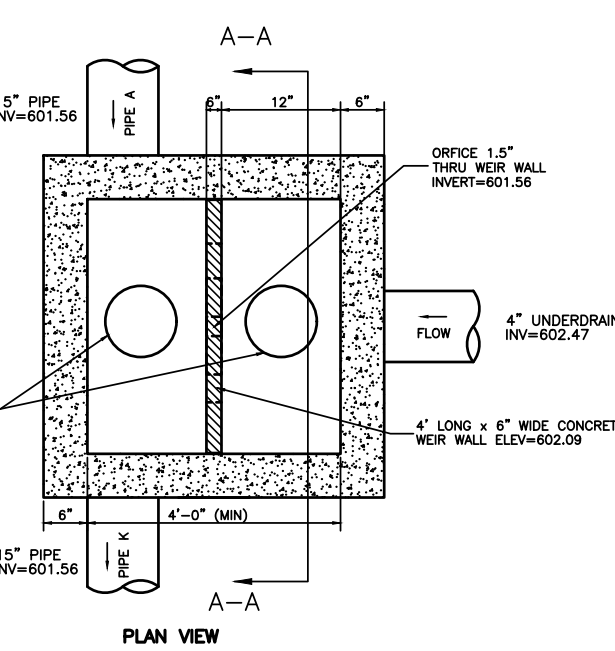
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Version 1  
Date: December 10, 2014



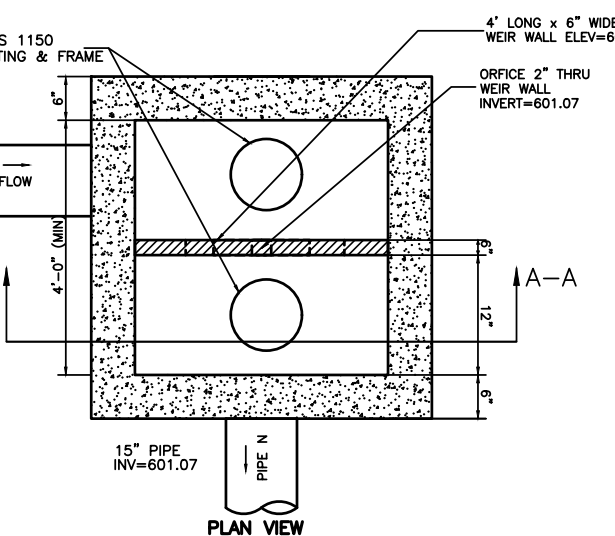
Note: This technique is similar to methods presented in TCP-15 Sand Bag Barrier and TCP-16 Brush or Rock Filters and Continuous Berms.

Note: Stabilization if reversed shall be in thick layer of crushed stone or high velocity erosion control matting.

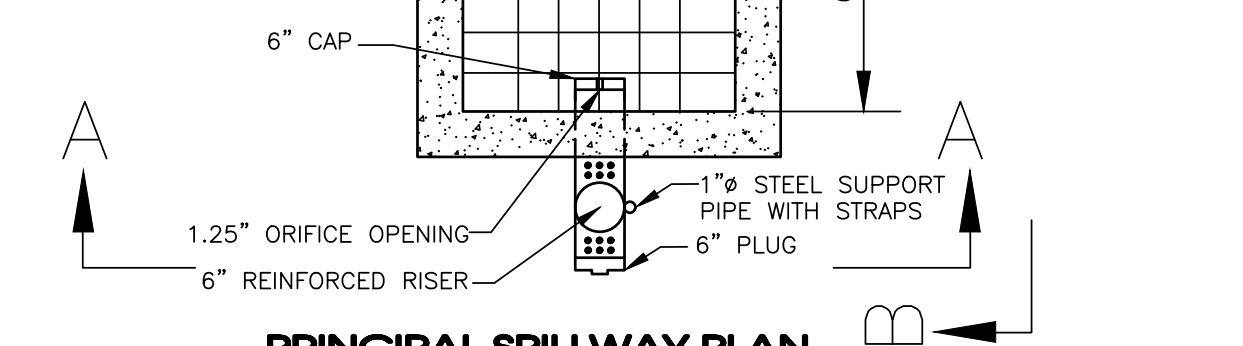
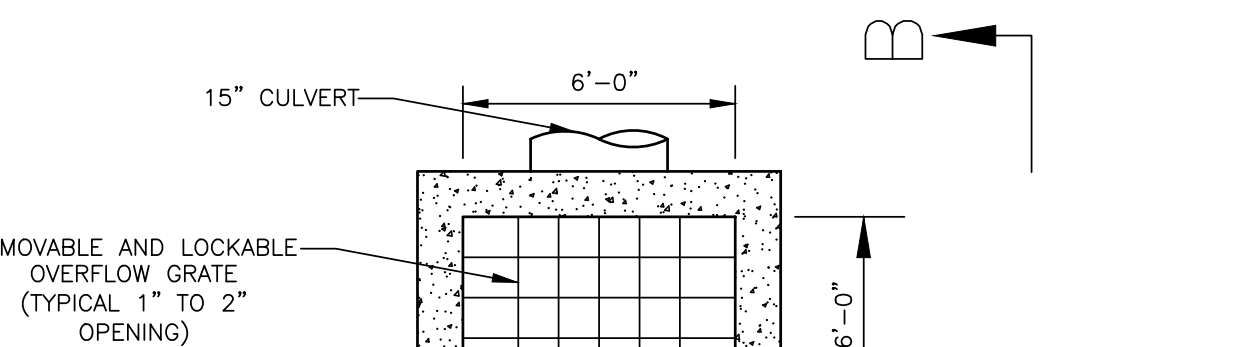
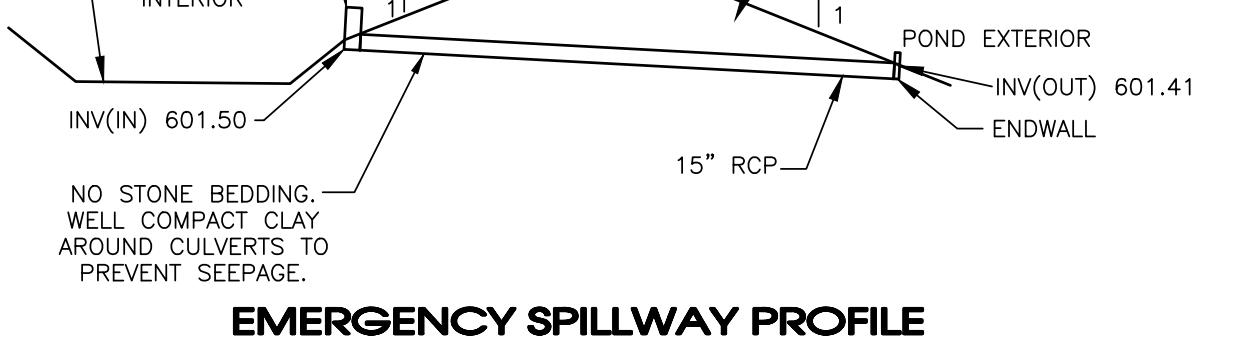
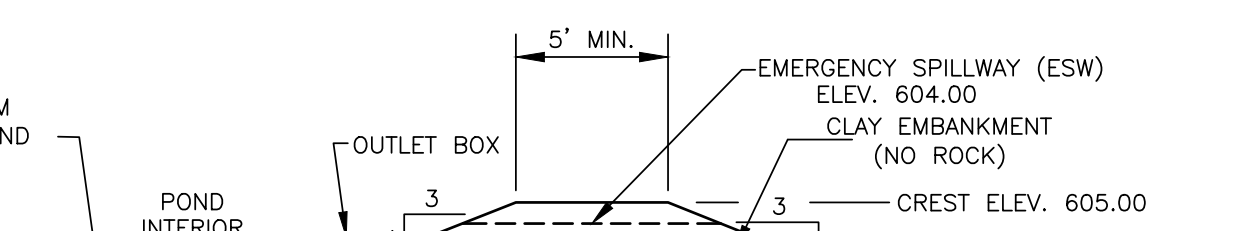
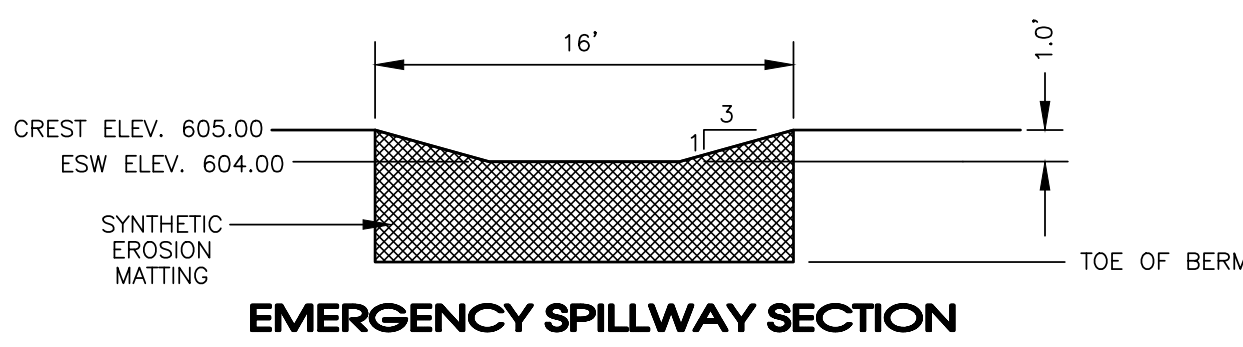
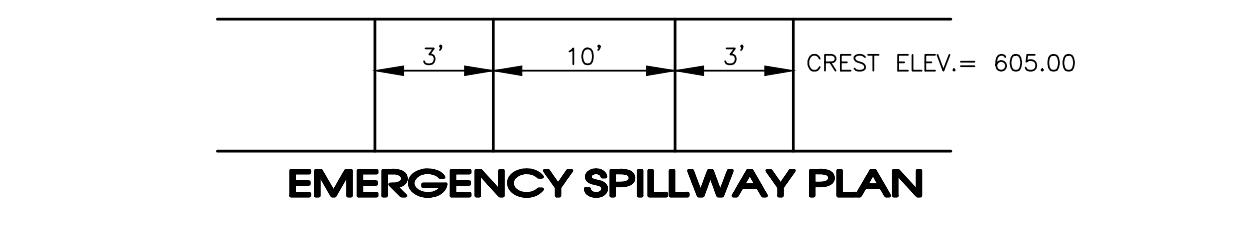
Figure TCP-22-1  
Diversion Dike w/o Excavation



OUTLET CONTROL STRUCTURE #11  
SCALE: NONE



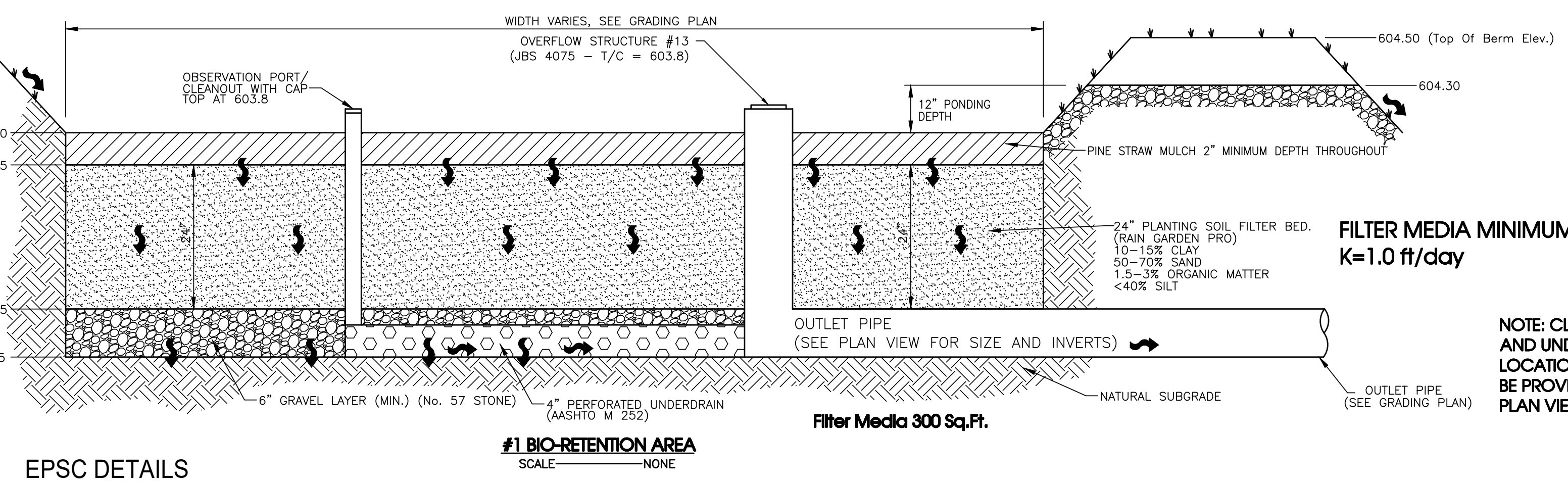
OUTLET CONTROL STRUCTURE #12  
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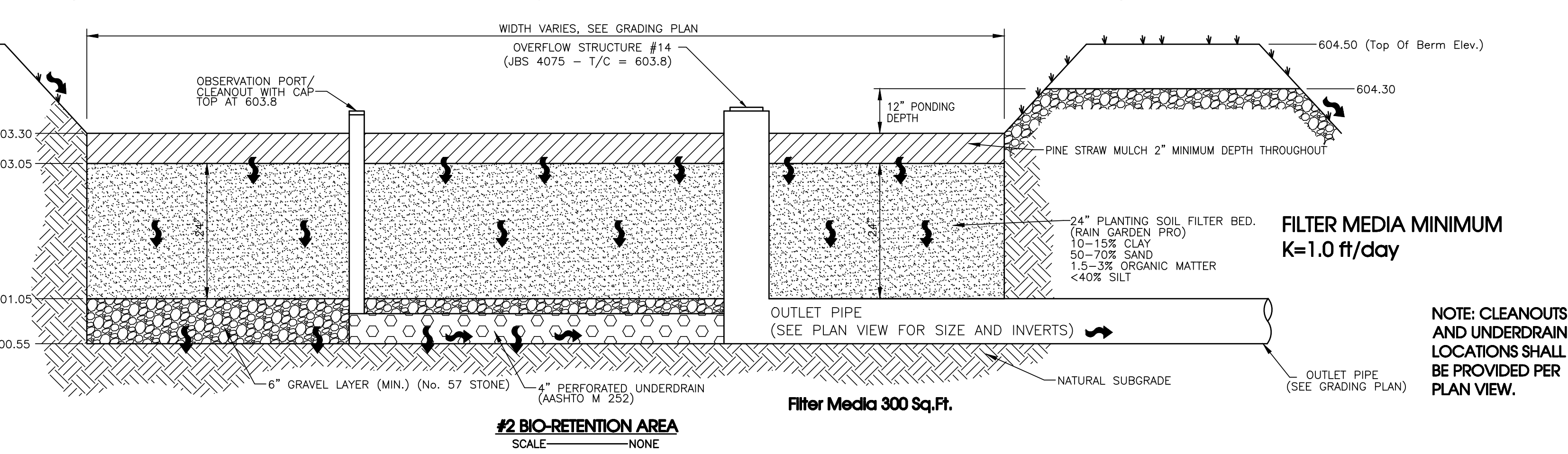
DETENTION POND OUTLET DETAILS  
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### Bio-Retention Notes:

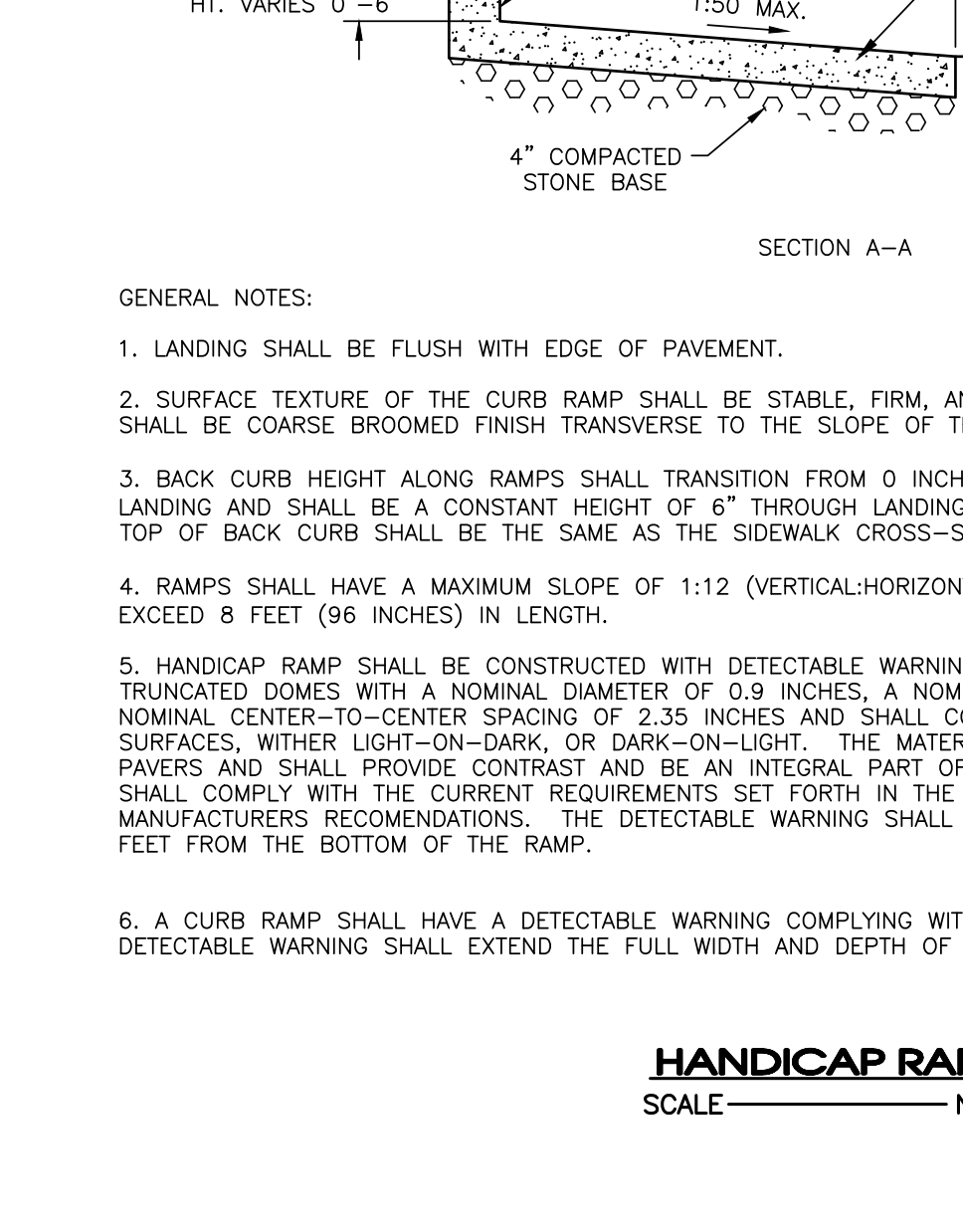
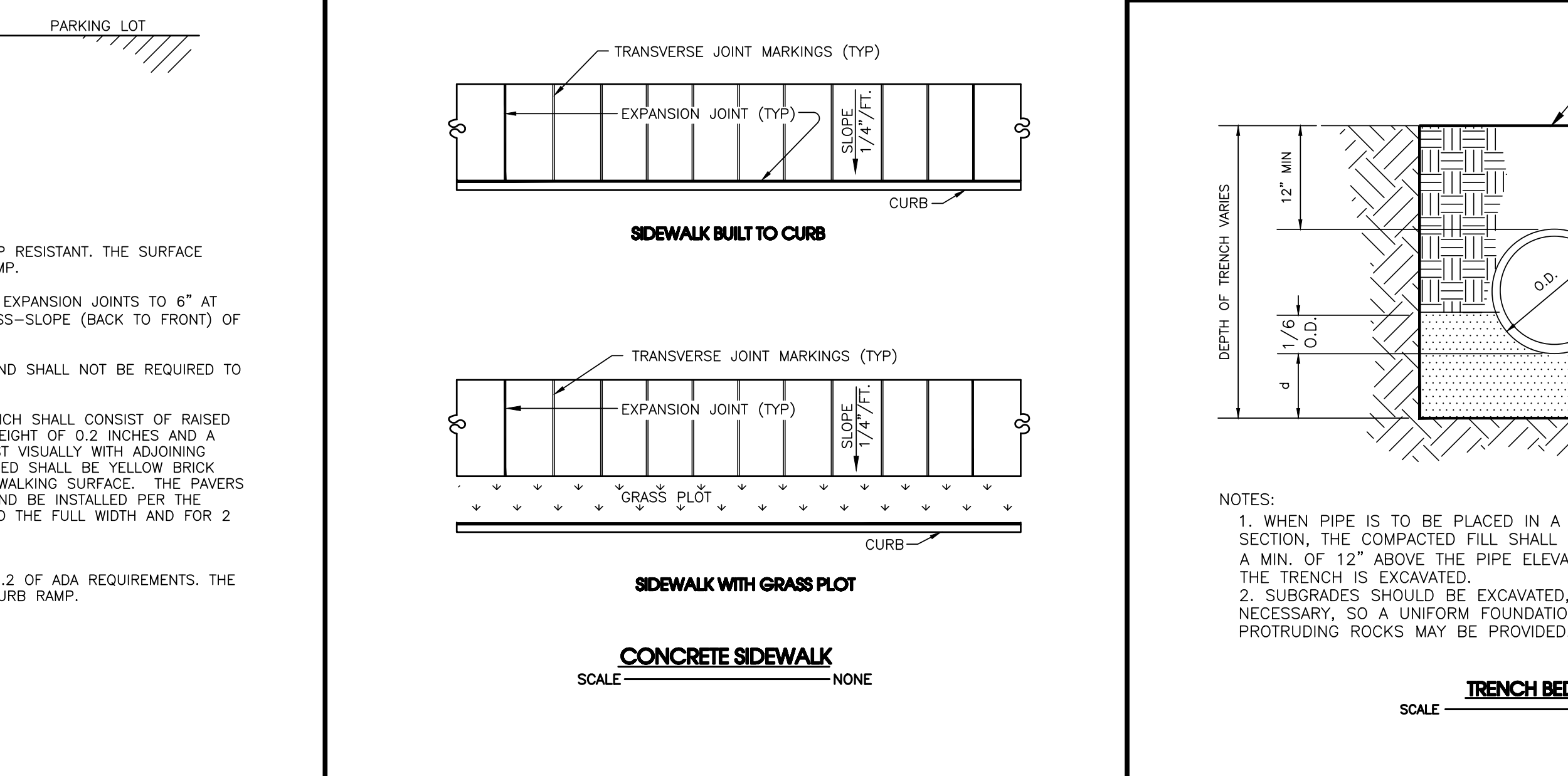
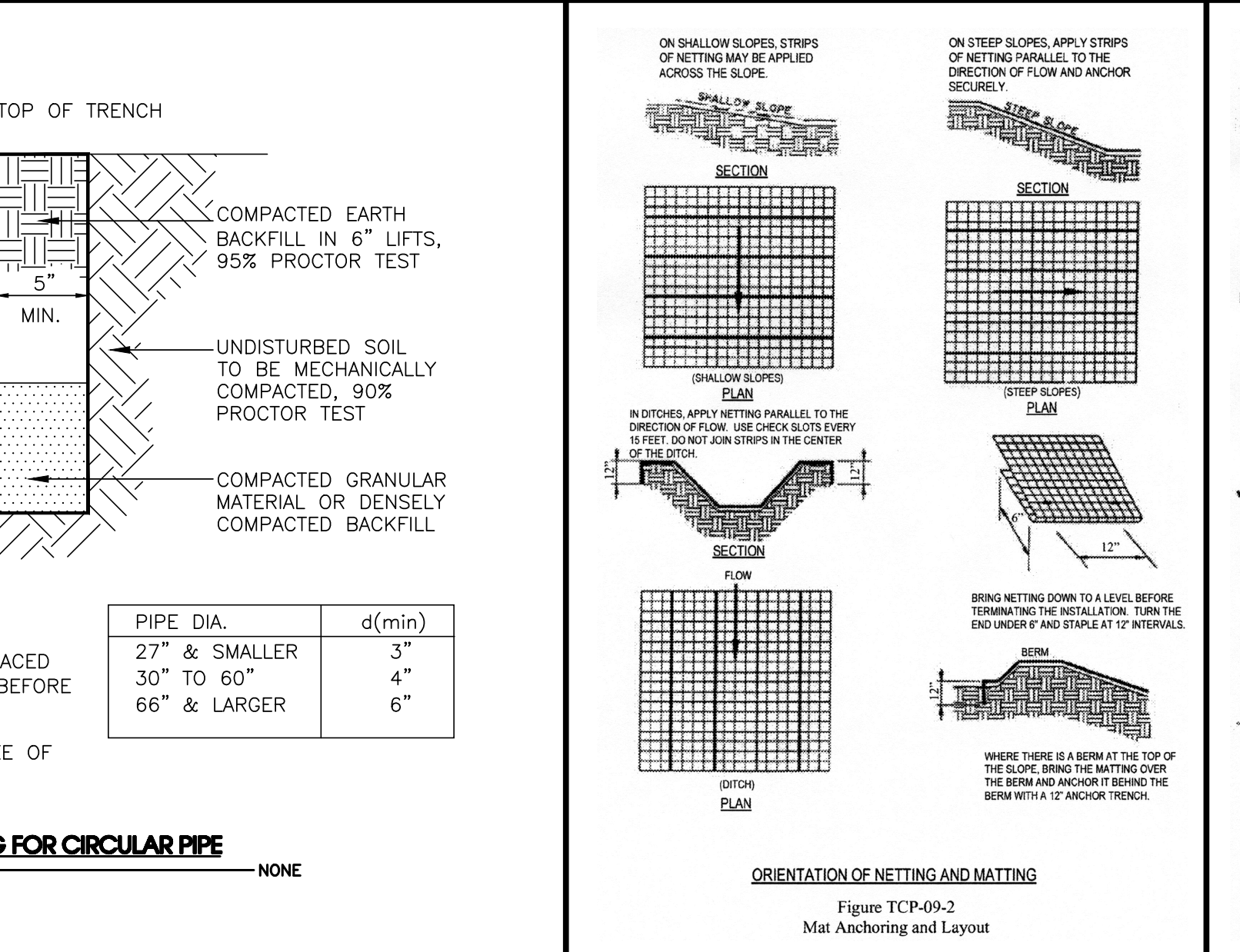
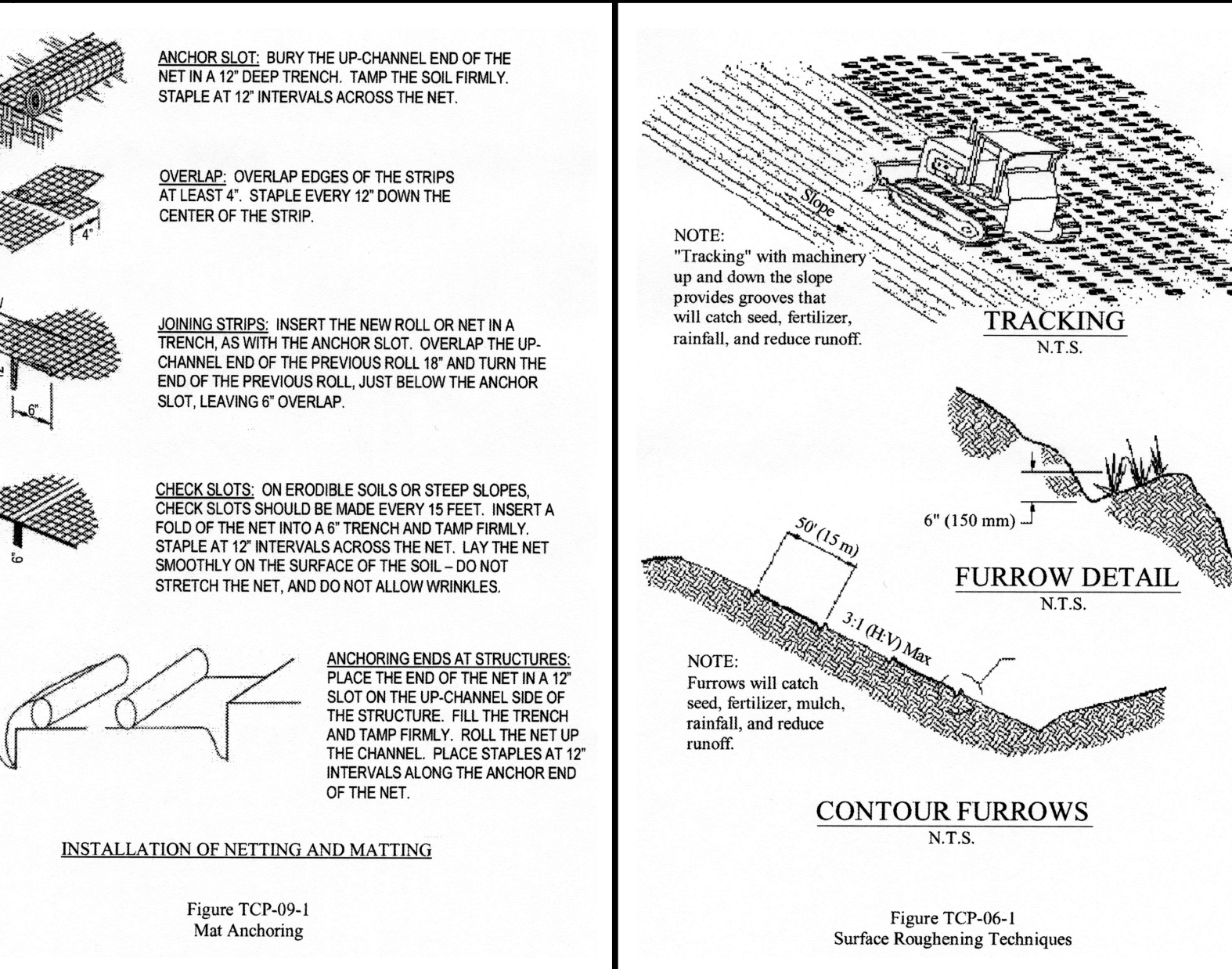
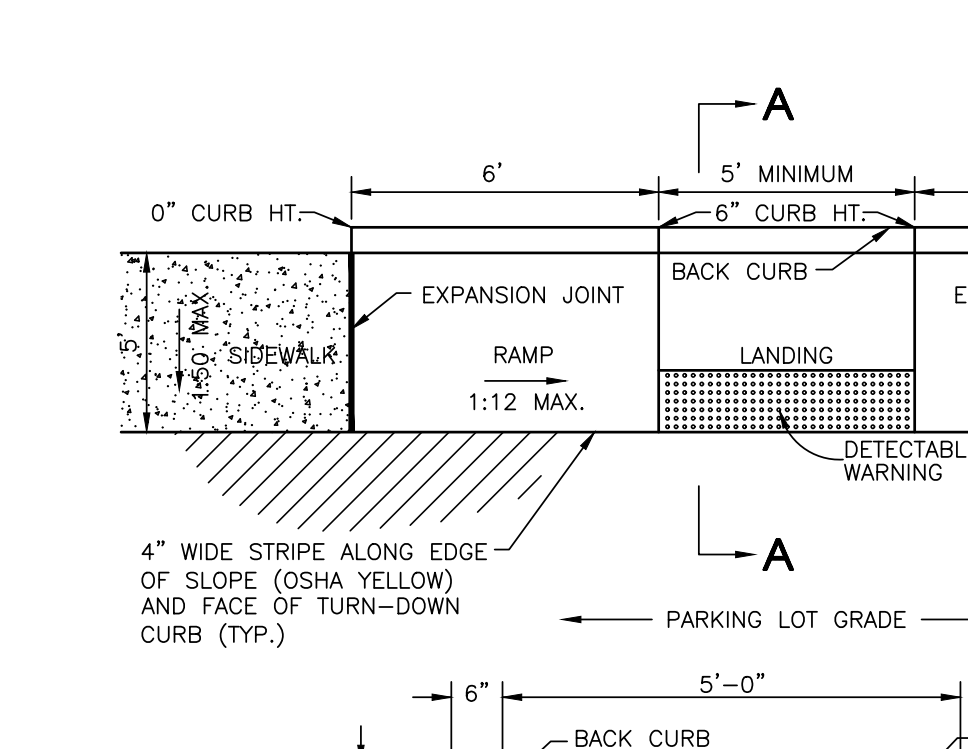
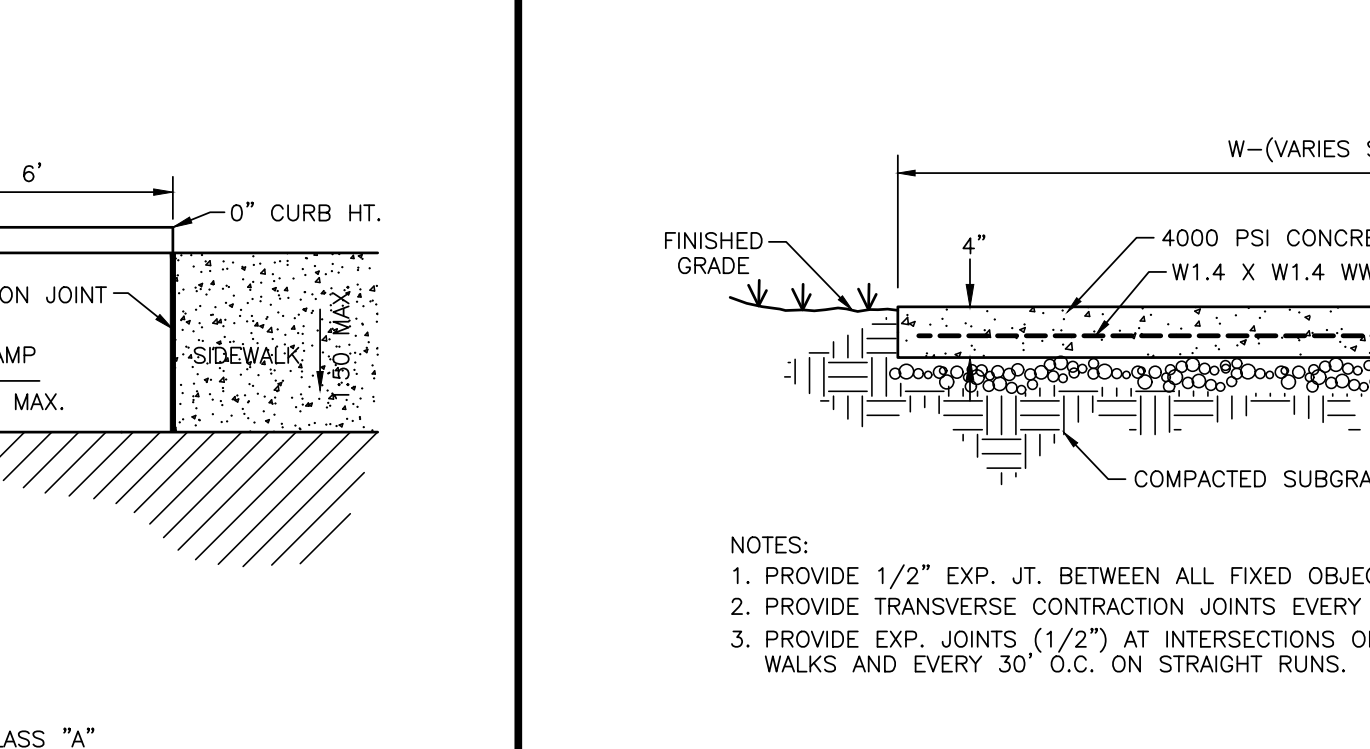
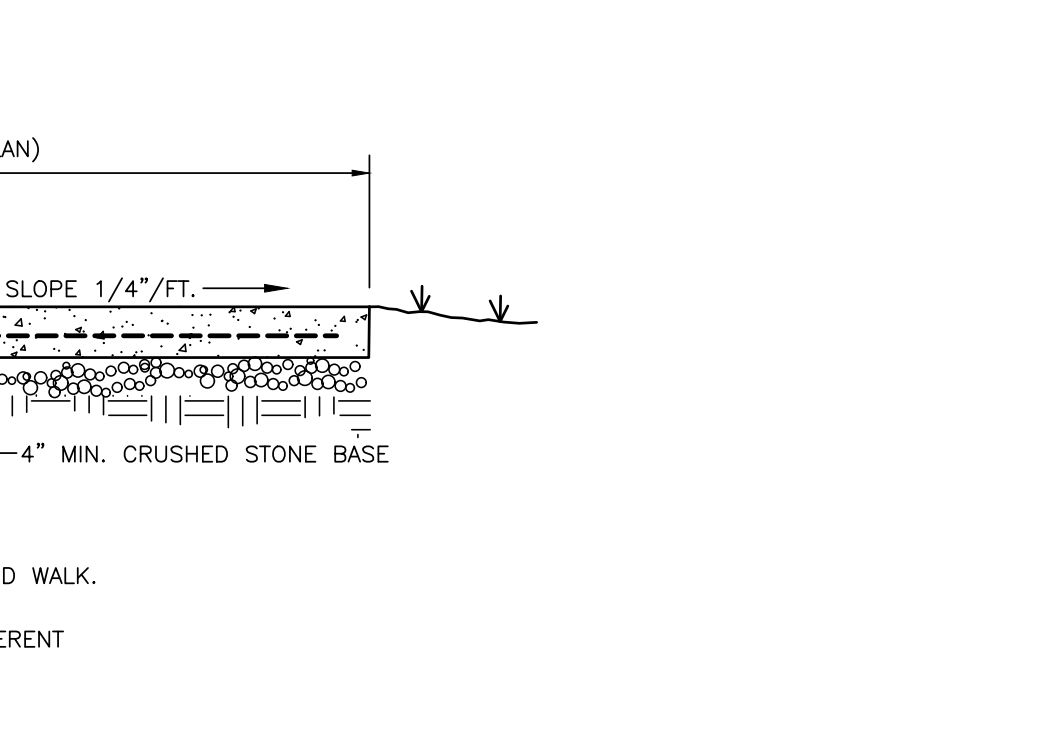
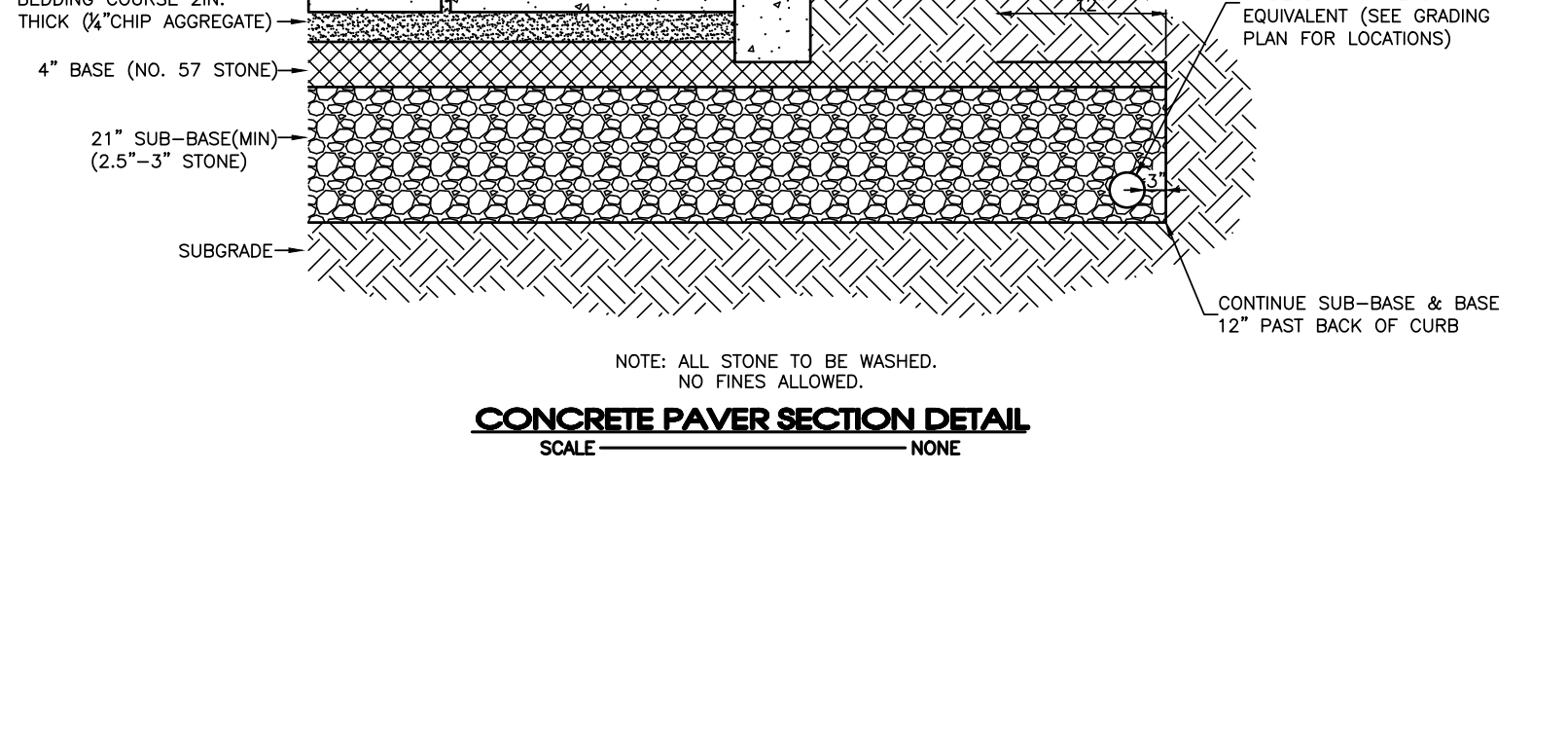
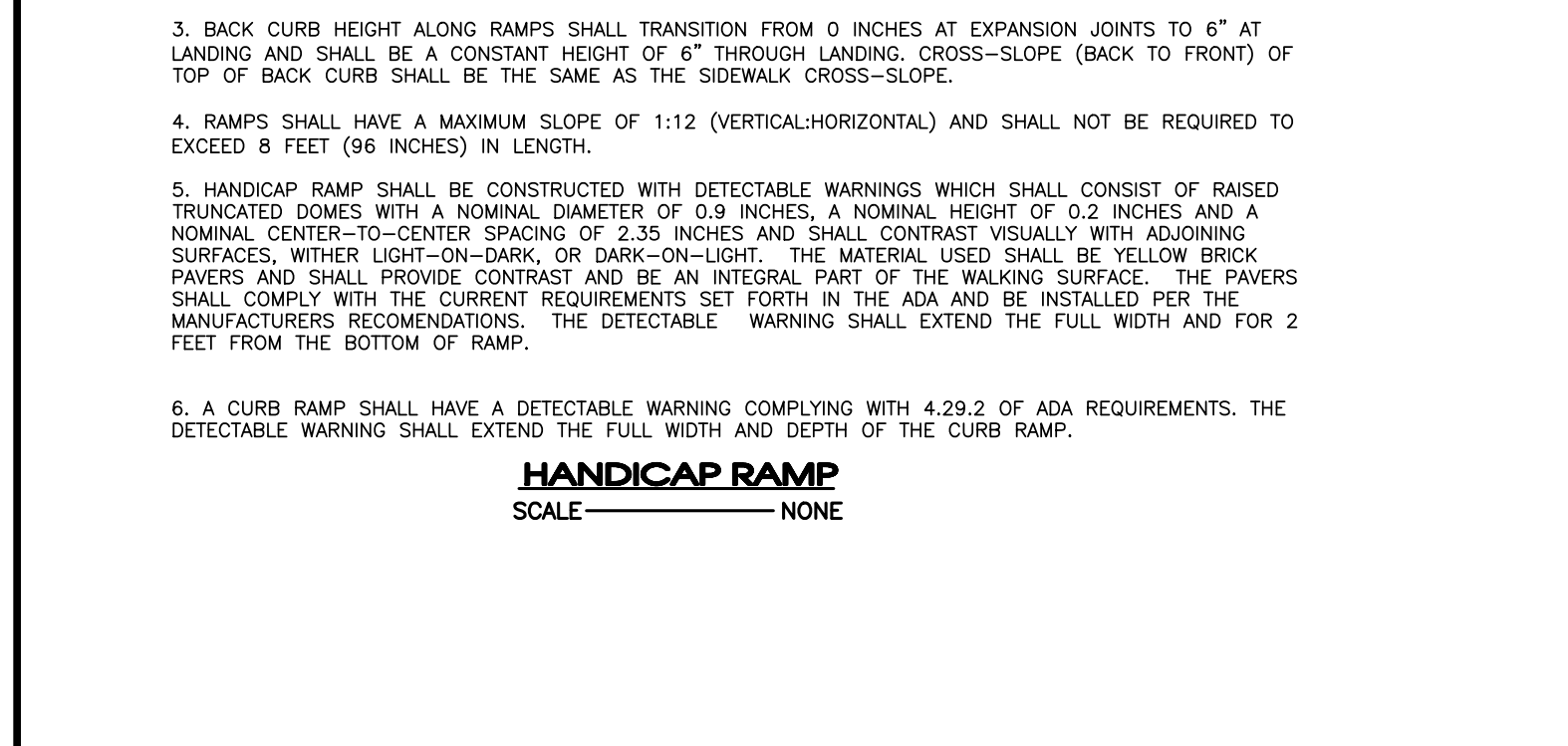
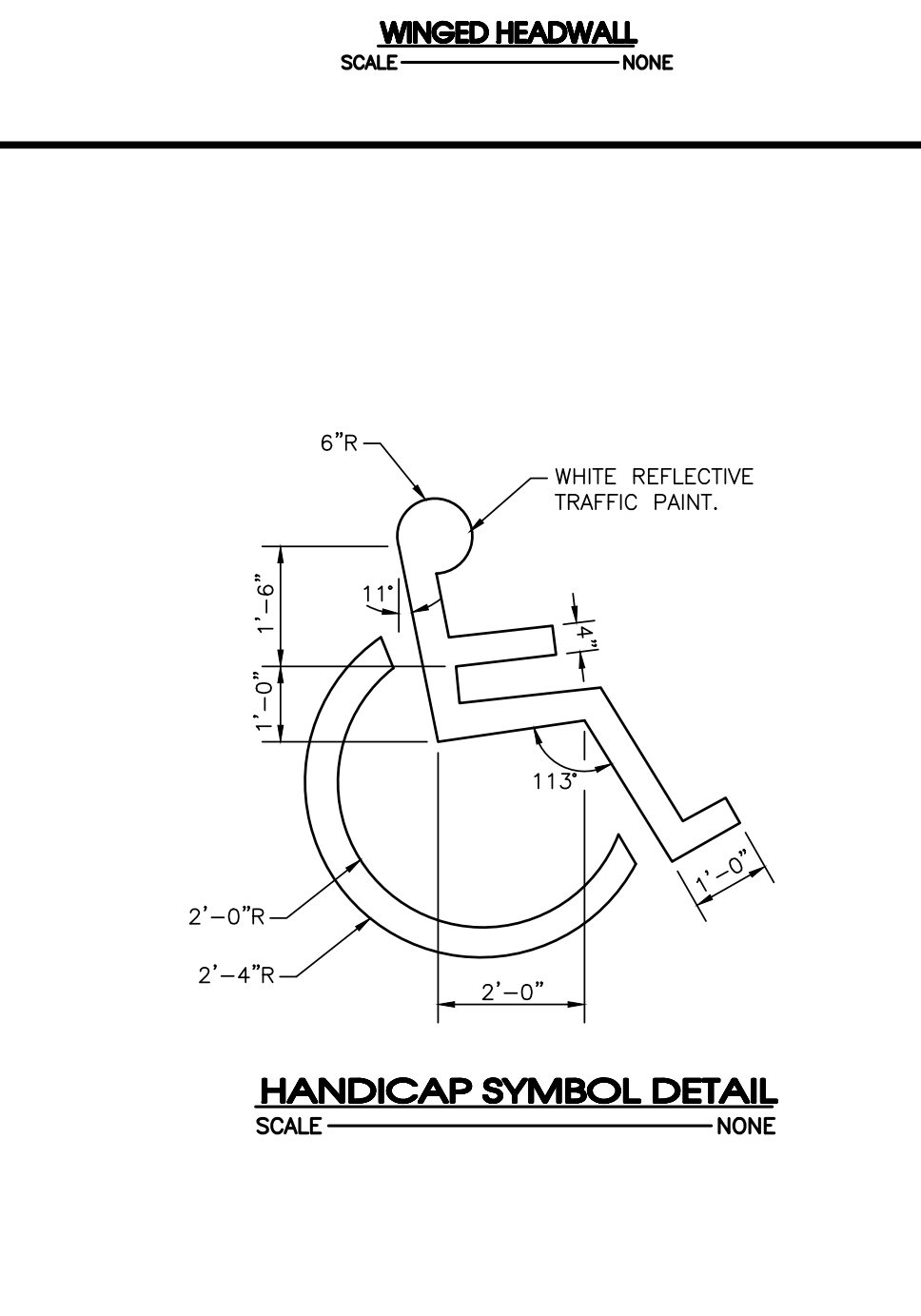
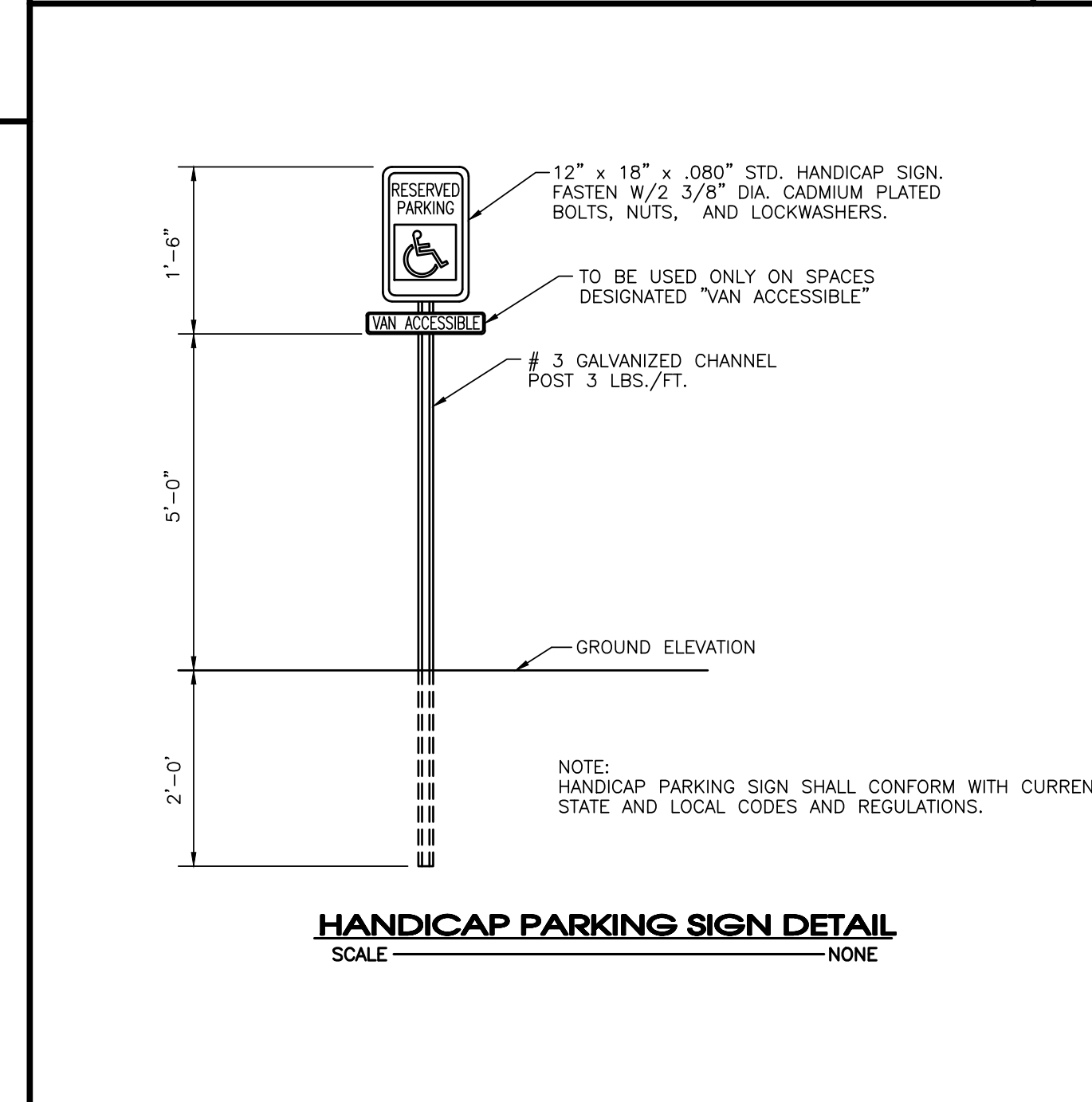
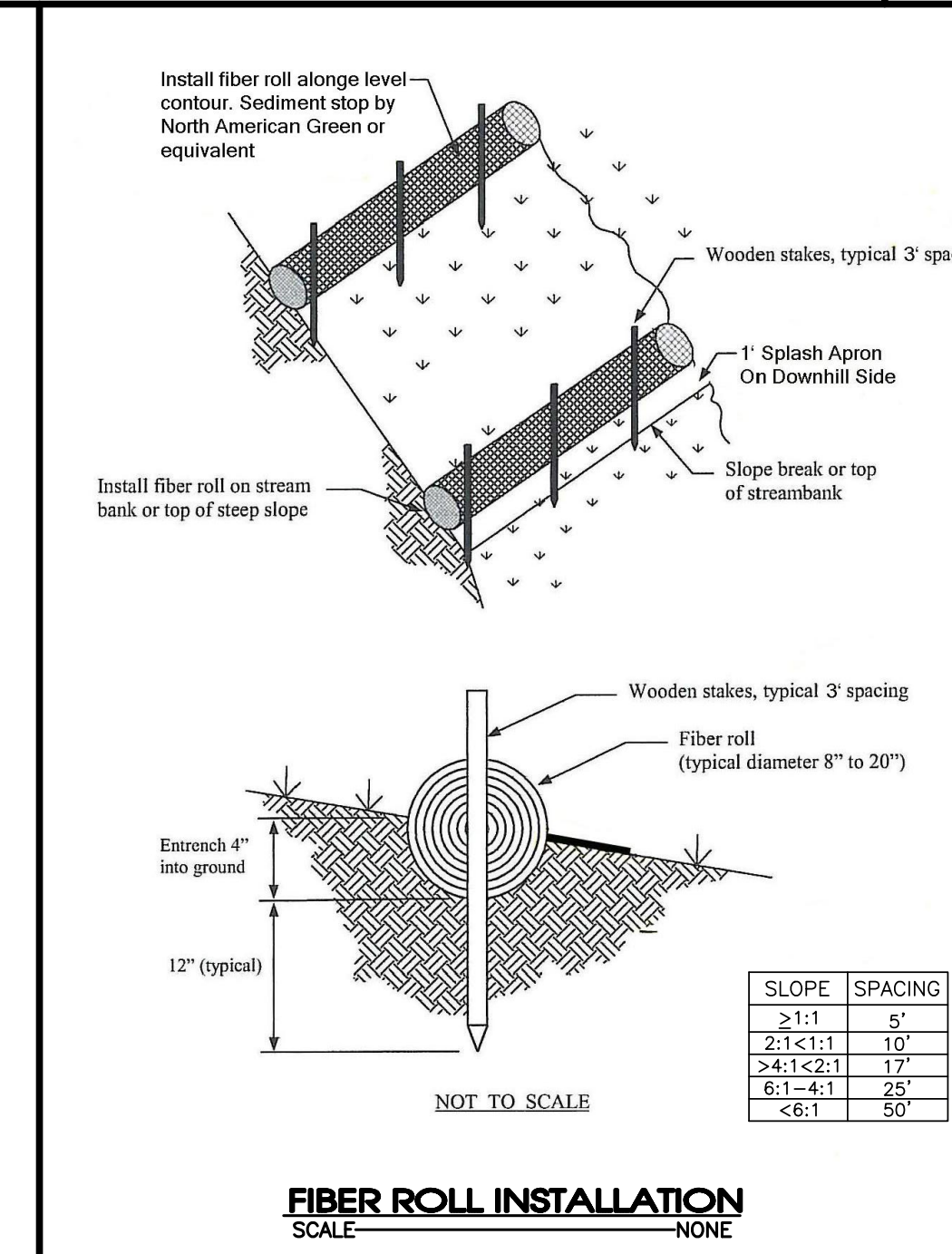
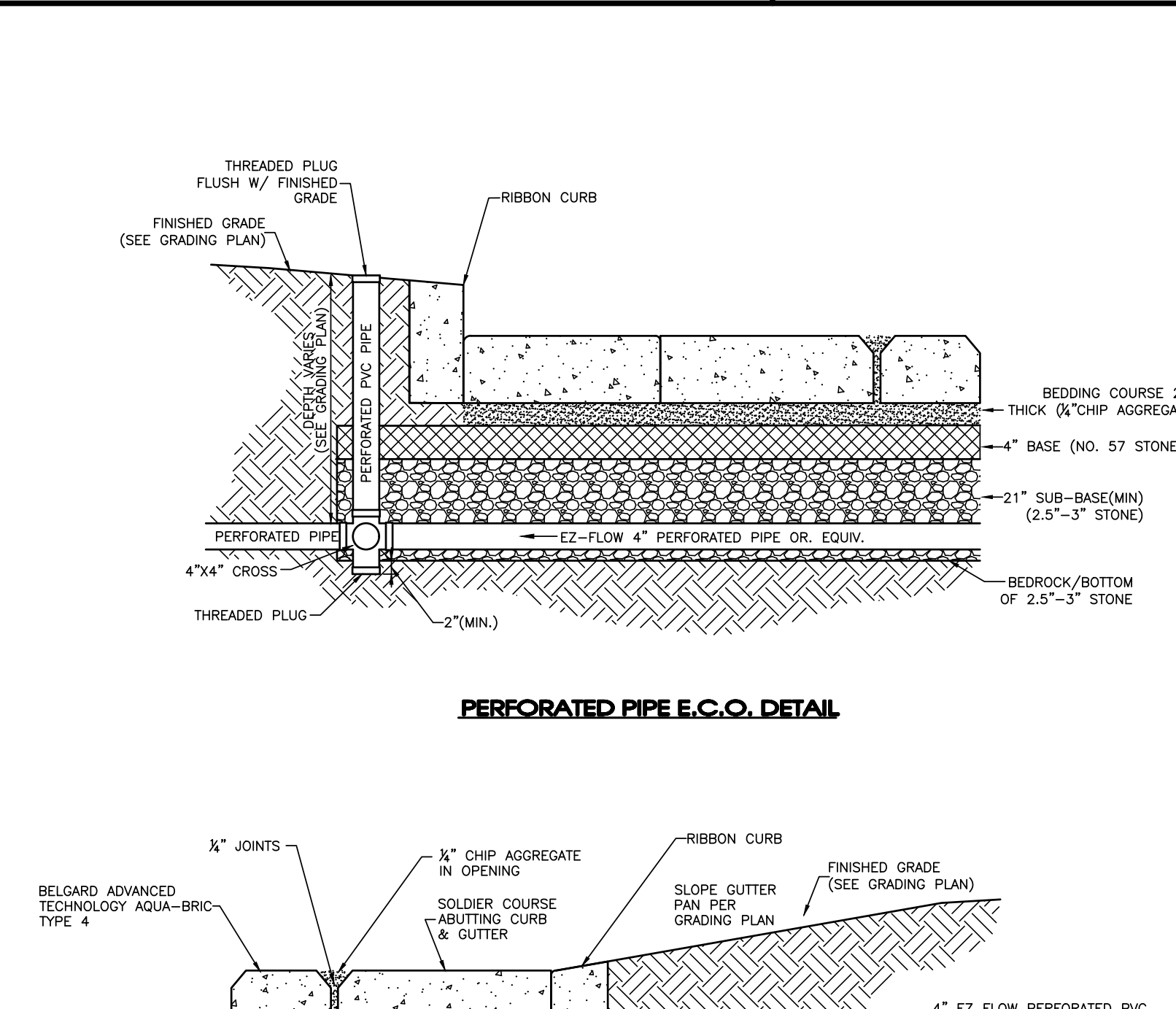
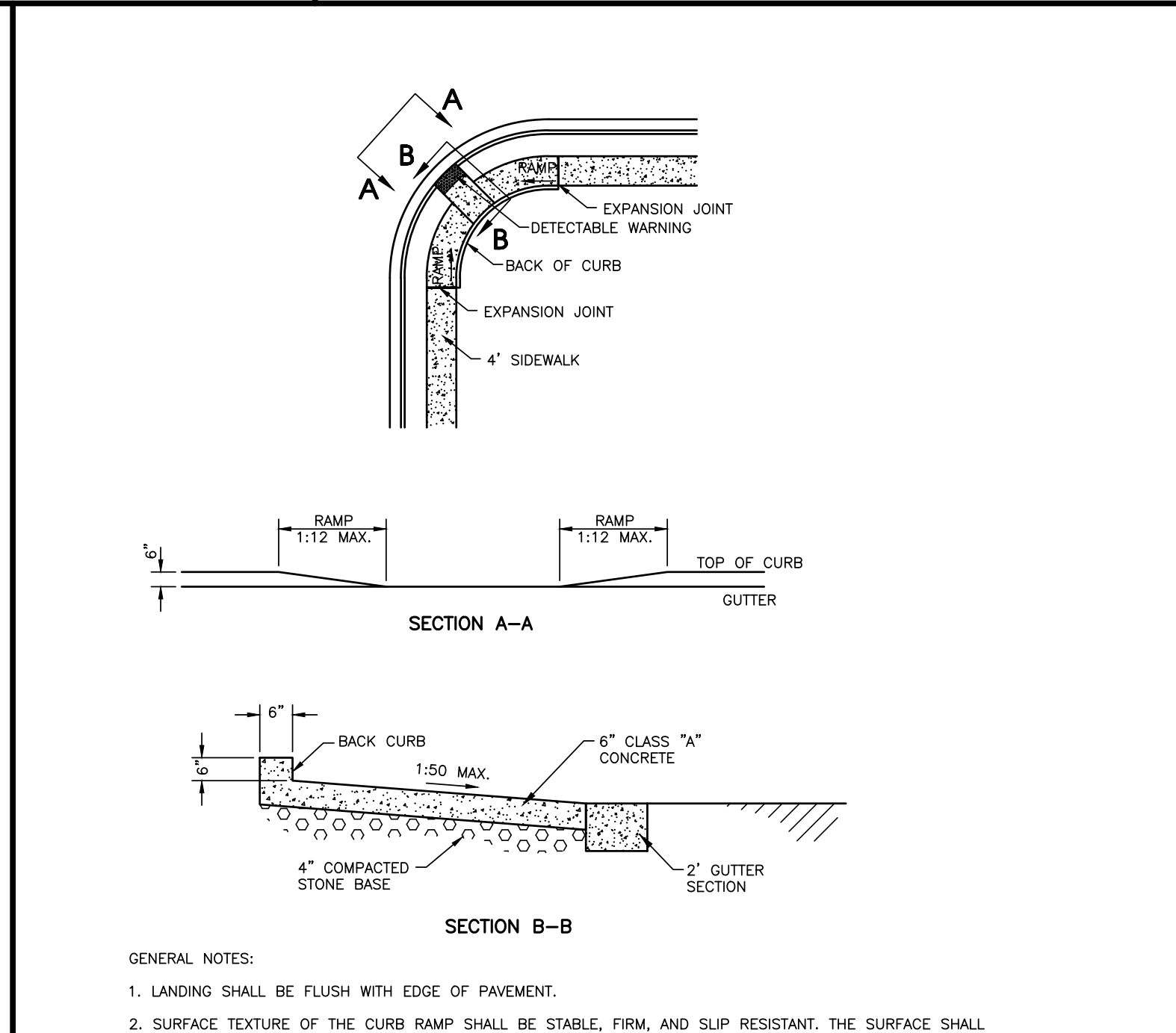
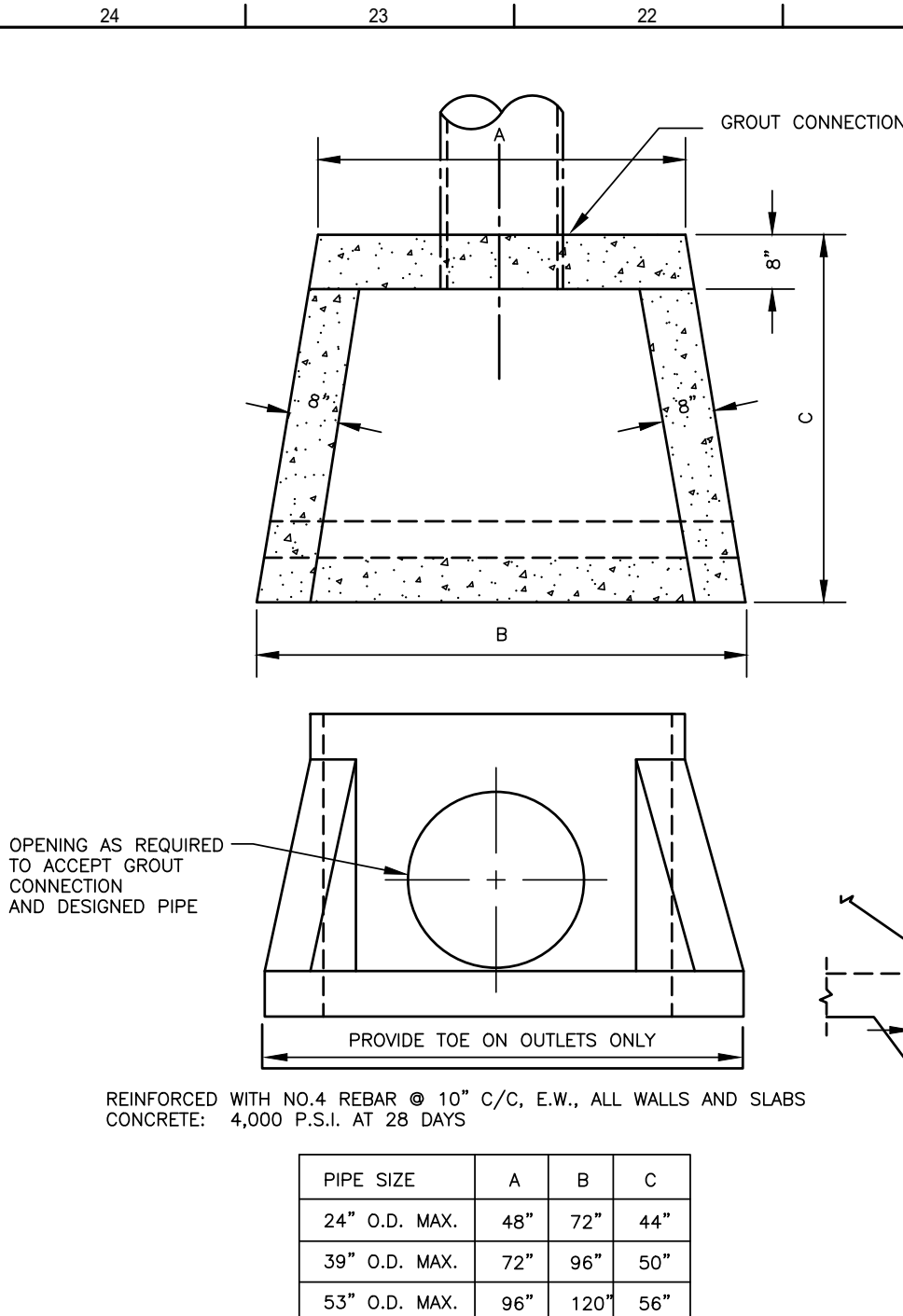
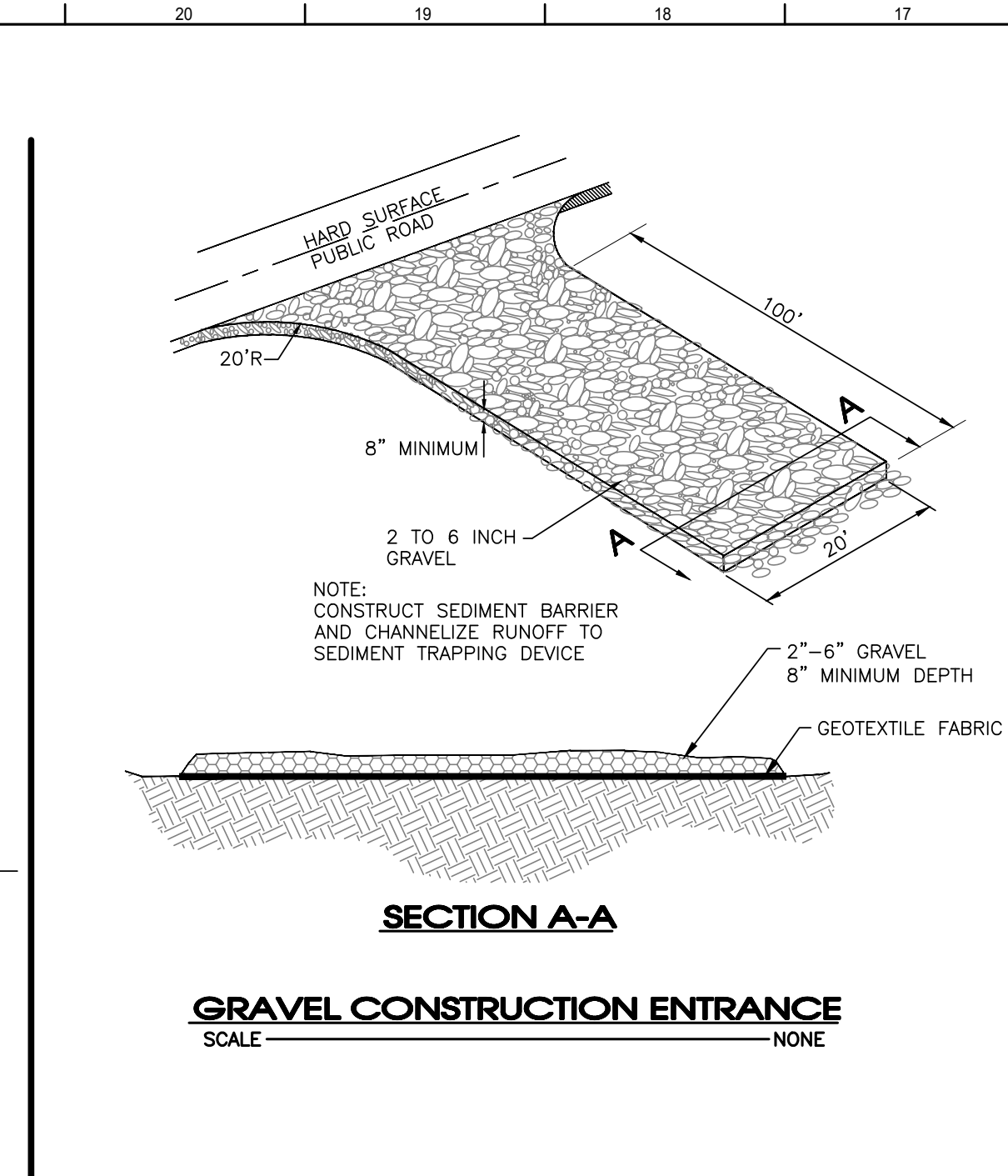
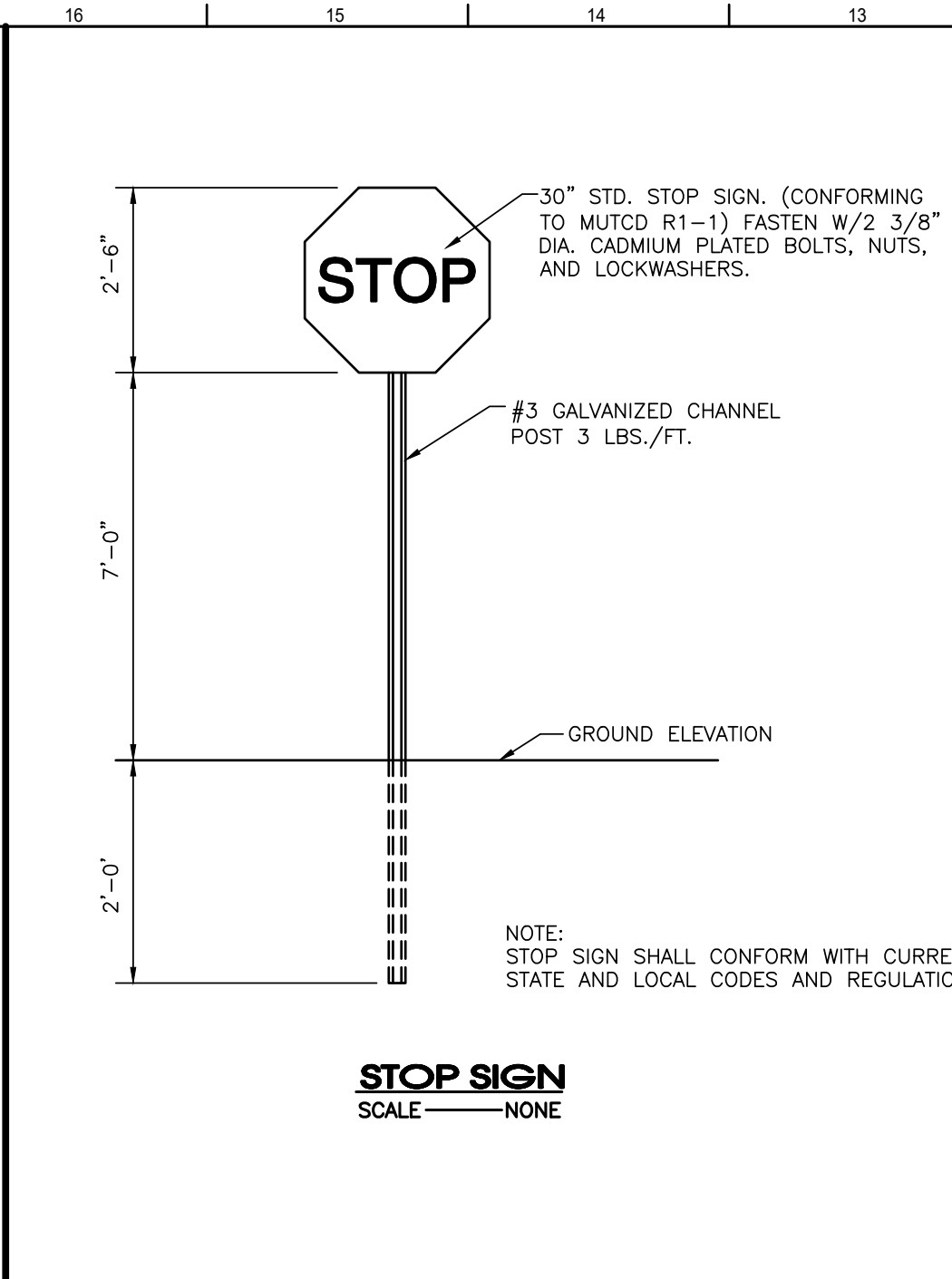
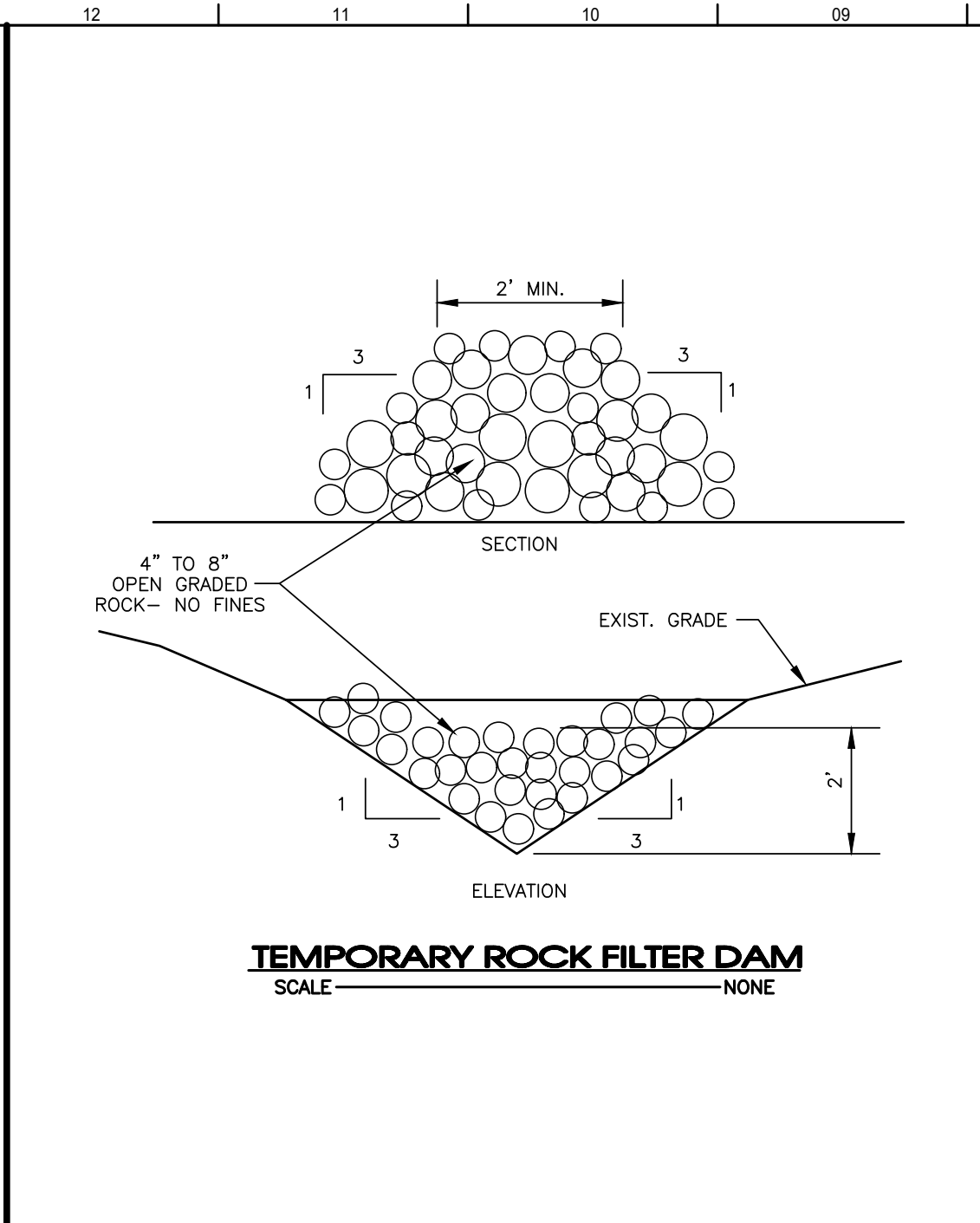
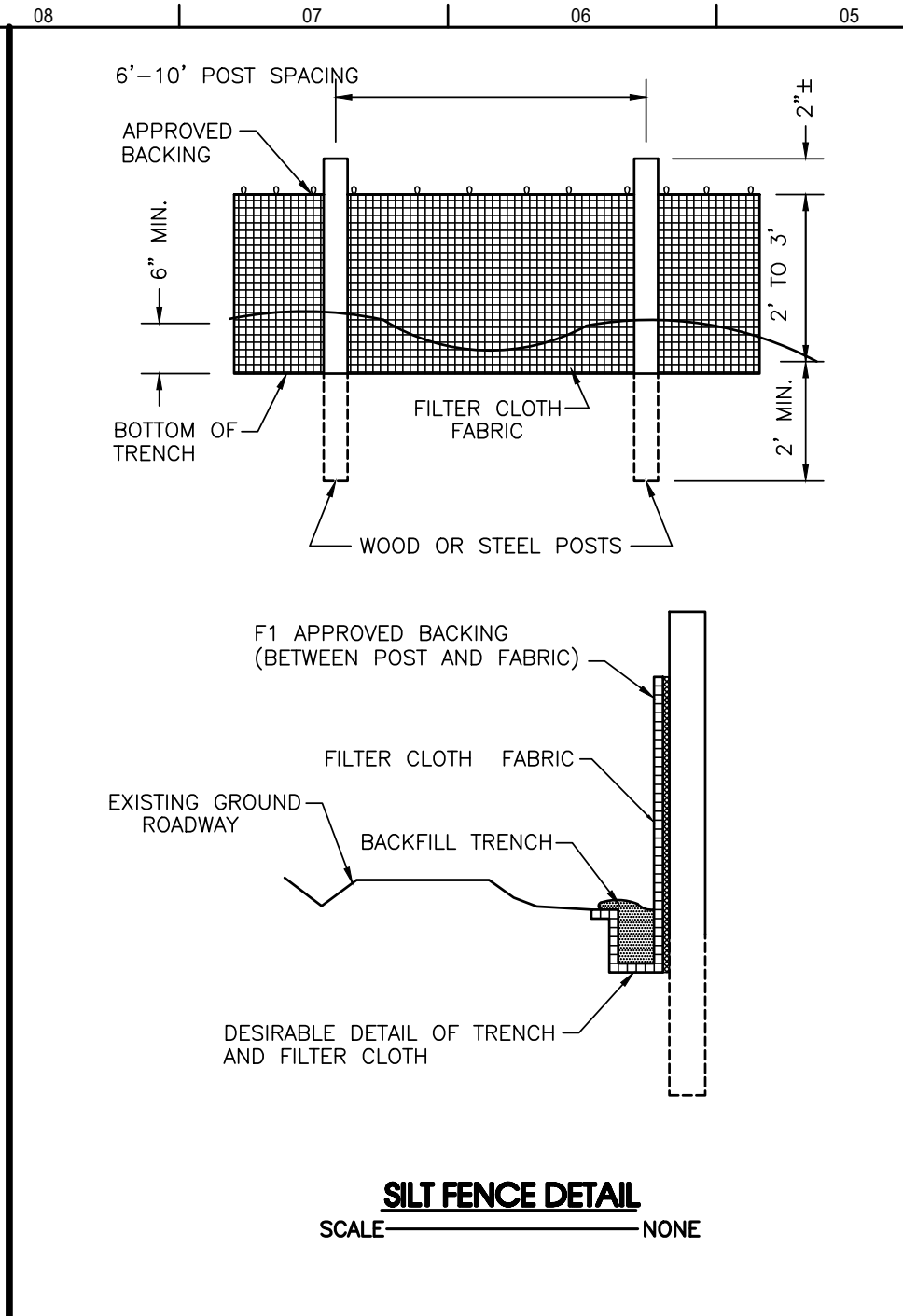
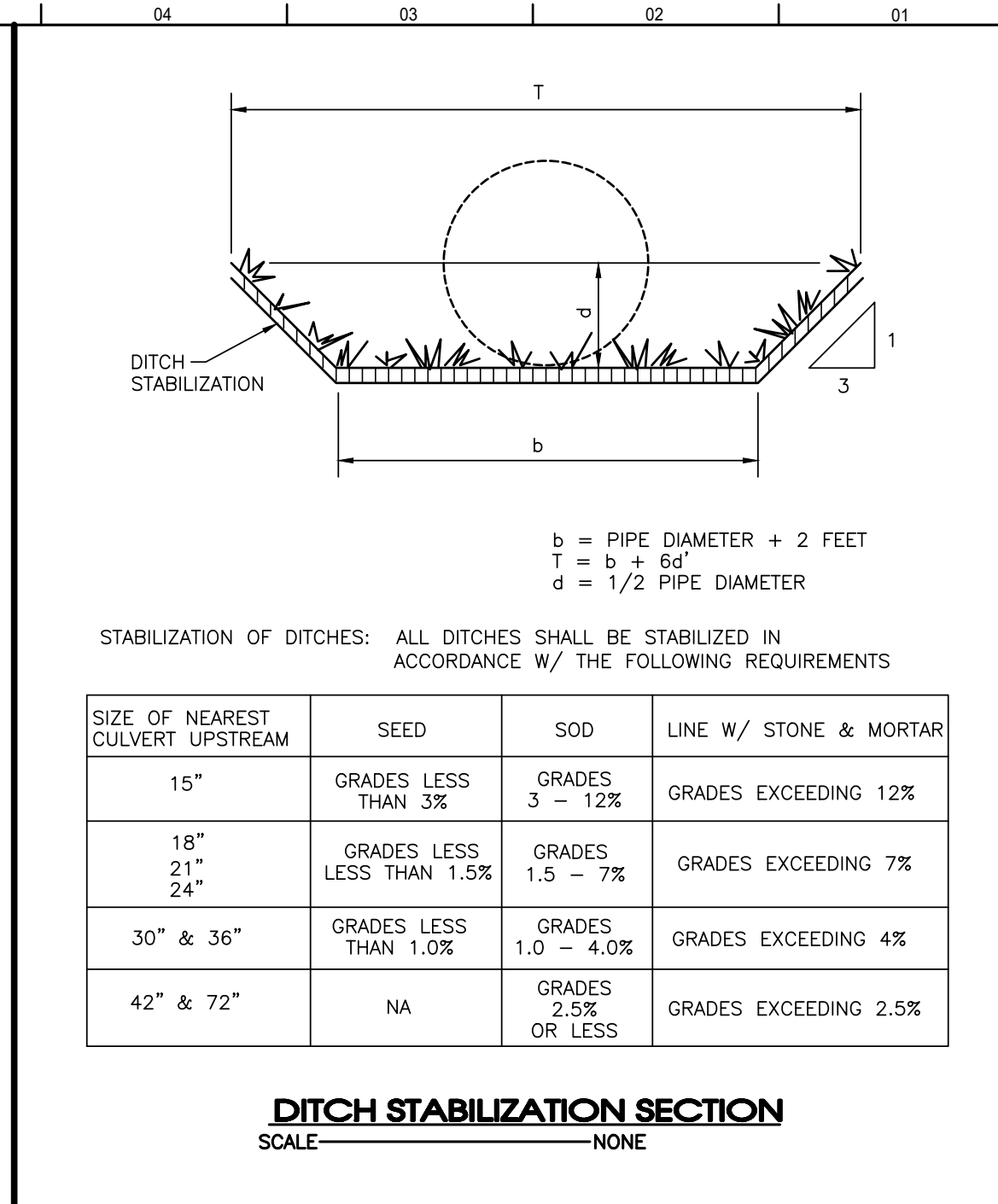
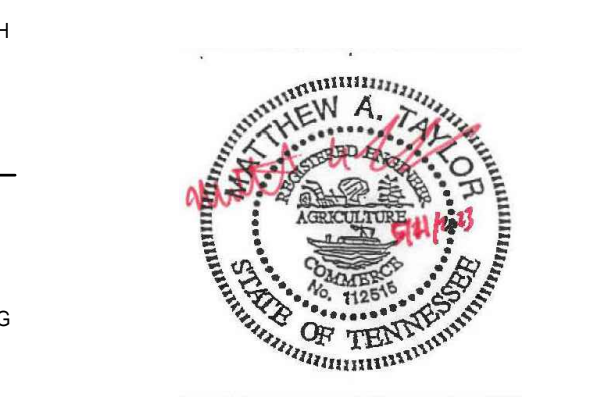
- Excavators shall be equipped in order to work from the outside the Bio-Retention footprint. Excavated areas shall not be compacted or loaded in any way as to cause soil compaction.
- During excavation, moist conditions may cause fines to clog the native soil surface of the facility, if the native soil has been exposed to rainfall or if smearing occurs. Hand rake the surface to a depth of 3" to restore infiltration capacity.
- During construction phase, contractor shall divert runoff flow around the Bio-Retention areas to ensure sediment does not enter.
- Recycled material is not approved for use in Bio-Retention facilities.
- Utilities, including irrigation are prohibited within the Bio-Retention footprint.
- Permeable filter fabric is to be placed above and below the gravel layer to prevent migration between the layers. Filter fabric is also to be placed along the vertical outer wall of the bioretention system to limit vertical infiltration prior to filtration through the media.

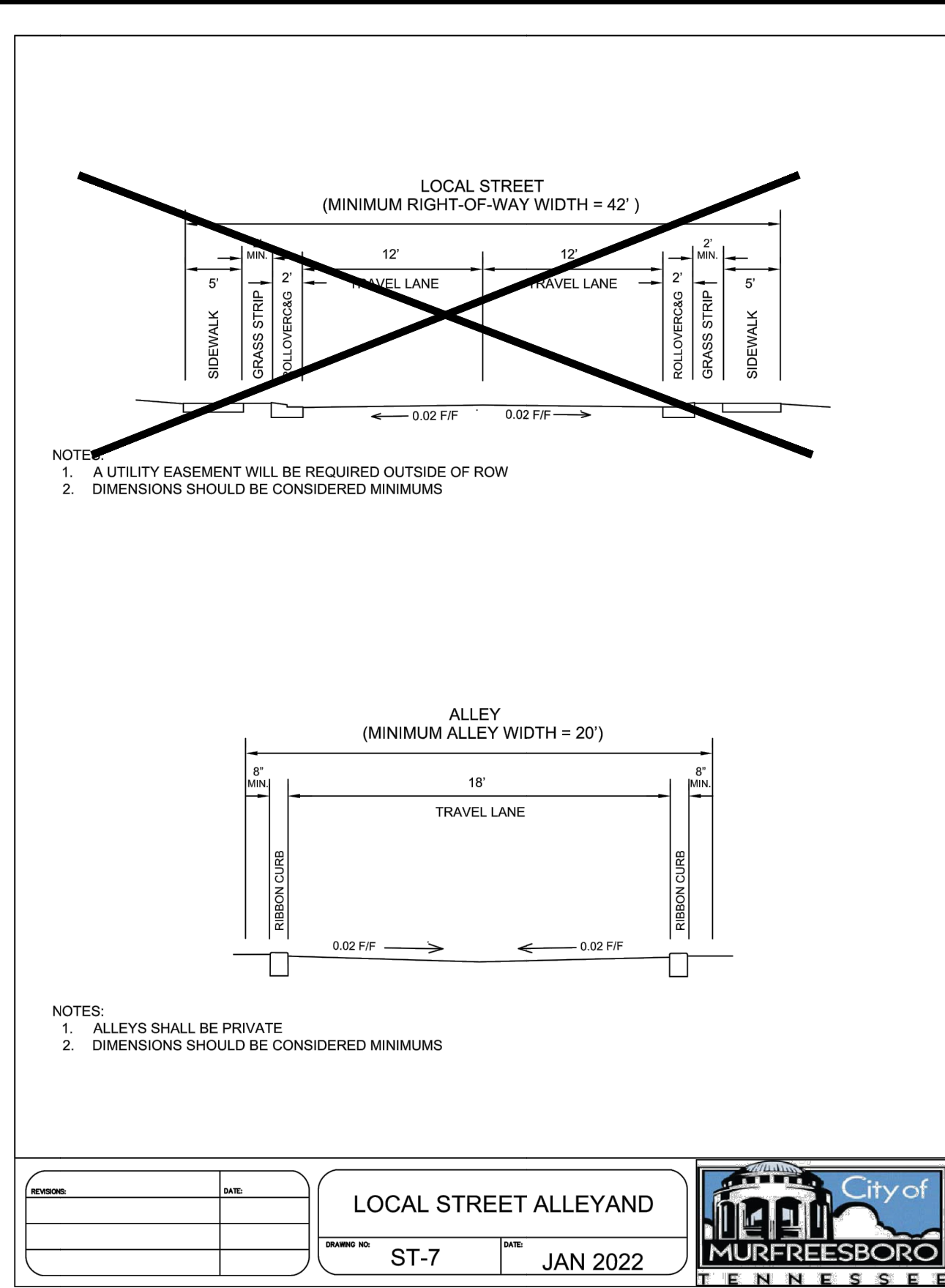


EPSC DETAILS  
SCALE: NONE



EPSC DETAILS  
SCALE: NONE



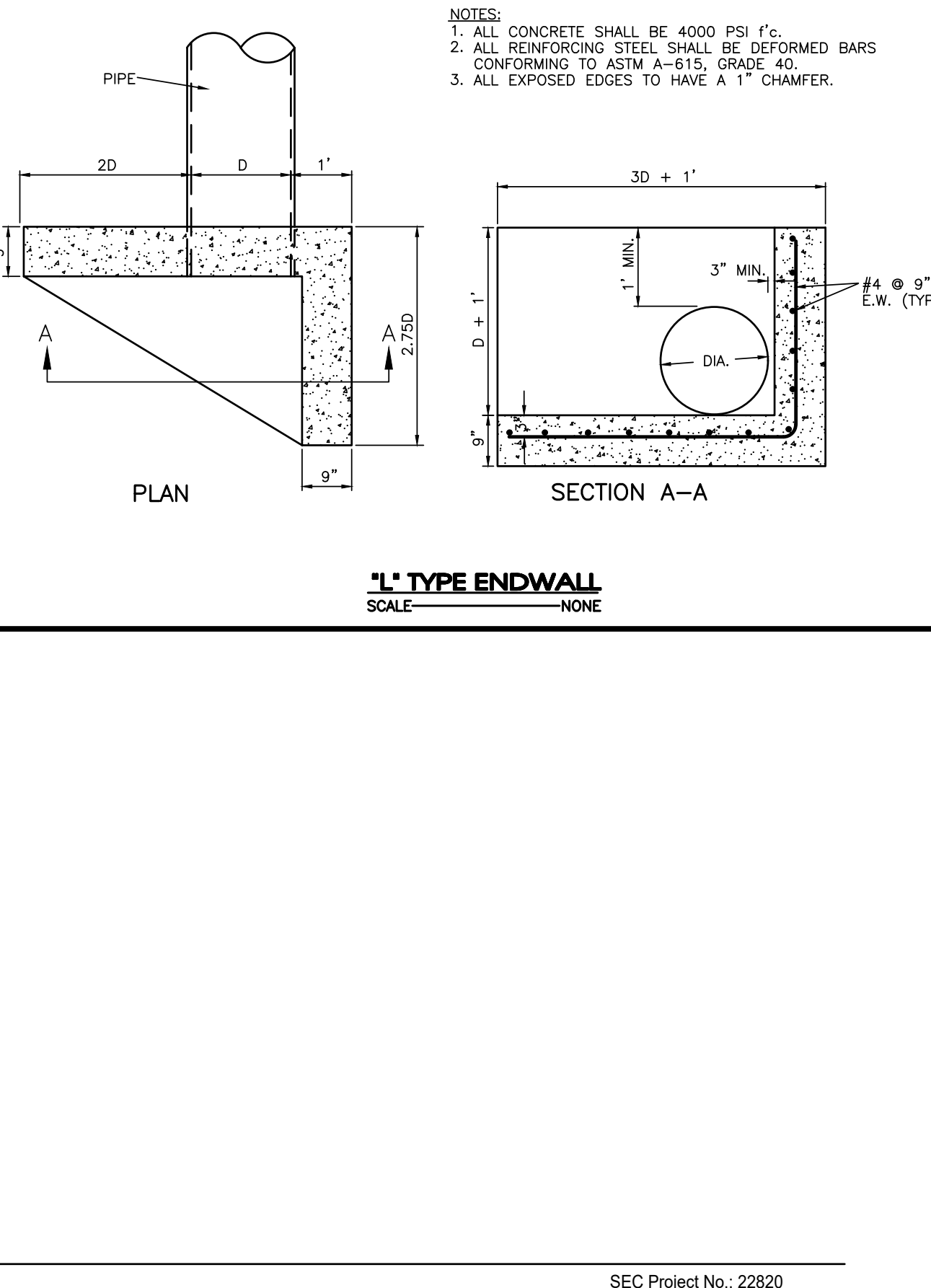
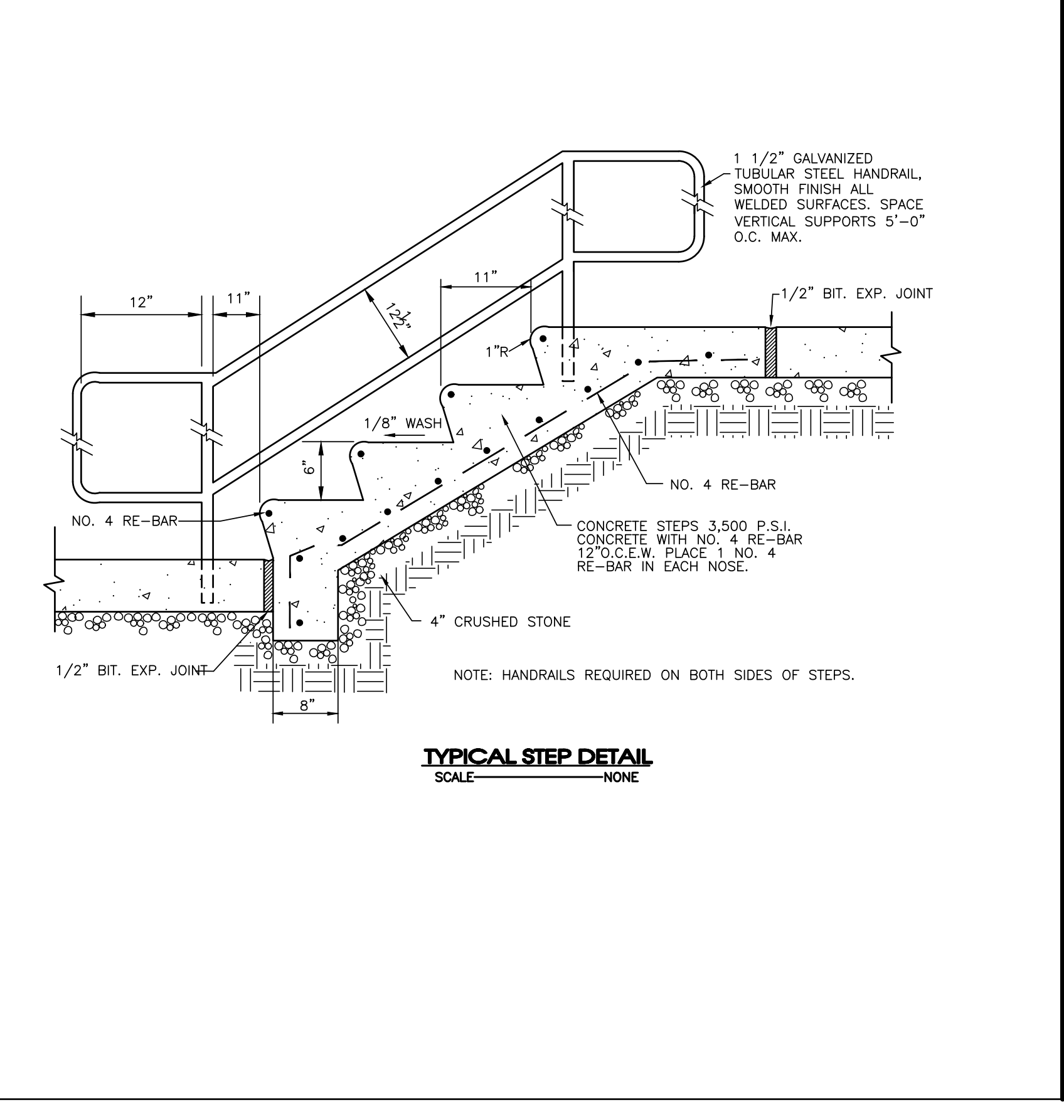
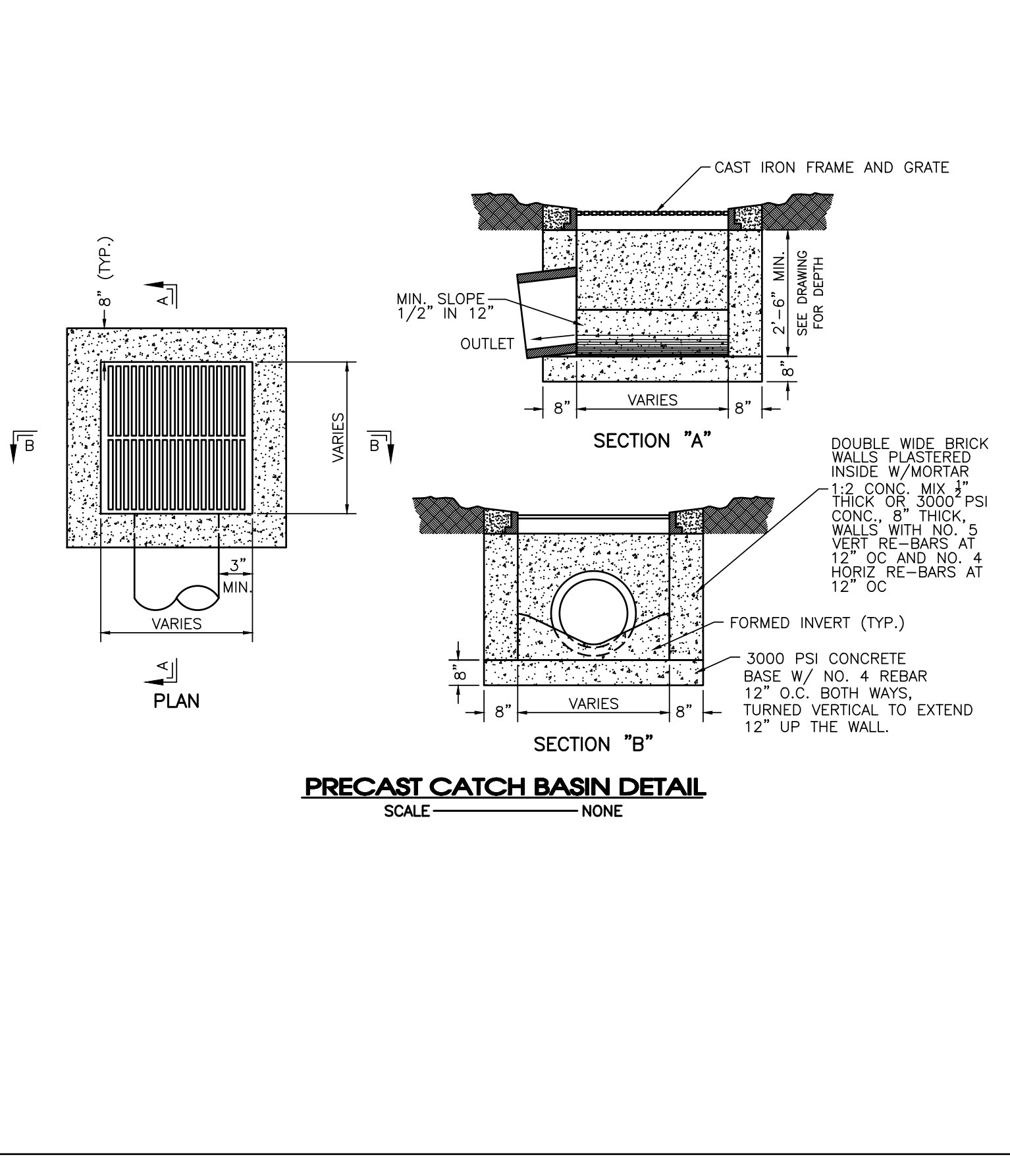
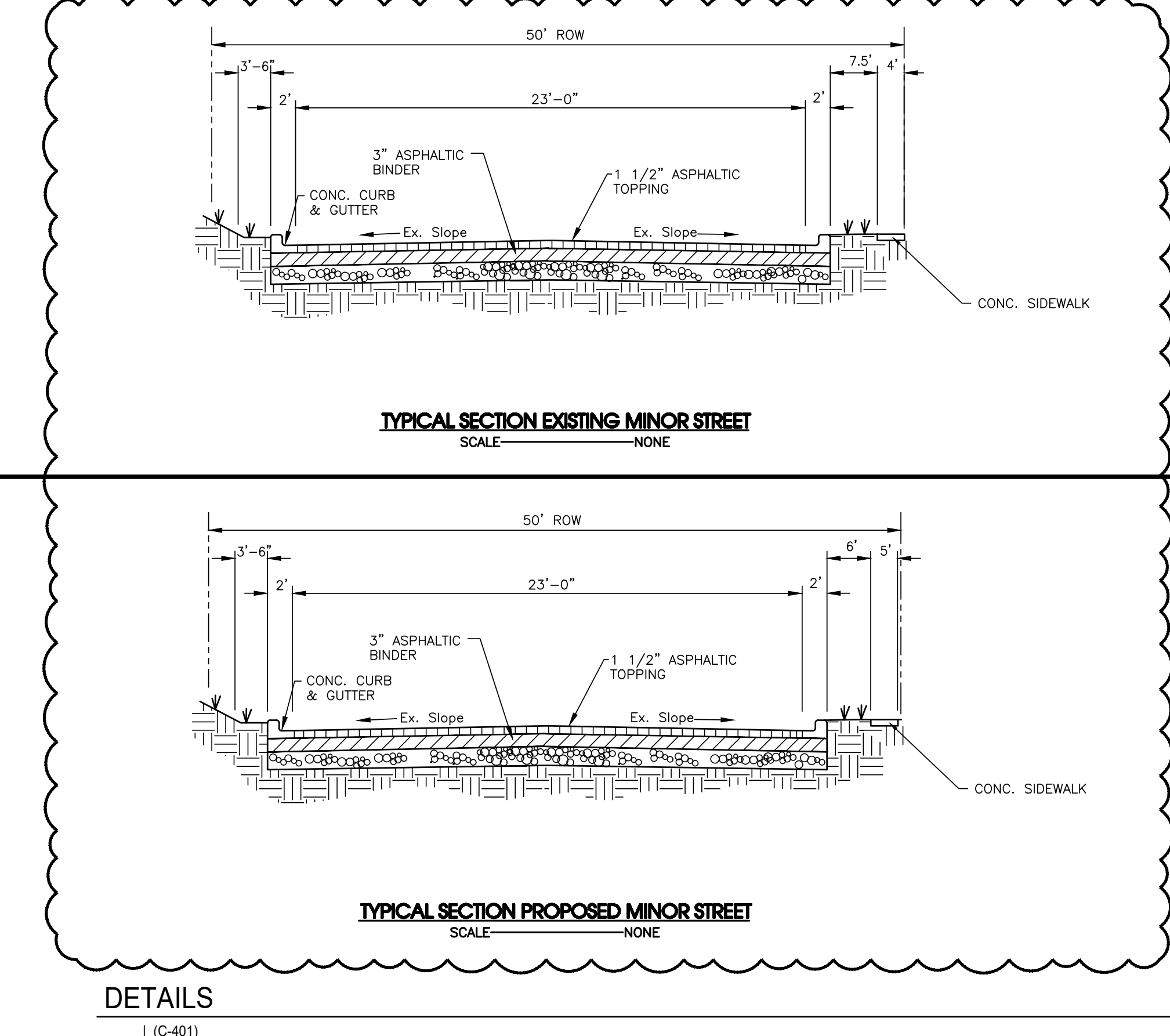
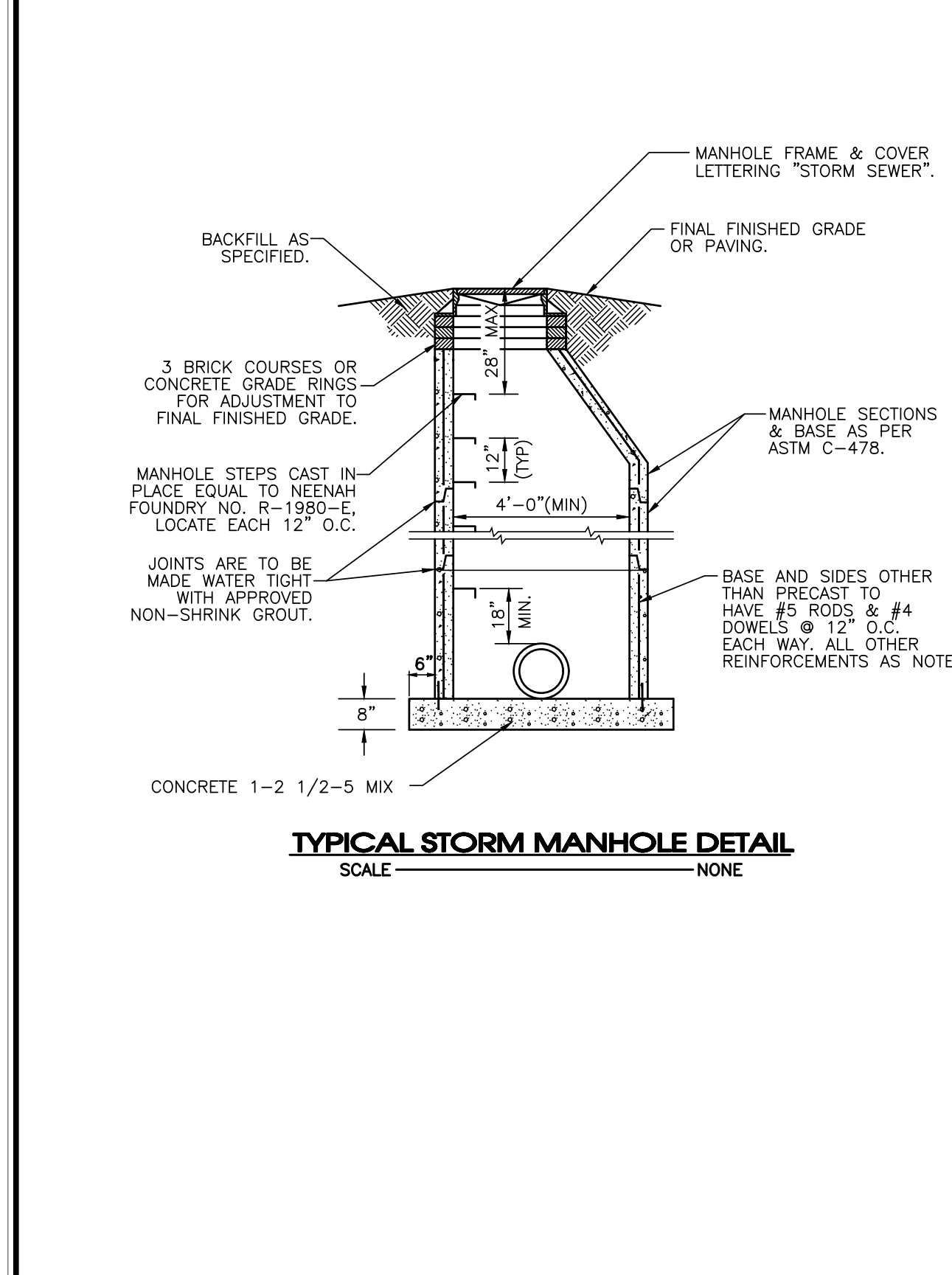
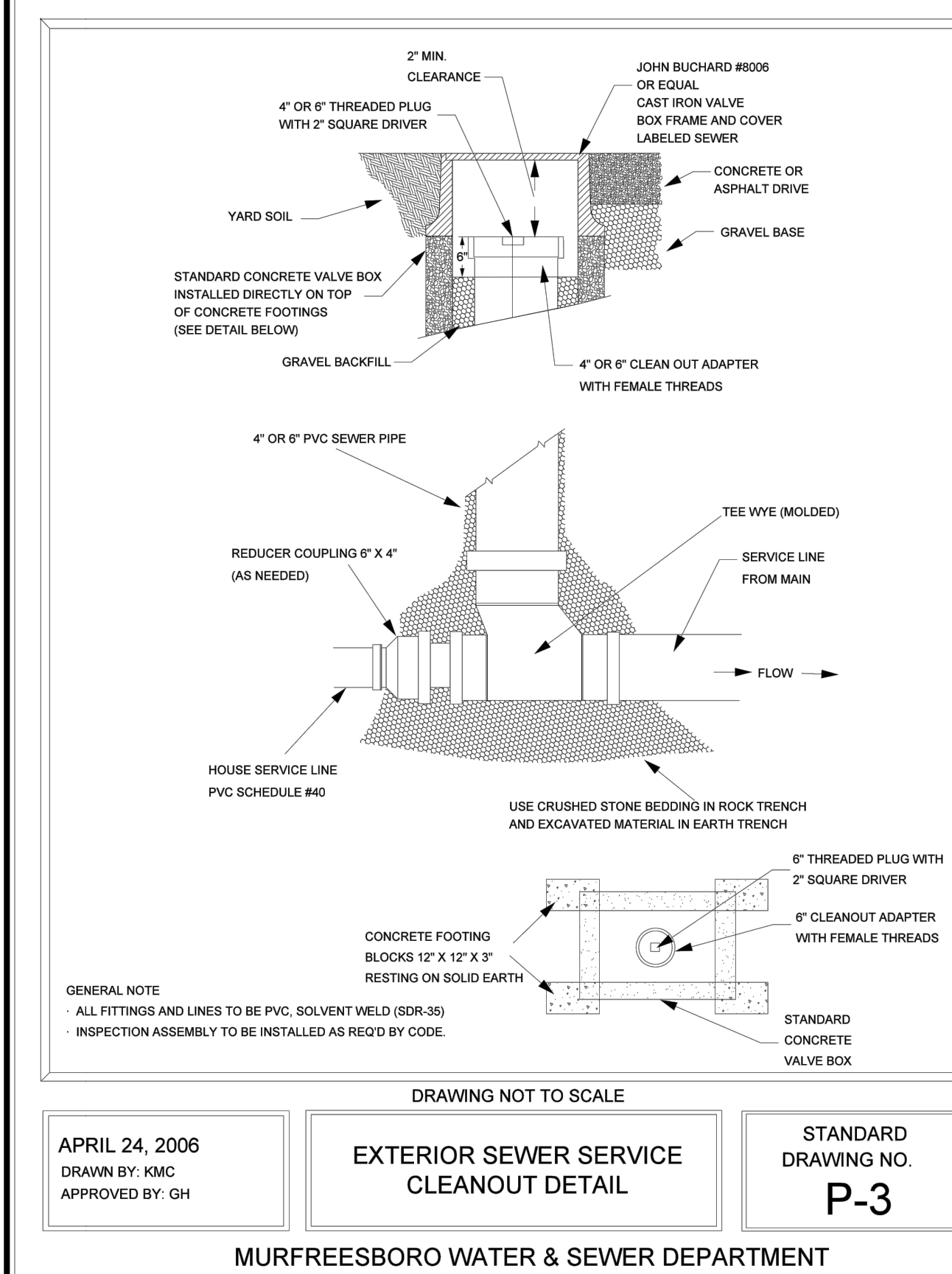
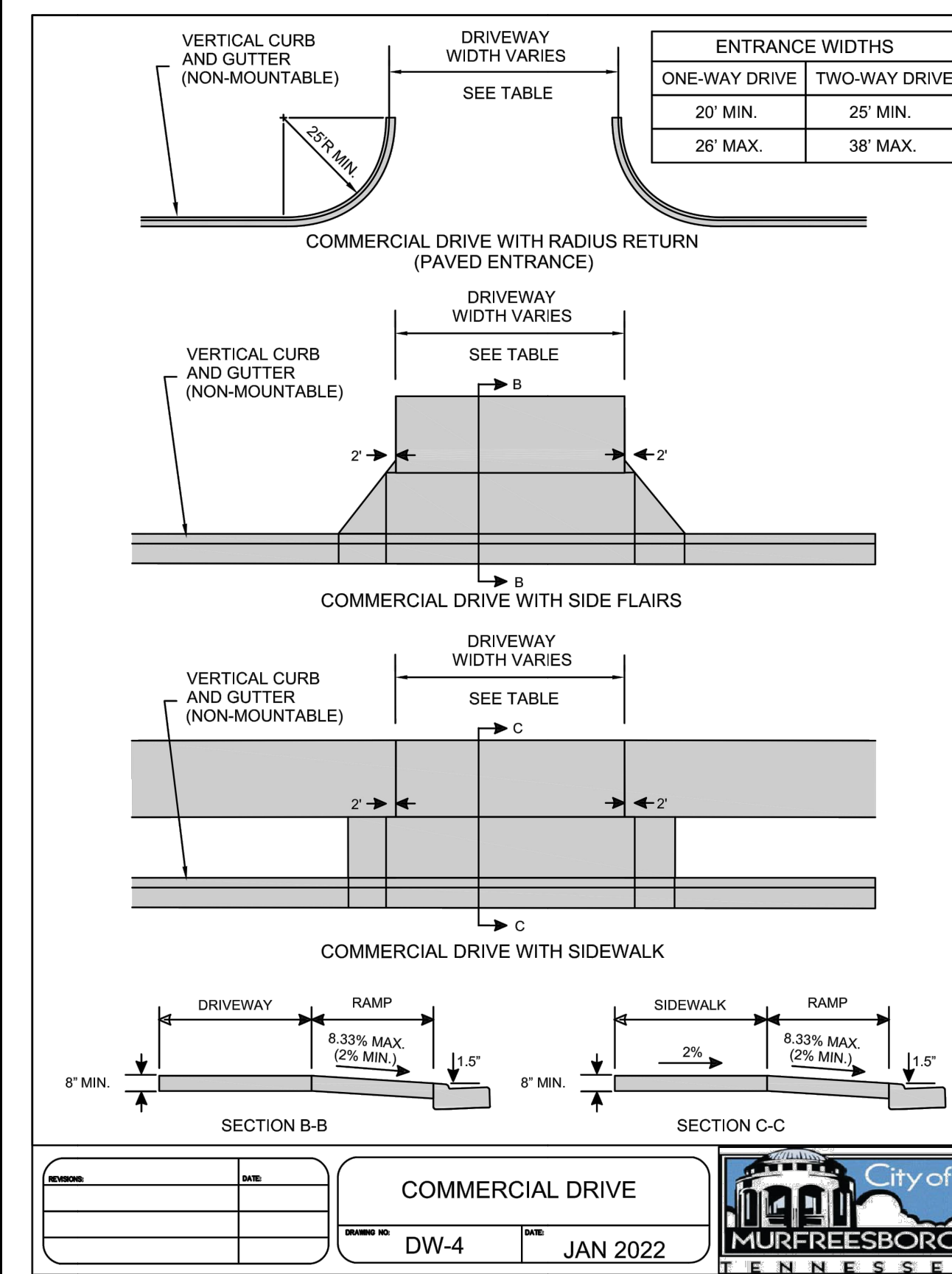
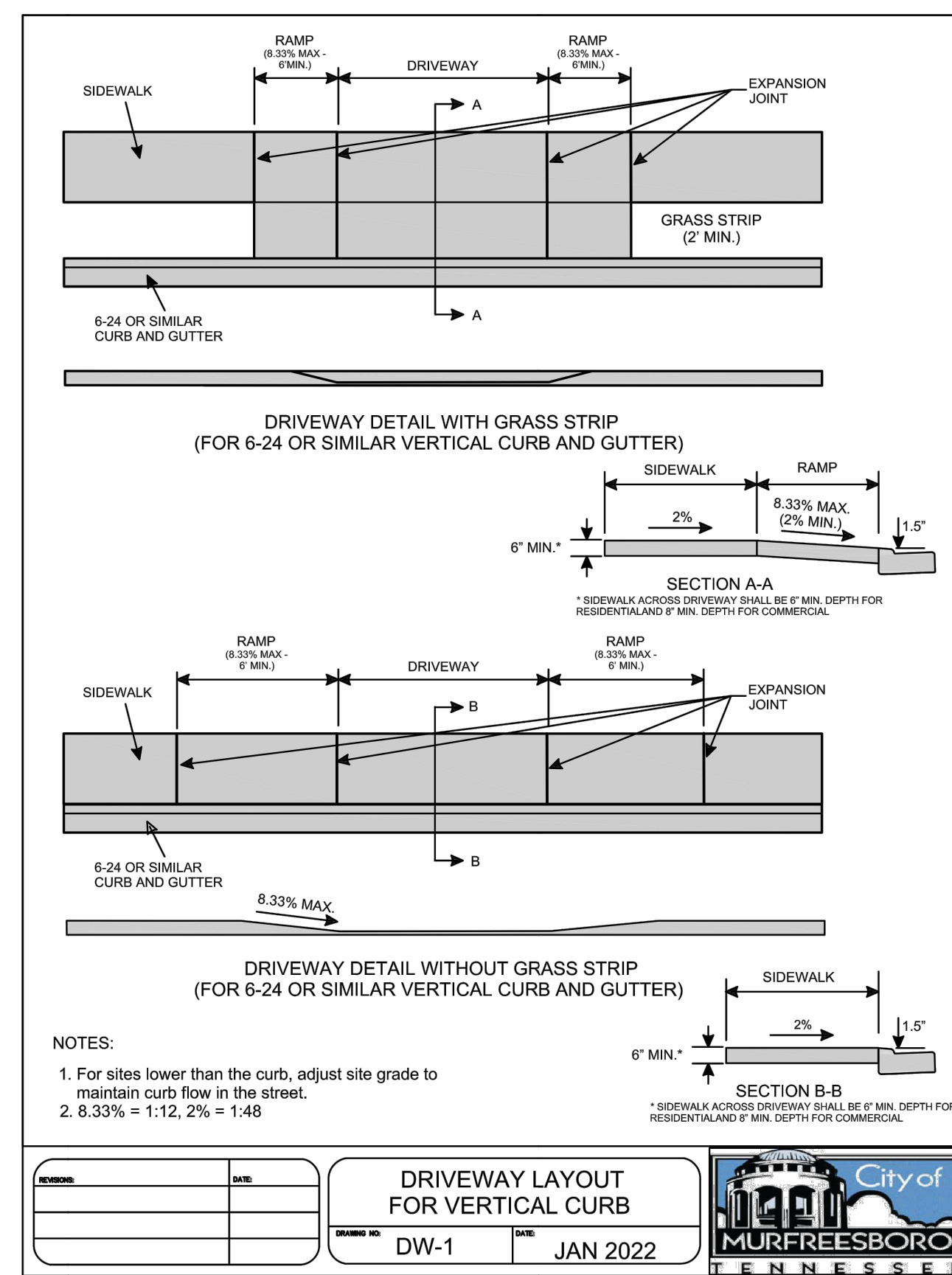
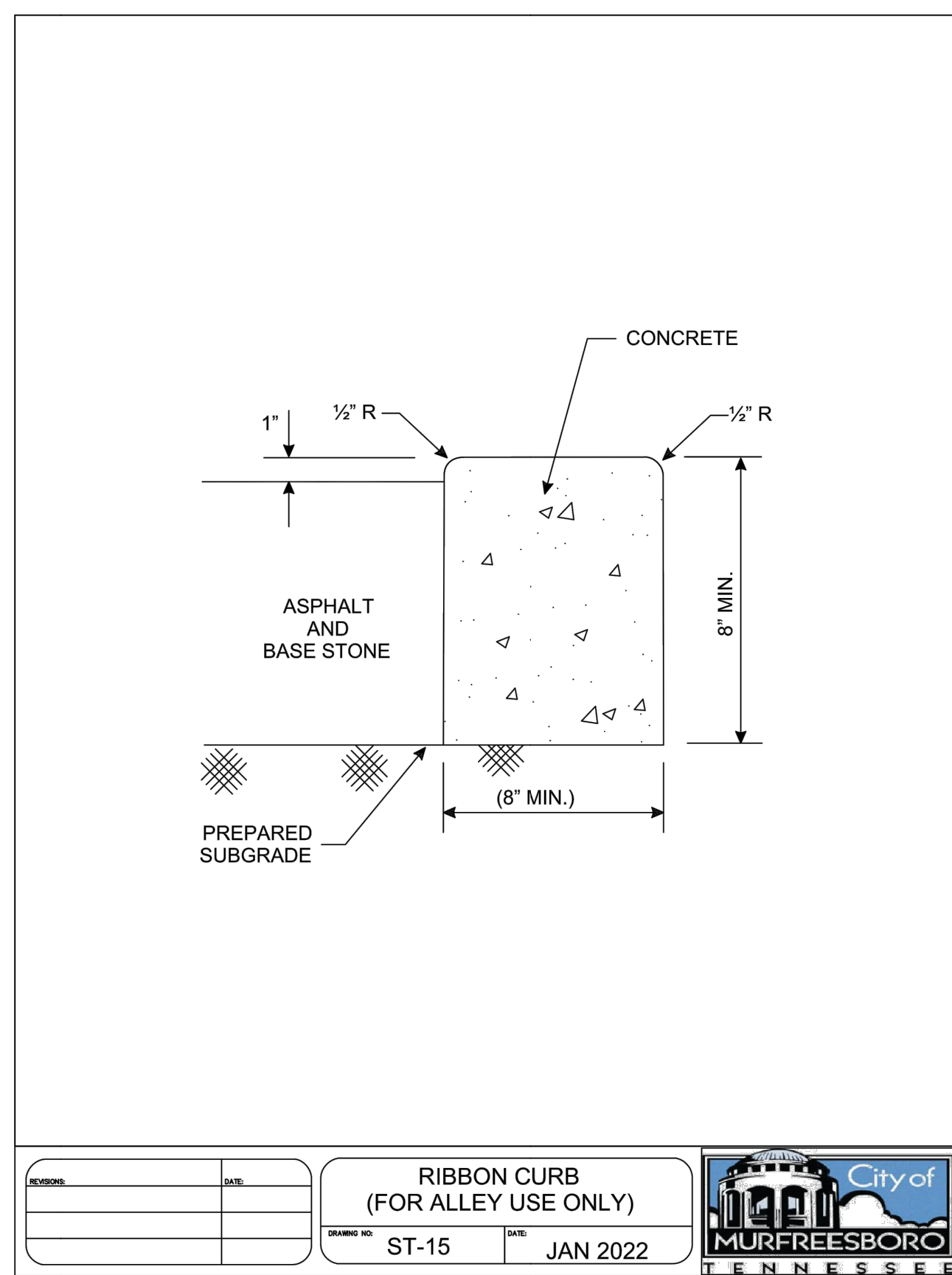
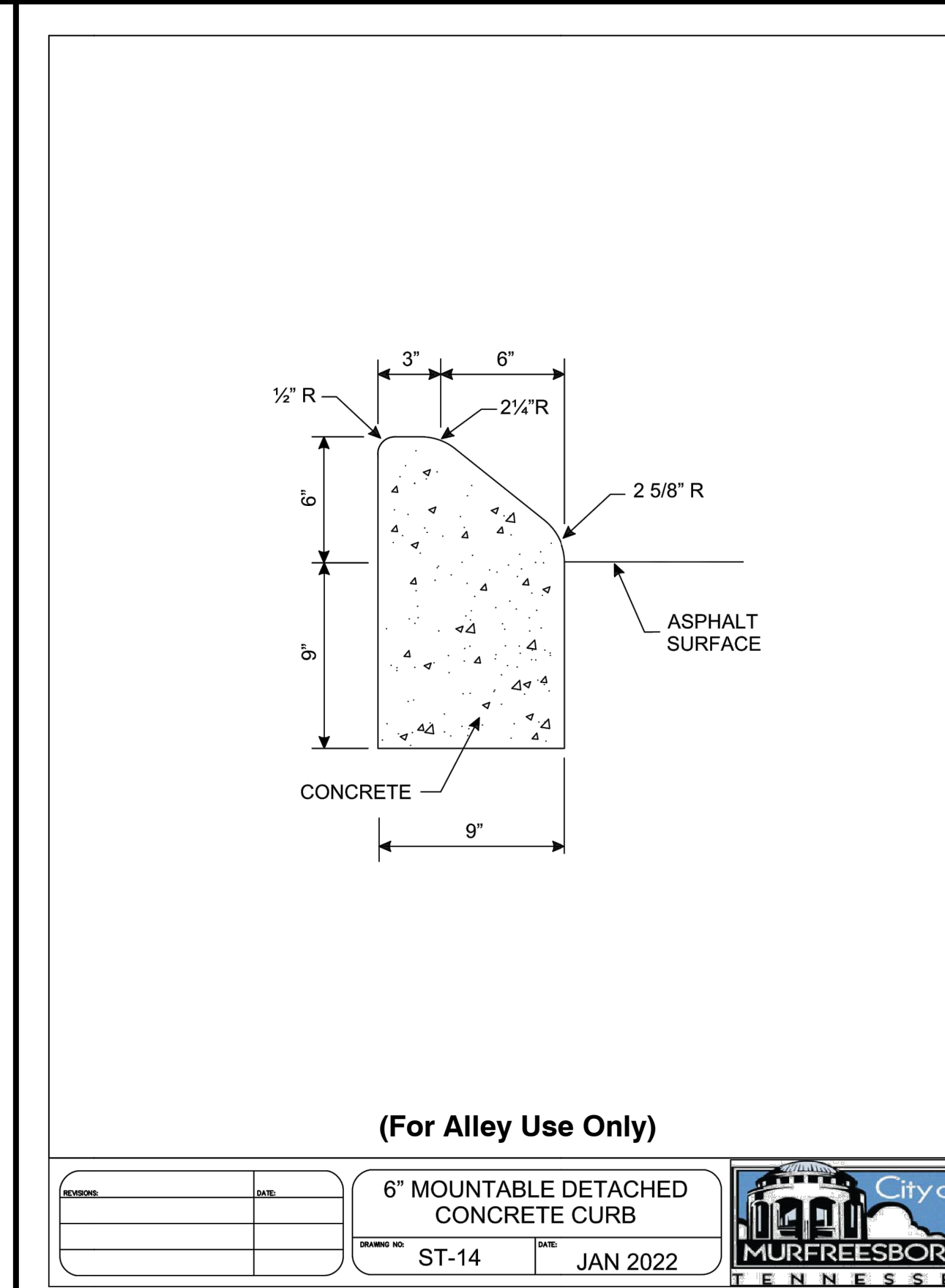
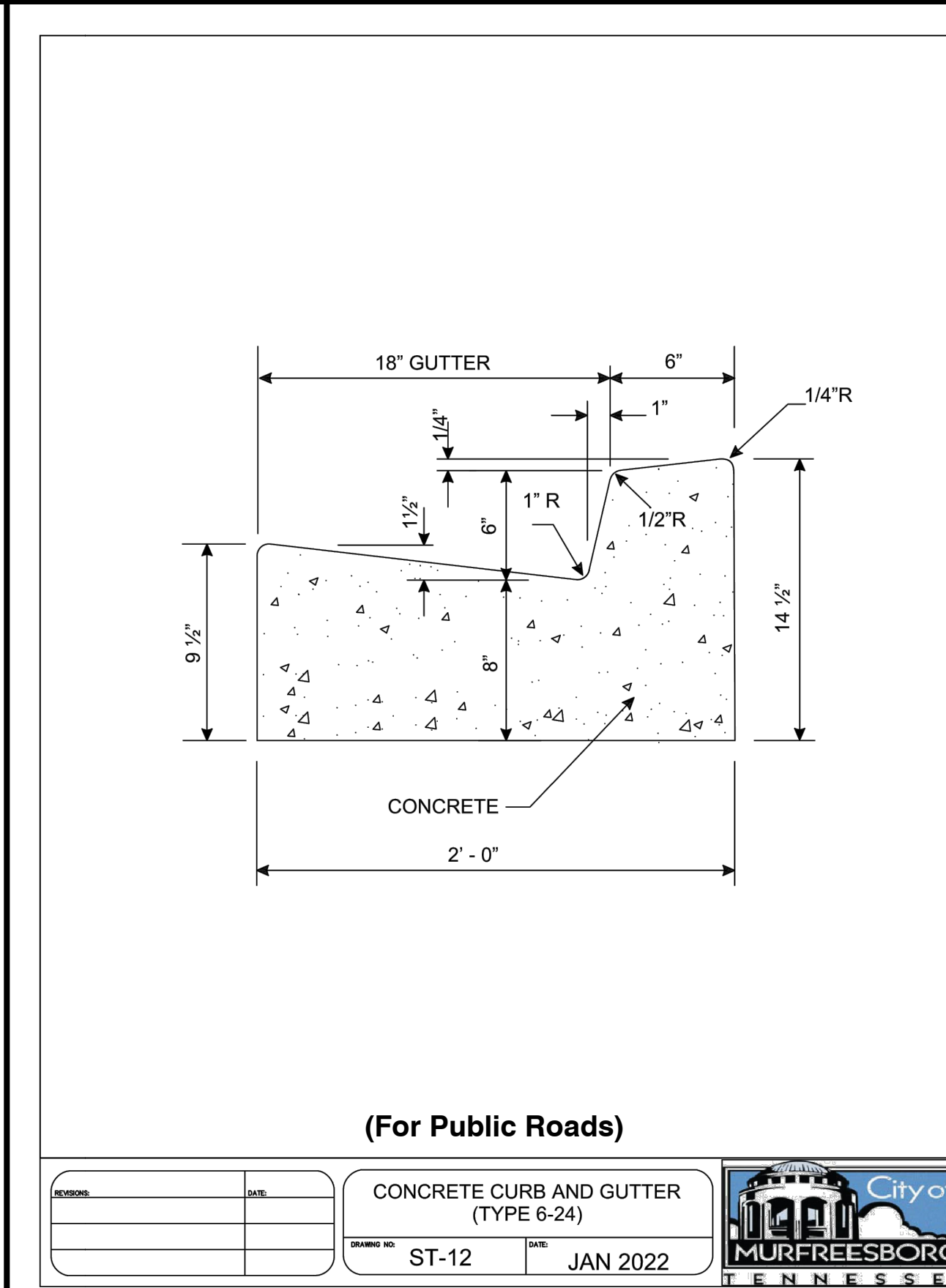
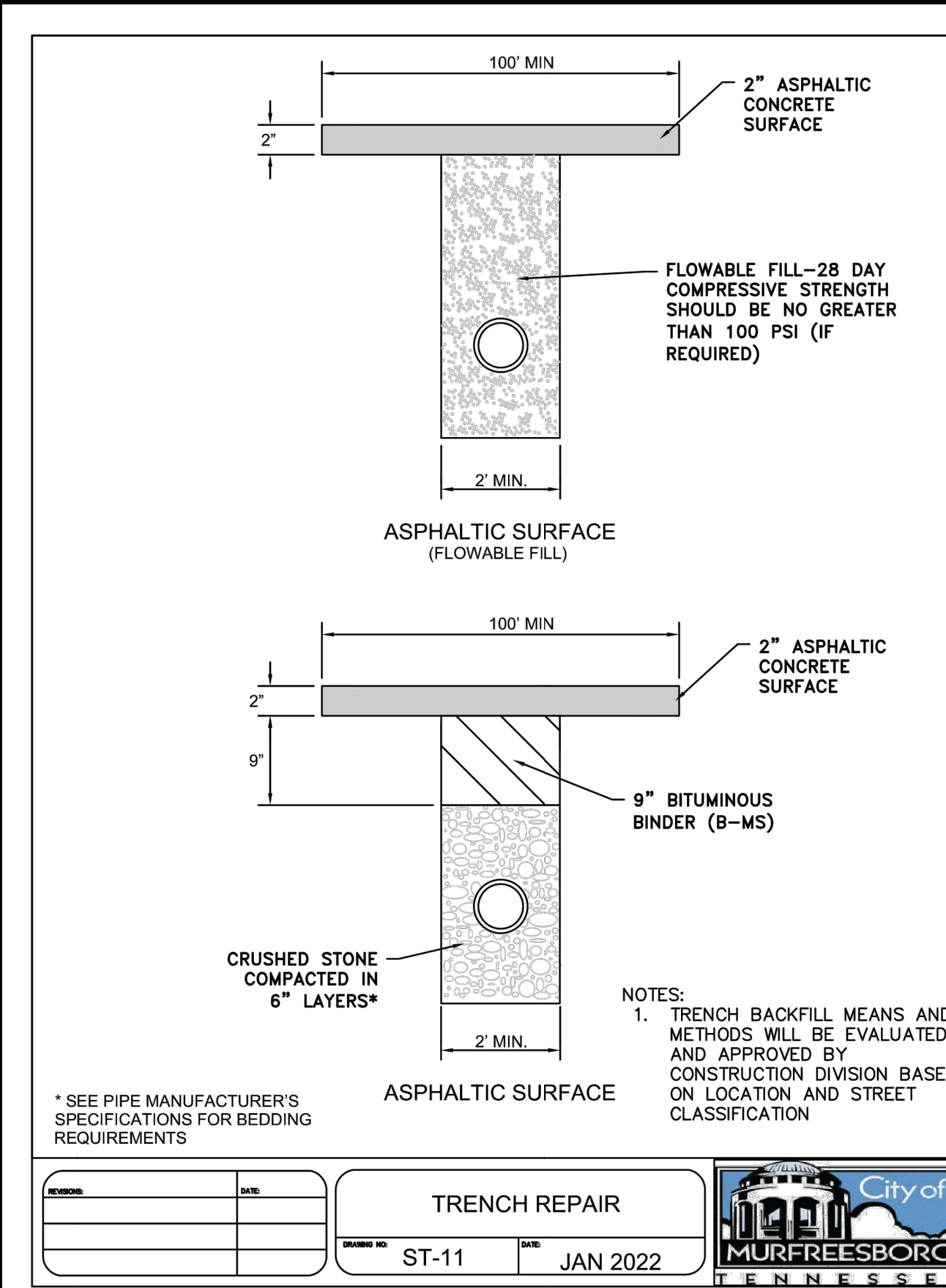


**COMBINATION ASPHALT CONCRETE AND AGGREGATE BASE (MINIMUM REQUIRED THICKNESS \*)**

CLASSIFICATION	MINERAL AGGREGATE BASE COURSE	ASPHALT PAVEMENT					TOTAL THICKNESS
		"AS"	"A"	"BM"	"D"	"E"	
RESIDENTIAL COLLECTORS, SUB-COLLECTORS AND LOCAL STREETS	6"	-	-	2.5"	-	1.5"	10"
COMMUNITY COLLECTORS AND COMMERCIAL COLLECTORS	8"	-	3"	2"	1.5"	-	14.5"
MAJOR ARTERIALS AND MINOR ARTERIALS	8"	3"	3"	2"	1.5"	-	17.5"

\* THE CITY ENGINEER MAY REQUIRE PERFORMANCE GRADE ASPHALT BASED ON PROJECTED TRAFFIC LOADINGS. ADDITIONAL THICKNESS OR A DETAILED PAVEMENT DESIGN BASED ON A GEOTECHNICAL ANALYSIS MAY ALSO BE REQUIRED.

**TYPICAL PAVEMENT THICKNESS**  
ST-9  
JAN 2022





### LANDSCAPE SITE DATA

#### PROPERTY INFORMATION:

STREET ADDRESS: MINOR ST & S. BILBRO AVE.  
SITE ACREAGE: 4.34 ± AC (189,274 SF)  
TAX MAP/PARCEL: 102D G 00900, 103A N 02200  
ZONING CLASSIFICATION: PUD (PLANNED UNIT DISTRICT)  
TOTAL VEHICULAR USE AREA (16,631 ± SF)  
REQUIRED LANDSCAPING: (N/A - LESS THAN 2 AC)

#### OPEN SPACE

REQUIRED SF: 20% (37,856 SF)  
PROVIDED SF: 55% (104,980 SF)  
PLANTING YARDS:  
FRONT: MINOR STREET FRONTAGE (917'-42' DRIVES = 875± LF)  
PLANTING REQUIRED: (1 SHADE TREE PER 50 LF)  
PROVIDED PLANTING: 17 TREES

#### FRONT: EASTERN BILBRO AVE FRONTAGE (238± LF)

PLANTING REQUIRED: (2 UNDERSTORY TREES PER 50 LF)  
PROVIDED PLANTING: 9 UNDERSTORY

#### FRONT: WESTERN BILBRO AVE FRONTAGE (135± LF)

PLANTING REQUIRED: (1 SHADE TREE PER 50 LF)  
PROVIDED PLANTING: 3 SHADE, 3 TREES

#### SIDE: WESTERN BOUNDARY (272± LF) TYPE-D BUFFER

PLANTING REQUIRED: (15' PLANTING YARD)  
(2 EVERGREEN TREE 10' O.C.)  
PROVIDED PLANTING: 54 TREES, 27 SHRUBS

#### REAR: NORTHERN BOUNDARY (432± LF) TYPE-D BUFFER

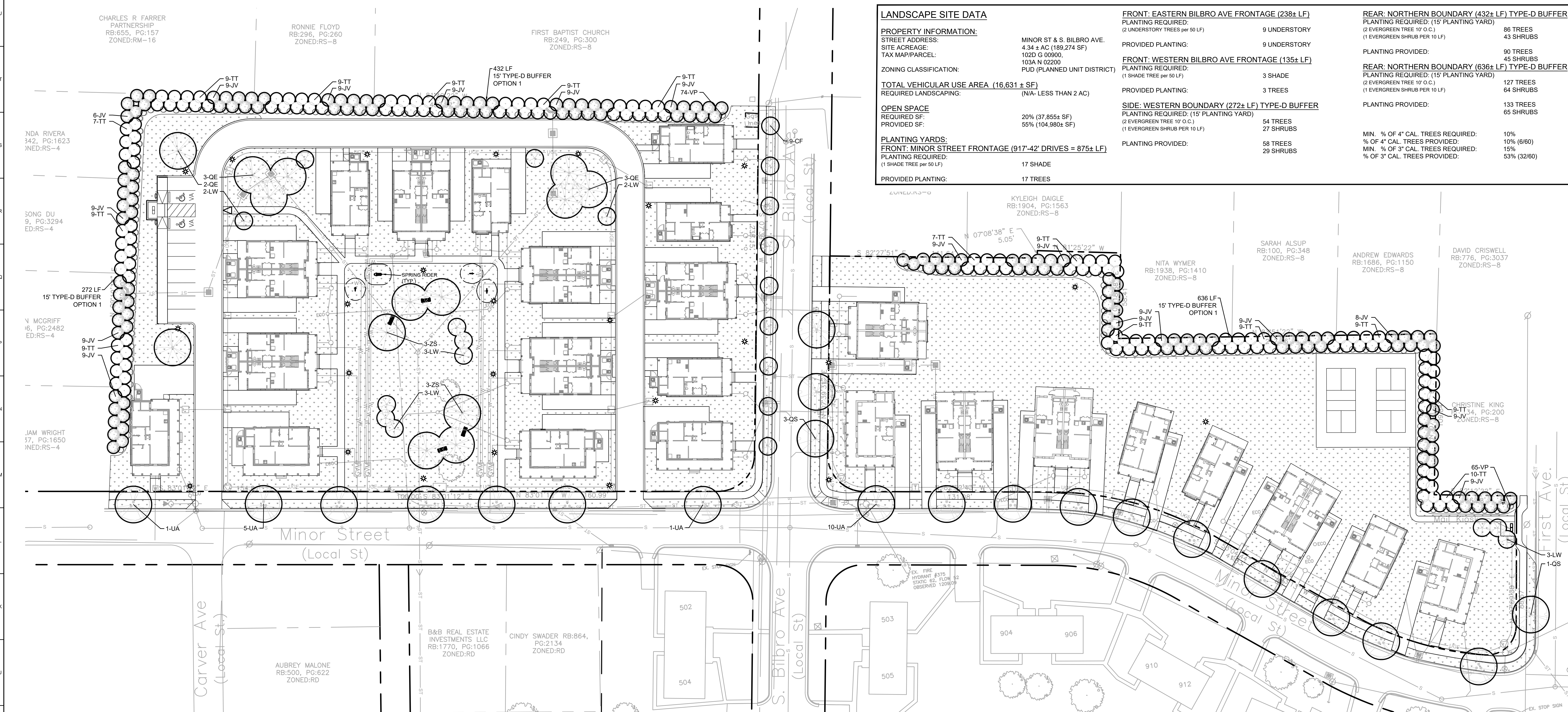
PLANTING REQUIRED: (15' PLANTING YARD)  
(2 EVERGREEN TREE 10' O.C.)  
PROVIDED PLANTING: 86 TREES, 43 SHRUBS

#### REAR: NORTHERN BOUNDARY (636± LF) TYPE-D BUFFER

PLANTING REQUIRED: (15' PLANTING YARD)  
(2 EVERGREEN TREE 10' O.C.)  
PROVIDED PLANTING: 90 TREES, 45 SHRUBS

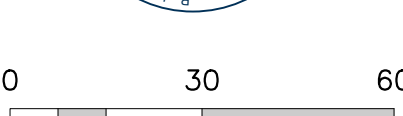
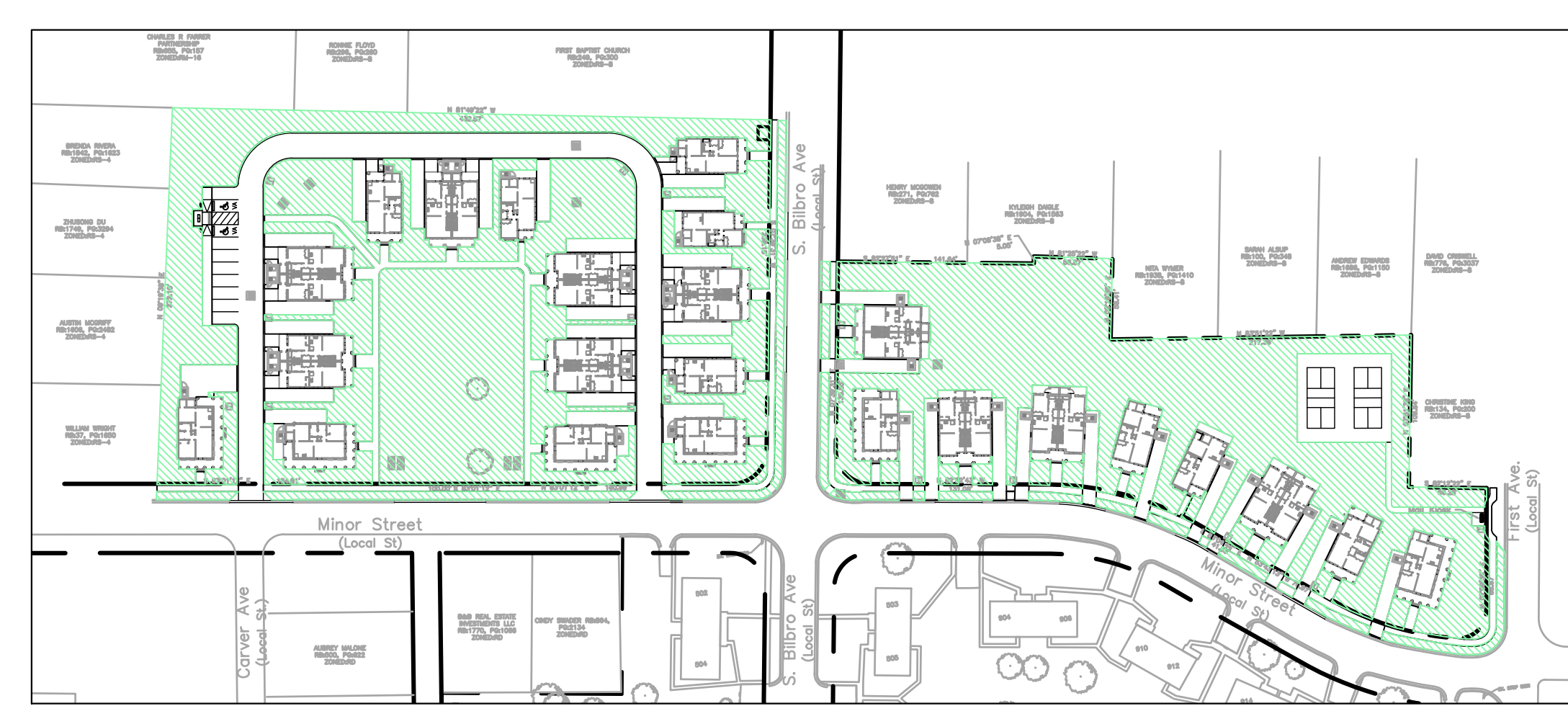
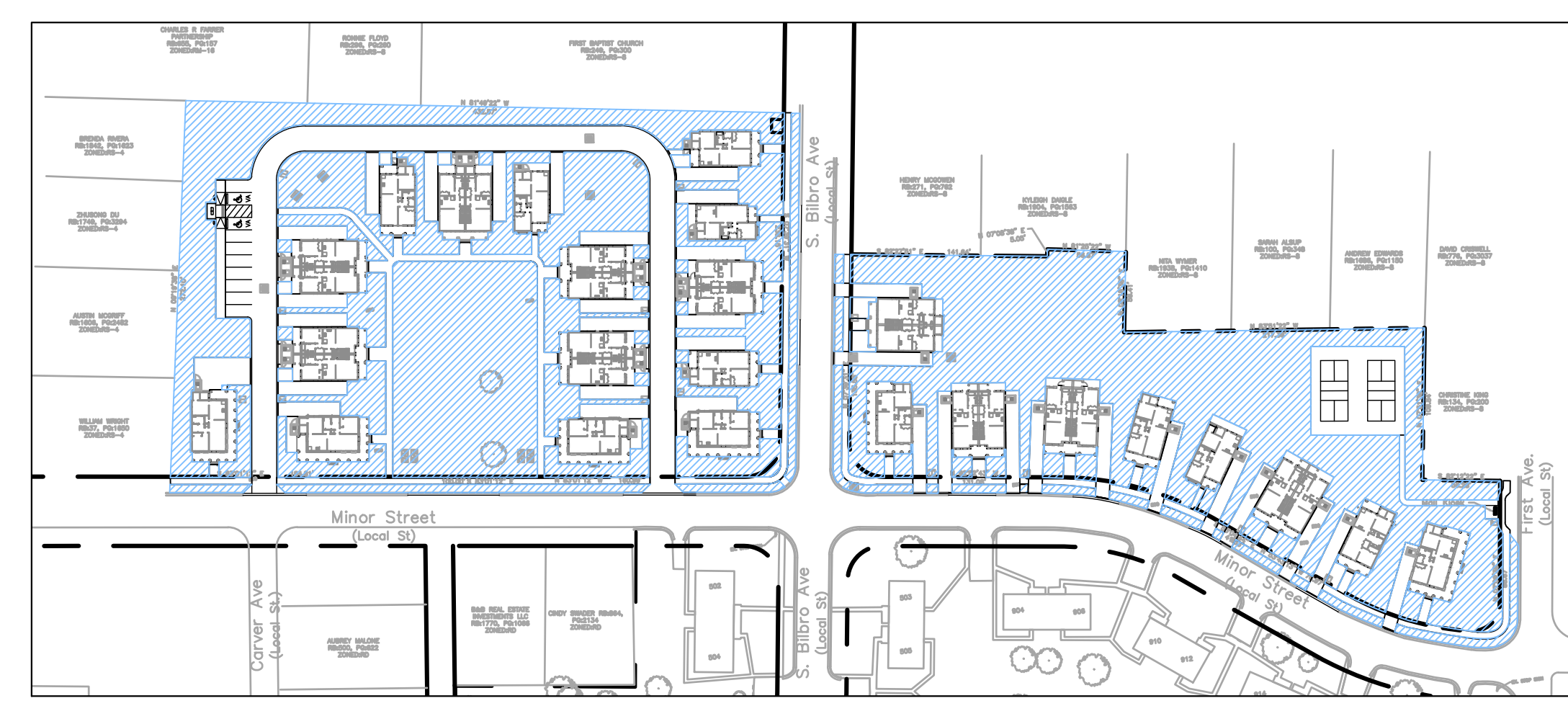
#### MIN. % OF 4" CAL. TREES REQUIRED:

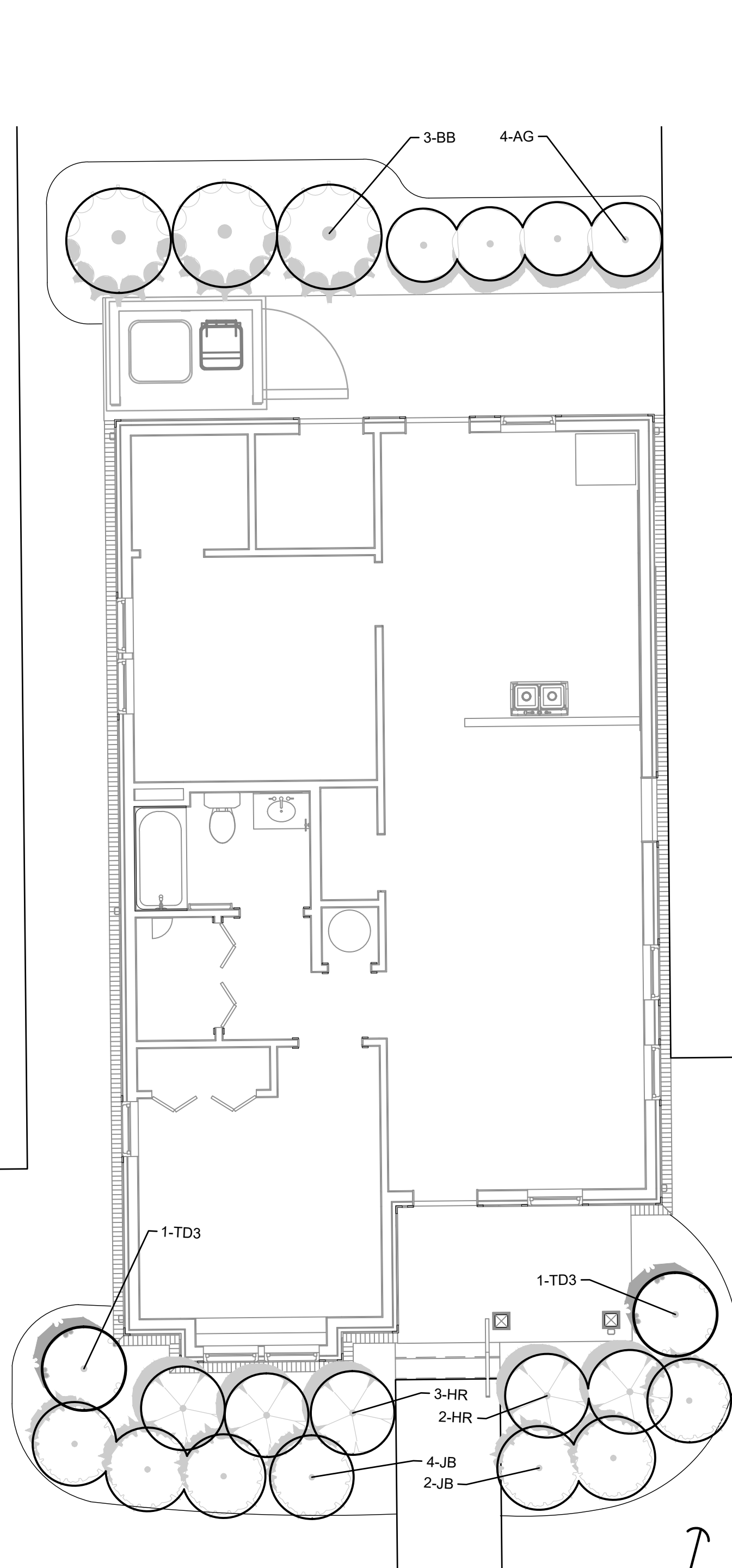
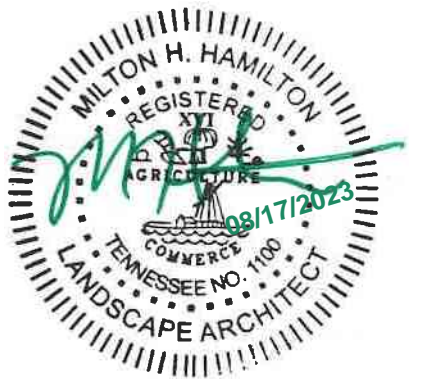
10%  
% OF 4" CAL. TREES PROVIDED: 10% (6/60)  
MIN. % OF 3" CAL. TREES REQUIRED: 15%  
% OF 3" CAL. TREES PROVIDED: 53% (32/60)



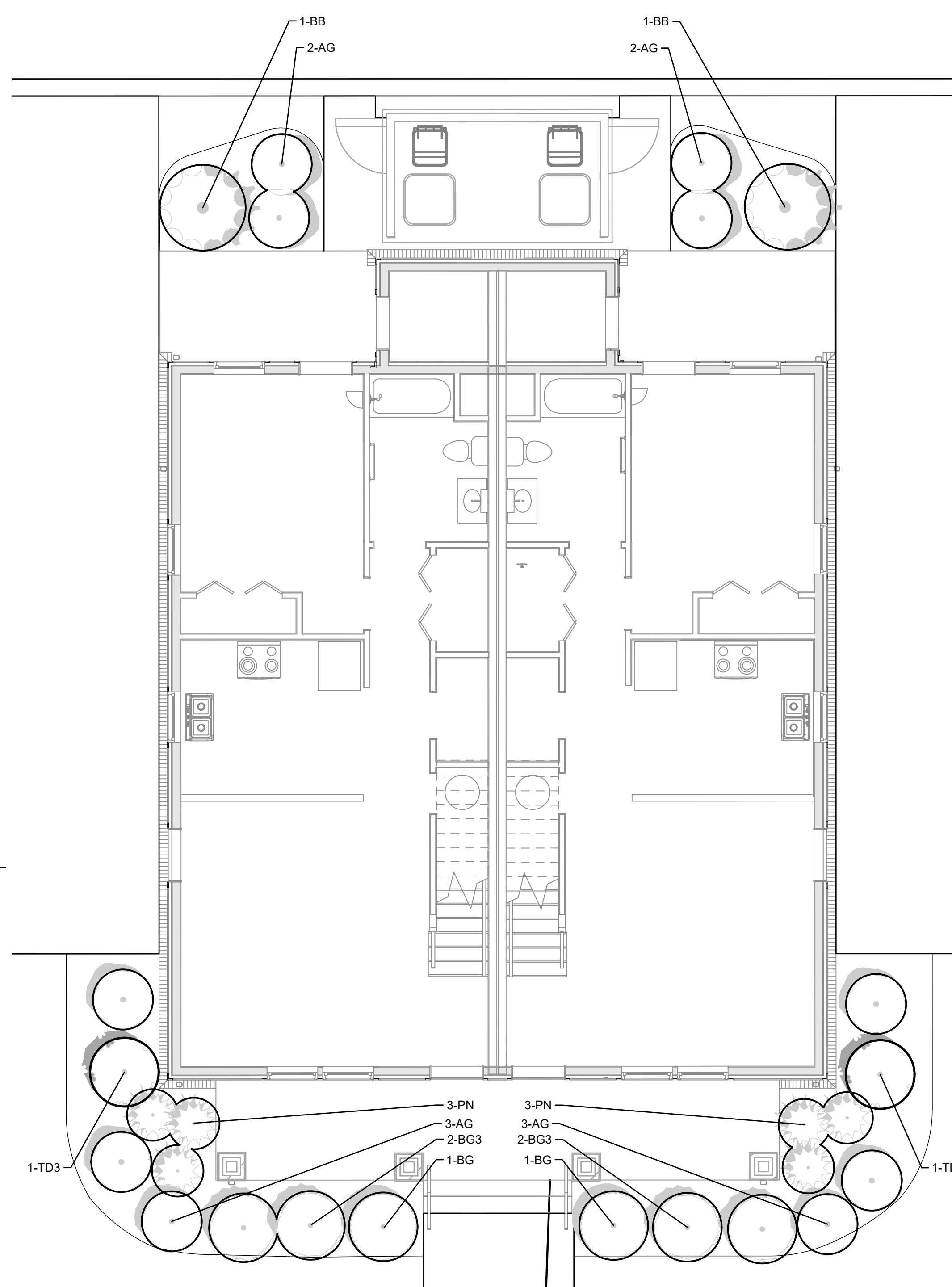
PLANT SCHEDULE								
TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
LW	13	LAGERSTROEMIA X 'NATCHEZ'	WHITE CRAPE MYRTLE MULTI-TRUNK	UNDERSTORY	2" CAL.	8-10' HT	AS SHOWN	4FT CLEAR TRUNK, FULL CANOPY.
QE	8	QUERCUS PHELLOS 'QPSTA'	HIGHTOWER® WILLOW OAK	CANOPY	3" CAL.	14-16' HT	AS SHOWN	7FT CLEAR TRUNK, SINGLE-STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, FULL SYMMETRICAL CROWN, STREET TREE QUALITY, MATCHED.
ZS	6	ZELKOVA SERRATA 'GOLD FALLS'	GOLD FALLS ZELKOVA	CANOPY	4" CAL.	14-16' HT	AS SHOWN	5FT CLEAR TRUNK, EVENLY BRANCHED, FULL SYMMETRICAL CROWN, STREET TREE QUALITY, MATCHED.
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
JV	149	JUNIPERUS VIRGINIANA 'BURKII'	BURKII EASTERN RED CEDAR	EVERGREEN	--	6'-8' HT.	AS SHOWN	B&B, FULL TO BASE
TT	132	THUJA X 'MONPIN'	EMBER WAVES WESTERN ARBORVITAE	EVERGREEN	--	6'-8' HT.	AS SHOWN	B&B, FULL TO BASE
STREET TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
CF	9	CORNUS FLORIDA	EASTERN DOGWOOD	UNDERSTORY	2" CAL.	8-10' HT	AS SHOWN	4FT CLEAR TRUNK, FULL CANOPY.
QS	4	QUERCUS SHUMARDII	SHUMARD RED OAK	CANOPY	3" CAL.	14-16' HT	AS SHOWN	7FT CLEAR TRUNK, SINGLE-STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, FULL SYMMETRICAL CROWN, STREET TREE QUALITY, MATCHED.
UA	17	ULMUS PARVIFOLIA 'ALLEE'	ALLEE LACEBARK ELM	CANOPY	3" CAL.	14-16' HT	AS SHOWN	7FT CLEAR TRUNK, EVENLY BRANCHED, FULL SYMMETRICAL CROWN, STREET TREE QUALITY, MATCHED.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
VP	139	VIBURNUM X PRAGENSE	PRAGUE VIBURNUM	EVERGREEN	36" HT.	24"	4' O.C.	FULL CONTAINER
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	CONT	SPREAD	SPACING	REMARKS
FB	92,132 SF	FESTUCA ARUNDINACEA BLEND	TURF-TYPE TALL FESCUE BLEND	SOD				LOCALLY GROWN

- #### LANDSCAPE NOTES
- ALL DISTURBED AREAS NOT OTHERWISE PLANTED SHALL BE SEEDED PER NOTES ON SHEET L-300
  - ADDITIONAL PLANTING MATERIAL MAY BE REQUIRED PER TYPICAL SCREENING FOR ABOVE GROUND UTILITIES DETAIL ON SHEET L-300. THIS MATERIAL WOULD BE IN ADDITION TO MATERIAL SHOWN IN THE PLANT SCHEDULE.
  - ALL LANDSCAPE TO RECEIVE IRRIGATION VIA UNDERGROUND SYSTEM. IRRIGATION PLAN SHALL BE SUBMITTED TO THE CITY OF MURFREESBORO DEVELOPMENT SERVICES PRIOR TO OBTAINING BUILDING PERMIT.

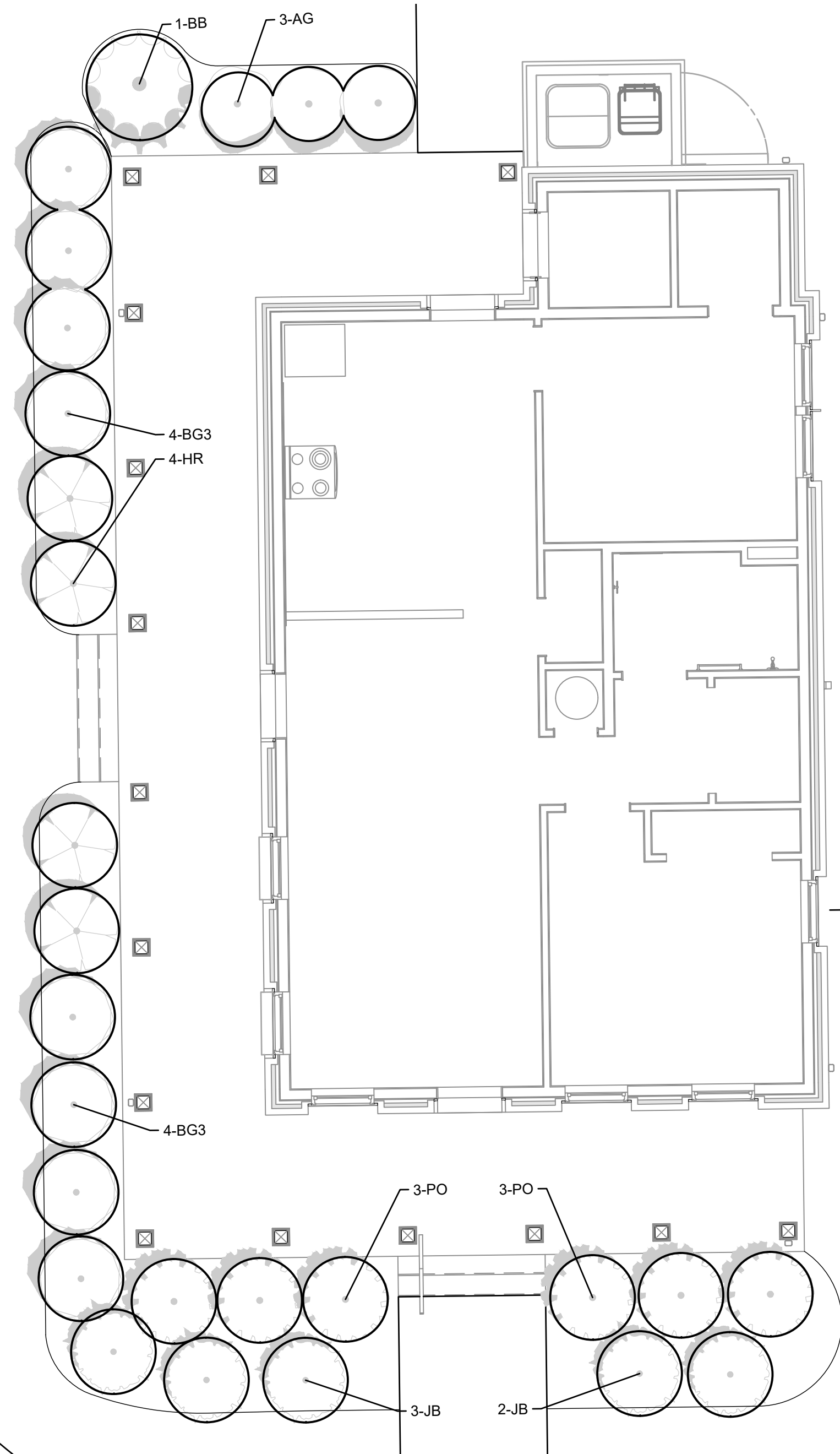




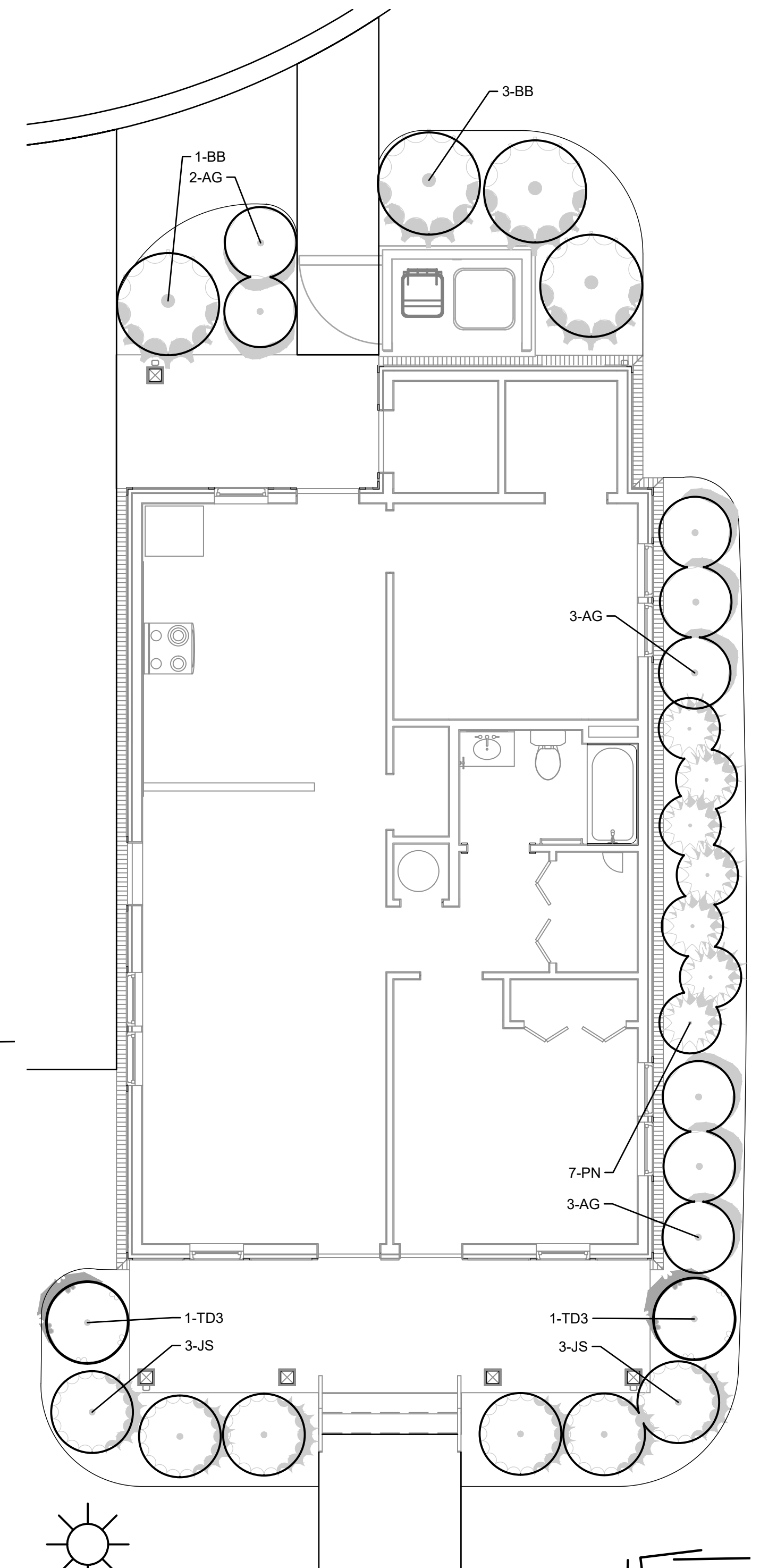
**BUILDING 2.1.C**  
BLOCK 2  
SCALE: 1" = 5'



**BUILDING 3.2.A & B & C**  
BLOCK 2  
SCALE: 1" = 5'



**BUILDING 2.1.A**  
BLOCK 2  
SCALE: 1" = 5'



**BUILDING 2.1.B**  
BLOCK 2  
SCALE: 1" = 5'

PLANT SCHEDULE 2.1.C BLOCK 2								
TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
TD3	2	THUJA OCCIDENTALIS 'THUSID4'	EMERALD PETITE ARBORVITAE	EVERGREEN		4'-6" HT	AS SHOWN	FULL CONTAINER
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
HR	5	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	RUBY SLIPPERS OAKLEAF HYDRANGEA	DECIDUOUS	30"	30"	AS SHOWN	FULL CONTAINER
JB	7	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	EVERGREEN	12" HT.	18"	AS SHOWN	FULL CONTAINER

PLANT SCHEDULE ALLEY 2.1.C BLOCK 2								
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
AG	4	ABELIA X GRANDIFLORA	GLOSSY ABELIA	EVERGREEN	18"	18"	AS SHOWN	FULL CONTAINER
BB	3	BUXUS MICROPHYLLA JAPONICA 'GREGEM'	BABY GEM™ BOXWOOD	DECIDUOUS	36" HT.	36"		

PLANT SCHEDULE BUILDING 3.2.A&B&C								
TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
TD3	2	THUJA OCCIDENTALIS 'THUSID4'	EMERALD PETITE ARBORVITAE	EVERGREEN		4'-6" HT	AS SHOWN	FULL CONTAINER
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
AG	6	ABELIA X GRANDIFLORA	GLOSSY ABELIA	EVERGREEN	18"	18"	AS SHOWN	FULL CONTAINER
BG3	4	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	EVERGREEN	36" HT.	36"	AS SHOWN	FULL CONTAINER
BG	2	BUXUS X 'GREEN MOUNTAIN'	BOXWOOD	EVERGREEN	36" HT.	36"	AS SHOWN	FULL CONTAINER
PN	6	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	ORNAMENTAL GRASS	36" HT.	36"	AS SHOWN	FULL CONTAINER

PLANT SCHEDULE ALLEY 3.2.A&B&C BLOCK 2								
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
AG	4	ABELIA X GRANDIFLORA	GLOSSY ABELIA	EVERGREEN	18"	18"	AS SHOWN	FULL CONTAINER
BB	2	BUXUS MICROPHYLLA JAPONICA 'GREGEM'	BABY GEM™ BOXWOOD	DECIDUOUS	36" HT.	36"		

PLANT SCHEDULE 2.1.A BLOCK 2									
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS	
BG3	8	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	EVERGREEN	36" HT.	36"	AS SHOWN	FULL CONTAINER	
HR	4	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	RUBY SLIPPERS OAKLEAF HYDRANGEA	DECIDUOUS	30"	30"	AS SHOWN	FULL CONTAINER	
JB	5	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	EVERGREEN	12" HT.	18"	AS SHOWN	FULL CONTAINER	
PO	6	PRUNUS LAURICERASUS 'OTTO LUYKEN'	LUYKENS LAUREL	EVERGREEN	36" HT.	36"	AS SHOWN	FULL CONTAINER	

PLANT SCHEDULE ALLEY 2.1.A BLOCK 2									
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS	
AG	3	ABELIA X GRANDIFLORA	GLOSSY ABELIA	EVERGREEN	18"	18"	AS SHOWN	FULL CONTAINER	
BB	1	BUXUS MICROPHYLLA JAPONICA 'GREGEM'	BABY GEM™ BOXWOOD	DECIDUOUS	36" HT.	36"			

PLANT SCHEDULE BUILDING 2.1.B									
TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS	
TD3	2	THUJA OCCIDENTALIS 'THUSID4'	EMERALD PETITE ARBORVITAE	EVERGREEN		4'-6" HT	AS SHOWN	FULL CONTAINER	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS	
AG	6	ABELIA X GRANDIFLORA	GLOSSY ABELIA	EVERGREEN	18"	18"	AS SHOWN	FULL CONTAINER	
JS	6	JUNIPERUS CHINENSIS 'SARGENTII'	SARGENT JUNIPER	DECIDUOUS	24" HT.	6-8'	AS SHOWN	FULL CONTAINER	
PN	7	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	ORNAMENTAL GRASS	36" HT.	36"	AS SHOWN	FULL CONTAINER	

PLANT SCHEDULE ALLEY 2.1.B BLOCK 2									
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS	
AG	2	ABELIA X GRANDIFLORA	GLOSSY ABELIA	EVERGREEN	18"	18"	AS SHOWN	FULL CONTAINER	
BB	4	BUXUS MICROPHYLLA JAPONICA 'GREGEM'	BABY GEM™ BOXWOOD	DECIDUOUS	36" HT.	36"			

**NOTES**

- ADDITIONAL EVERGREEN PLANTING MATERIAL MAY BE REQUIRED FOR HVAC/TRASH ENCLOSURES LOCATED ALONG ALLEYS. THIS MATERIAL WOULD BE IN ADDITION TO MATERIAL SHOWN IN THE PLANT SCHEDULE.

Consultants:

CIVIL ENGINEER:  
**SITE ENGINEERING CONSULTANTS, INC.**  
850 MIDDLE TENNESSEE BLVD.  
MURFREESBORO, TN 37129  
615.890.7901

LANDSCAPE ARCHITECT:  
**RAGAN SMITH**  
1500 MEDICAL CENTER PKWY, SUITE 2J  
MURFREESBORO, TN 37129  
615.548.6050

STRUCTURAL ENGINEER:  
**HAINES STRUCTURAL GROUP**  
800 S. GAY ST., STE 1750  
KNOXVILLE TN, 37902  
865.329.9920

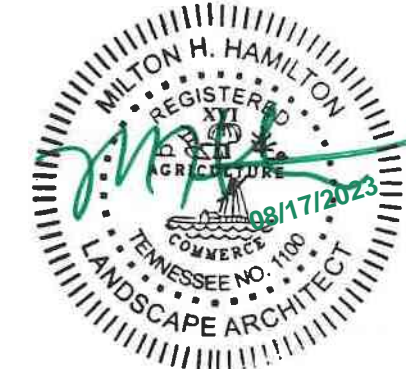
MECHANICAL & PLUMBING ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS**  
713 S. CENTRAL ST., STE 101  
KNOXVILLE TN, 37902  
865.248.0164

ELECTRICAL ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS**  
713 S. CENTRAL ST., STE 101  
KNOXVILLE TN, 37902  
865.248.0164

Project Information:  
**22054**

**MHA Mercury  
Phase 1**  
MINOR STREET,  
MURFREESBORO, TN 37130

Seal:



Consultant:

#	ISSUE	DATE
1	CITY REVIEW COMMENTS	04.05.2023
2	CITY REVIEW COMMENTS	05.03.2023
3	CITY REVIEW COMMENTS	05.12.2023

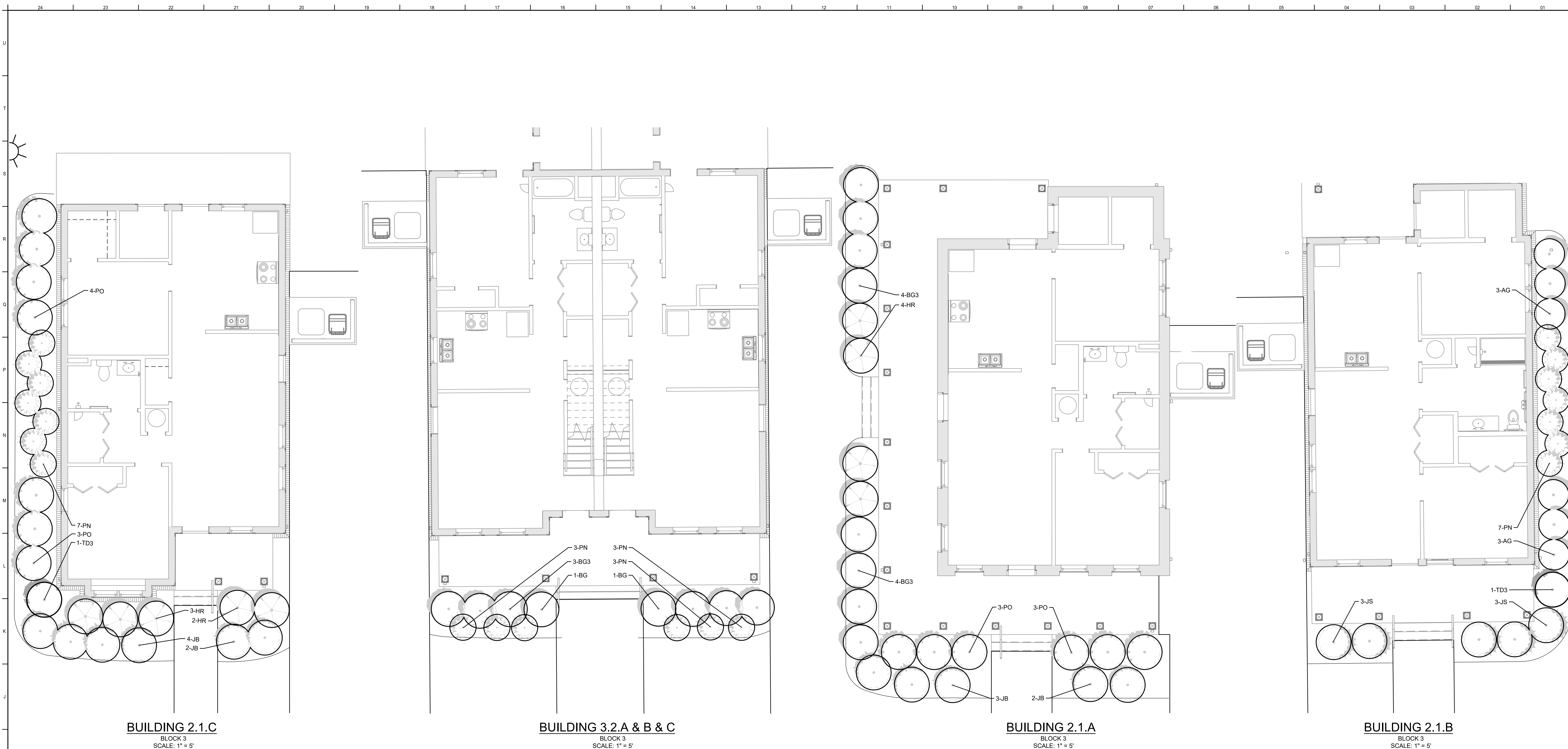
Issue Date:	03.16.2023
PIC:	K. GUENTHER
PM:	M. HAMILTON
PA:	G. TAYLOR
Drawn By:	M. HAMILTON
Checked By:	M. HAMILTON

Sheet Description:

## L-201

INDIVIDUAL UNIT  
LANDSCAPE - BLOCK 3

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TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
TD3	1	THUJA OCCIDENTALIS 'THUSID4'	EMERALD PETITE ARBORVITAE	EVERGREEN		4'-6" HT	AS SHOWN	FULL CONTAINER
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
HR	5	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	RUBY SLIPPERS OAKLEAF HYDRANGEA	DECIDUOUS	30"	30"	AS SHOWN	FULL CONTAINER
JB	6	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	EVERGREEN	12" HT.	18"	AS SHOWN	FULL CONTAINER
PN	7	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	ORNAMENTAL GRASS	36" HT.	36"	AS SHOWN	FULL CONTAINER
PO	7	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	LUYKENS LAUREL	EVERGREEN	36" HT.	36"	AS SHOWN	FULL CONTAINER

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
BG3	6	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	EVERGREEN	36" HT.	36"	AS SHOWN	FULL CONTAINER
BG	2	BUXUS X 'GREEN MOUNTAIN'	BOXWOOD	EVERGREEN	36" HT.	36"	AS SHOWN	FULL CONTAINER
PN	6	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	ORNAMENTAL GRASS	36" HT.	36"	AS SHOWN	FULL CONTAINER

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
BG3	8	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	EVERGREEN	36" HT.	36"	AS SHOWN	FULL CONTAINER
HR	4	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	RUBY SLIPPERS OAKLEAF HYDRANGEA	DECIDUOUS	30"	30"	AS SHOWN	FULL CONTAINER
JB	5	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	EVERGREEN	12" HT.	18"	AS SHOWN	FULL CONTAINER
PO	6	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	LUYKENS LAUREL	EVERGREEN	36" HT.	36"	AS SHOWN	FULL CONTAINER

TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
TD3	1	THUJA OCCIDENTALIS 'THUSID4'	EMERALD PETITE ARBORVITAE	EVERGREEN		4'-6" HT	AS SHOWN	FULL CONTAINER
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
AG	6	ABELIA X GRANDIFLORA	GLOSSY ABELIA	EVERGREEN	18"	18"	AS SHOWN	FULL CONTAINER
JS	5	JUNIPERUS CHINENSIS 'SARGENTII'	SARGENT JUNIPER	DECIDUOUS	24" HT.	6-8'	AS SHOWN	FULL CONTAINER
PN	7	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	ORNAMENTAL GRASS	36" HT.	36"	AS SHOWN	FULL CONTAINER





#	ISSUED BY:	DATE
1	City Review Comments	05/03/2023
2	REVISION 1	08/23/2023

Issue Date:	MAY 11, 2023
PIC:	M. BUTLER
PM:	M. BUTLER
PA:	G. TAYLOR C. MYERS
Drawn By:	Author
Checked By:	Project Checked By

### SITE GENERAL NOTES

- SEE CIVIL SHEETS FOR GRADING, SITE UTILITIES, ETC.
- REFER TO CIVIL PLANS FOR EXACT NUMBER OF STEPS. ARCHITECTURAL DRAWINGS SHOW STEPS DIAGRAMMATICALLY.
- BUILDINGS DIMENSIONED FROM CL OF ROW TO EDGE OF SLAB/FOUNDATION WALL.
- ALL UNITS TO HAVE FLUSH ENTRY AT SIDE ENTRY (EAST/WEST ON PLANS). UNITS LABELED AS UFAS TO HAVE FLUSH ENTRY AT ALL EXTERIOR DOORS. TYP. ALL PORCHES TO HAVE FLUSH ENTRY INTO/FROM INTERIOR.
- SEE CIVIL DRAWINGS FOR DIMENSIONS FOR ALL DRIVES, SIDEWALKS, CURBS, ETC.
- NO NEW FENCING PROPOSED ON SITE.
- CITY TO PROVIDE ADDRESSING PLAN. SEE PLAN FOR UNIT DESIGNATION.

### SITE PLAN LEGEND

- APPROX LOCATION OF ELECTRICAL METER. COORD. W/ ENG DRAWINGS AND LOCAL PROVIDER.
- HVAC/ TRASH PAD - SEE SHEET AS400 FOR DETAILS.
- MBSL (SETBACK LINE)
- ROW CL.

### BUILDING SCHEDULE

ADDRESS	BUILDING #	BUILDING TYPE	MIRRORED	UFAS UNIT	IS&H UNIT
	1	2.1.A			
	2	2.1.A	Yes		
	3	3.2.B			
	4	3.2.C			
	5	2.1.B	Yes		
	6	3.2.A			
	7	2.1.C	Yes		
	8	3.2.B			
	9	3.2.C			
	10	2.1.A			
	11	2.1.A	Yes		
	12	2.1.B			
	13	3.2.C			
	14	2.1.C			
	15	2.1.B	Yes		
	16	3.2.A(u)	Yes	Yes	
	17	2.1.A	Yes		
	18	3.2.B			
	19	3.2.C			
	20	2.1.B			
	21	2.1.C			
	22	3.2.B			
	23	2.1.B(u)	Yes	Yes	
	26	2.1.A			







### BUILDING SCHEDULE

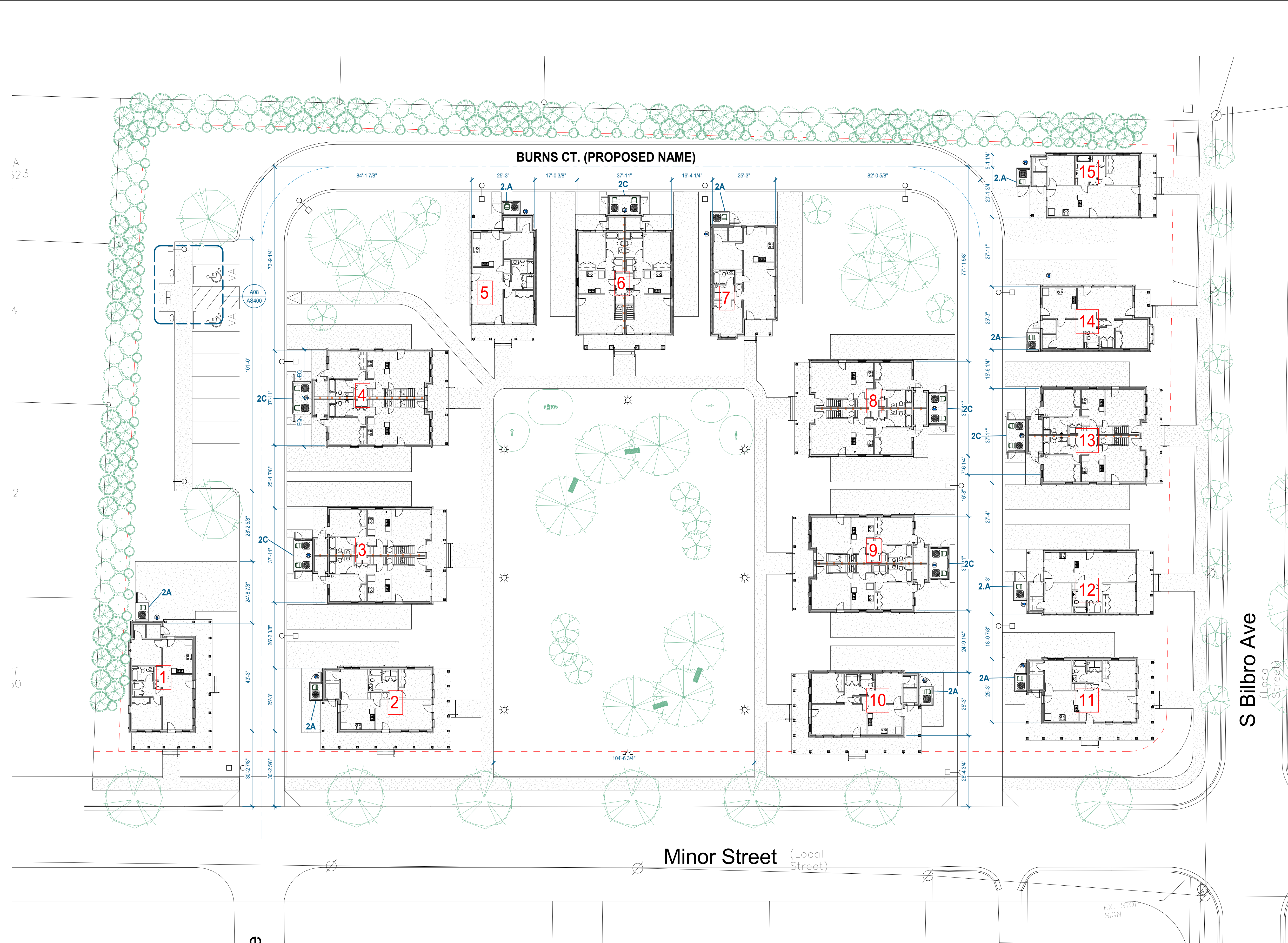
ADDRESS	BUILDING #	BUILDING TYPE	MIRRORED	UPAS UNIT	SSH UNIT
	1	2.1.A			
	2	2.1.A	Yes		
	3	3.2.B			
	4	3.2.C			
	5	2.1.B	Yes		
	6	3.2.A			
	7	2.1.C	Yes		
	8	3.2.B			
	9	3.2.C			
	10	2.1.A			
	11	2.1.A	Yes		
	12	2.1.B			
	13	3.2.C			
	14	2.1.C			
	15	2.1.B	Yes		
	16	3.2.A(u)	Yes	Yes	
	17	2.1.A	Yes		
	18	3.2.B			
	19	3.2.C			
	20	2.1.B			
	21	2.1.C			
	22	3.2.B			
	23	2.1.B(u)	Yes	Yes	
	26	2.1.A			

### SITE GENERAL NOTES

- SEE CIVIL SHEETS FOR GRADING, SITE UTILITIES, ETC.
- REFER TO CIVIL PLANS FOR EXACT NUMBER OF STEPS. ARCHITECTURAL DRAWINGS SHOW STEPS DIAGRAMMATICALLY.
- BUILDINGS DIMENSIONED FROM CL OF ROW TO EDGE OF SLAB/FOUNDATION WALL.
- ALL UNITS TO HAVE FLUSH ENTRY AT SIDE ENTRY (EAST/WEST ON PLANS). UNITS LABELED AS "13FAS" TO HAVE FLUSH ENTRY AT ALL EXTERIOR DOORS. TYP.  
A. ALL PORCHES TO HAVE FLUSH ENTRY FROM INTERIOR.  
B. ALL PORCHES TO HAVE FLUSH ENTRY FROM INTERIOR.
- SEE CIVIL DRAWINGS FOR DIMENSIONS FOR ALL DRIVES, SIDEWALKS, CURBS, ETC.
- NO NEW FENCING PROPOSED ON SITE.
- CITY TO PROVIDE ADDRESSING PLAN. SEE PLAN FOR UNIT DESIGNATION.

### SITE PLAN LEGEND

- APPROX LOCATION OF ELECTRICAL METER. COORD. BY ENG DRAWINGS AND LOCAL PROVIDER.
- HVAC / TRASH PAD - SEE SHEET AS400 FOR DETAILS.
- MISL (SETBACK LINE)
- ROW CL





#	ISSUED BY:	DATE
1	City Review Comments	05/03/2023
2	REVISION 1	09/23/2023

Issue Date:	MAY 11, 2023
PIC	M. BUTLER
PM	M. BUTLER
PA	G. TAYLOR C. MYERS
Drawn By:	Author
Checked By:	Project Checked By

### BUILDING SCHEDULE

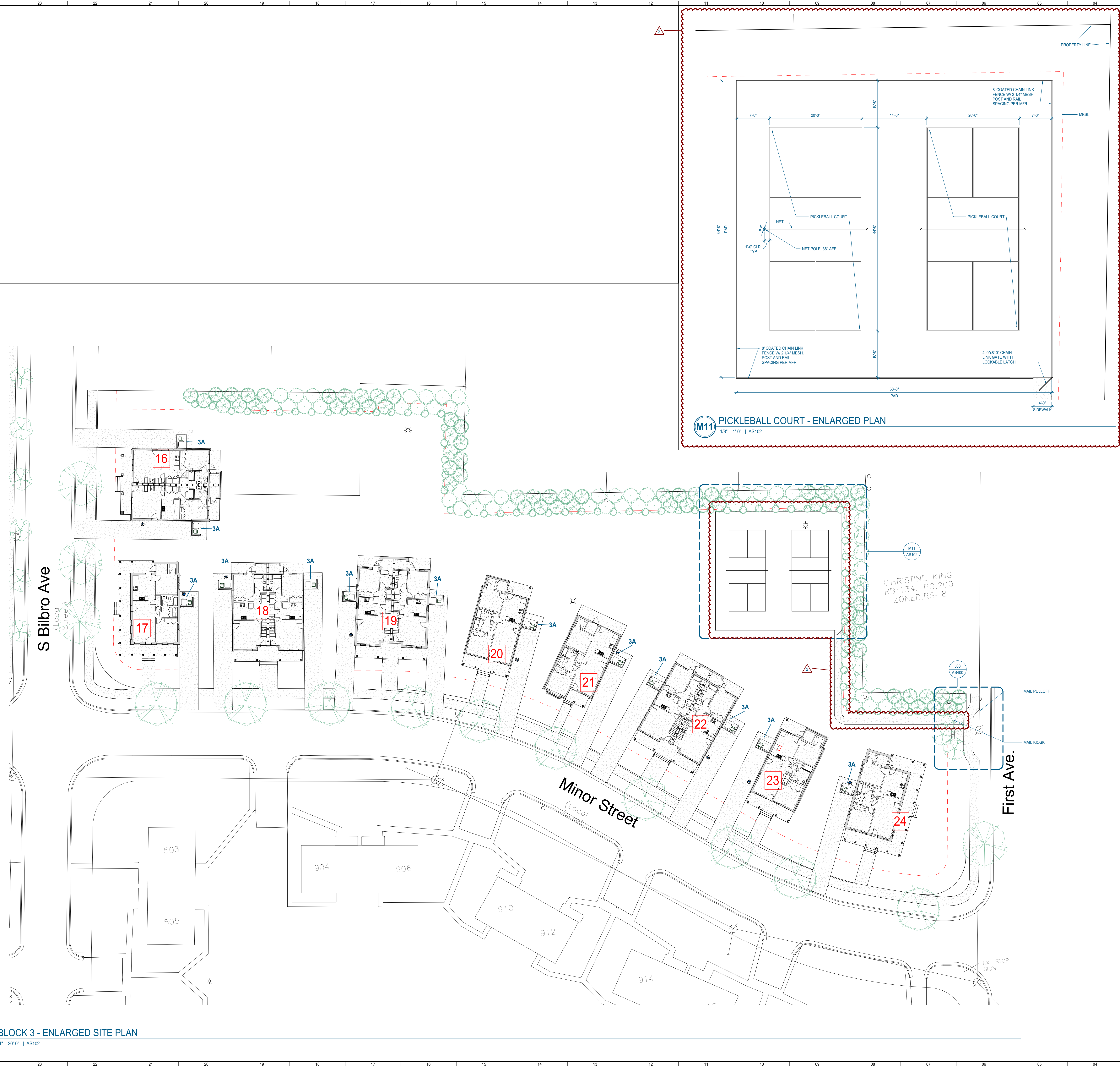
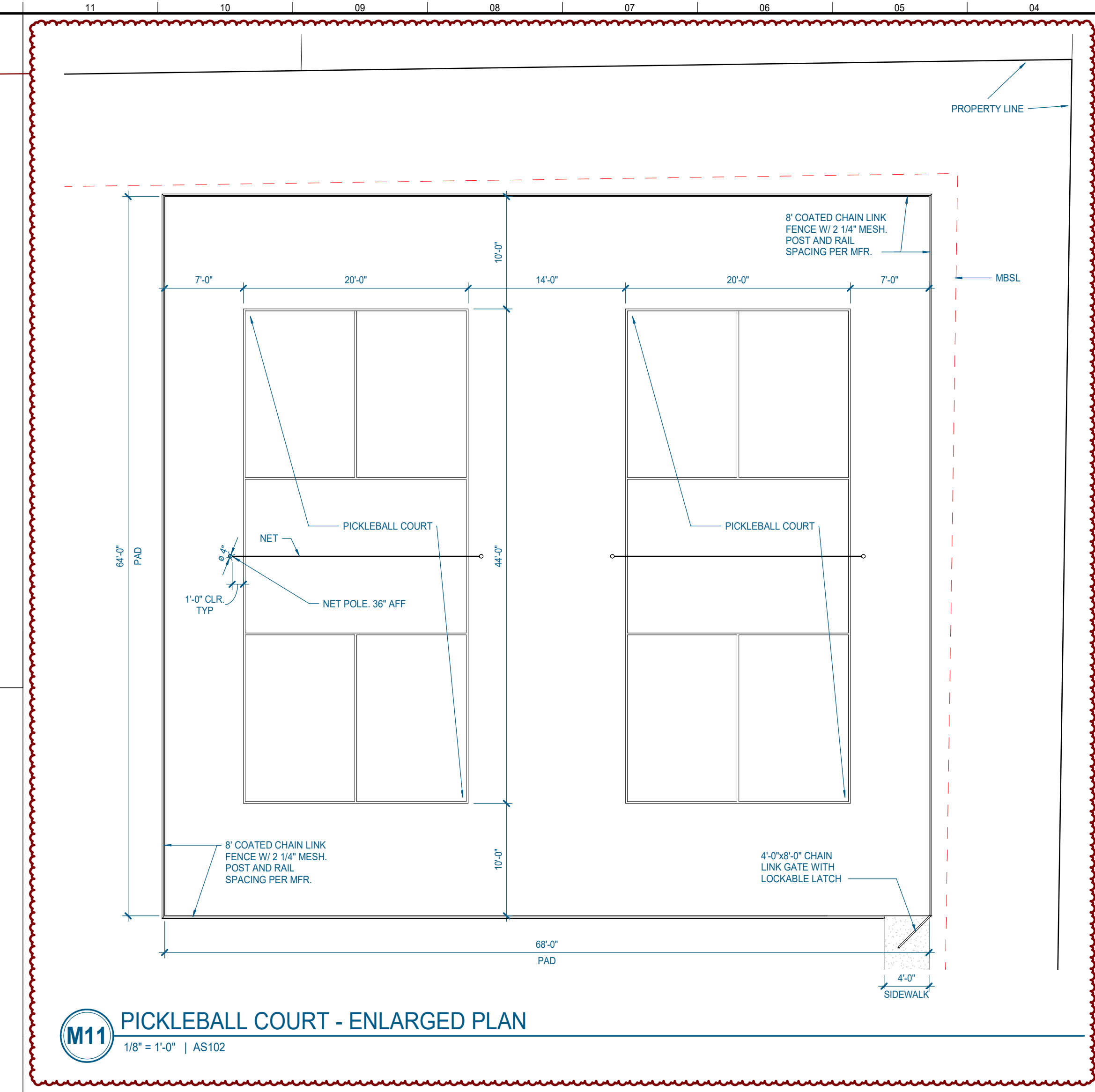
ADDRESS	BUILDING #	BUILDING TYPE	MIRRORED	UPAS UNIT	ISSH UNIT
	1	2.1.A			
	2	2.1.A	Yes		
	3	3.2.B			
	4	3.2.C			
	5	2.1.B	Yes		
	6	3.2.A			
	7	2.1.C	Yes		
	8	3.2.B			
	9	3.2.C			
	10	2.1.A			
	11	2.1.A	Yes		
	12	2.1.B			
	13	3.2.C			
	14	2.1.C			
	15	2.1.B	Yes		
	16	3.2.A(u)	Yes	Yes	
	17	2.1.A	Yes		
	18	3.2.B			
	19	3.2.C			
	20	2.1.B			
	21	2.1.C			
	22	3.2.B			
	23	2.1.B(u)	Yes	Yes	
	26	2.1.A			

### SITE GENERAL NOTES

- SEE CIVIL SHEETS FOR GRADING, SITE UTILITIES, ETC.
- REFER TO CIVIL PLANS FOR EXACT NUMBER OF STEPS. ARCHITECTURAL DRAWINGS SHOW STEPS DIAGRAMMATICALLY.
- BUILDINGS DIMENSIONED FROM CL OF ROW TO EDGE OF SLAB/FOUNDATION WALL.
- ALL UNITS TO HAVE FLUSH ENTRY AT SIDE ENTRY (EAST/WEST ON PLANS).
  - A. UNITS LABELED AS "1STAS" TO HAVE FLUSH ENTRY AT ALL EXTERIOR DOORS. TYP.
  - B. ALL PORCHES TO HAVE FLUSH ENTRY INTO/FROM INTERIOR.
- SEE CIVIL DRAWINGS FOR DIMENSIONS FOR ALL DRIVES, SIDEWALKS, CURBS, ETC.
- NO NEW FENCING PROPOSED ON SITE.
- CITY TO PROVIDE ADDRESSING PLAN. SEE PLAN FOR UNIT DESIGNATION.

### SITE PLAN LEGEND

- APPROX LOCATION OF ELECTRICAL METER. COORD. W/ ENG DRAWINGS AND LOCAL PROVIDER.
- HVAC / TRASH PAD - SEE SHEET AS400 FOR DETAILS.
- MISL (SETBACK LINE)
- ROW CL



# EXTERIOR MATERIALS LEGEND

**PREFINISHED HARDIE (OR MATCH)**

01- ARCTIC WHITE  
02- PEARL GRAY  
03- NIGHT GRAY

**PAINT COLORS & MISC.**

04- IRON OAK (SW 7006)  
05- EXTRA WHITE (SW 7006)  
06- FRESHWED (SW 6031)

**ROOF COLORS**

07- CAMBRIDGE ESTATE GRAY  
08- METAL ROOF @ PORCHES STANDING SEAM

**BRICK COLORS**

NOTE: MORTAR LINES FOR GRAPHIC PURPOSES ONLY. NOT INDICATIVE OF ACTUAL MORTAR COLOR.

09- MICHIGAN CAVALRY GREY  
10- GENERAL SHALE MANDARIN



**BLDG 1 - TYPE 2.1.A**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 2 - TYPE 2.1.A**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 3 - TYPE 3.2.B**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



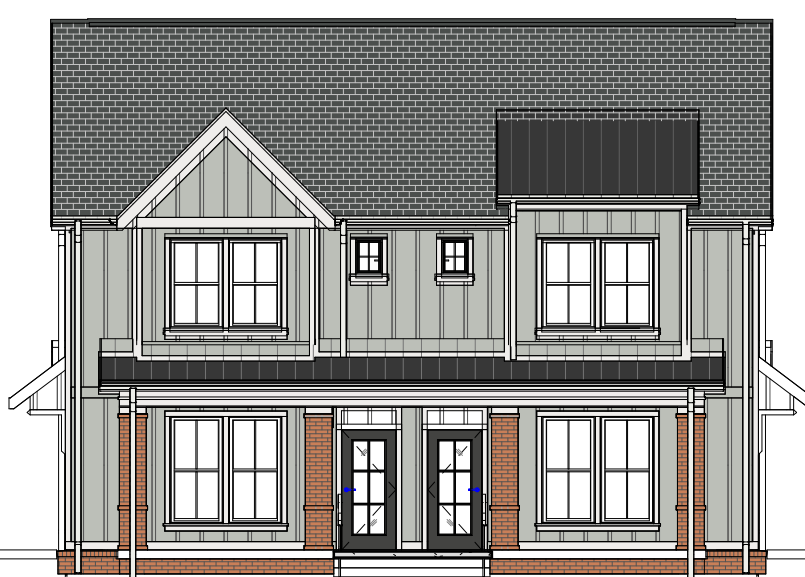
**BLDG 4 - TYPE 3.2.C**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 5 - TYPE 2.1.B**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 6 - TYPE 3.2.A**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 7 - TYPE 2.1.C**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 8 - TYPE 3.2.B**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 9 - TYPE 3.2.C**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 10 - TYPE 2.1.A**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



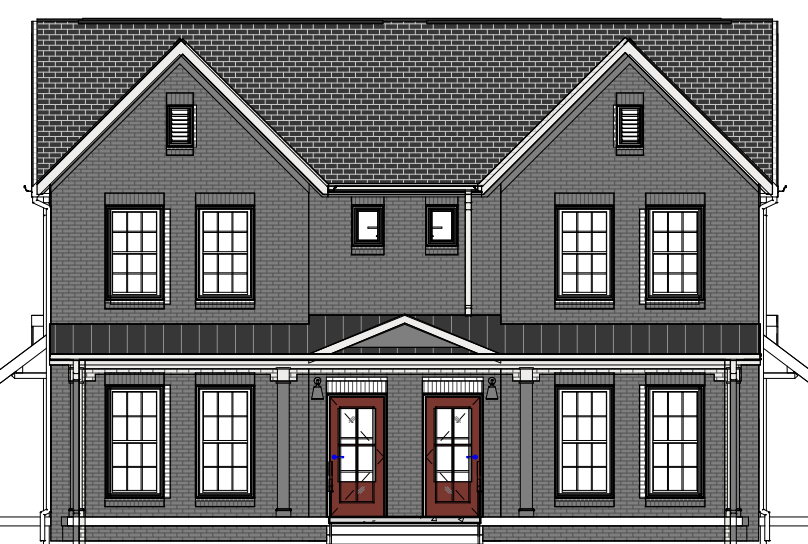
**BLDG 11 - TYPE 2.1.A**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 12 - TYPE 2.1.B**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 13 - TYPE 3.2.C**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



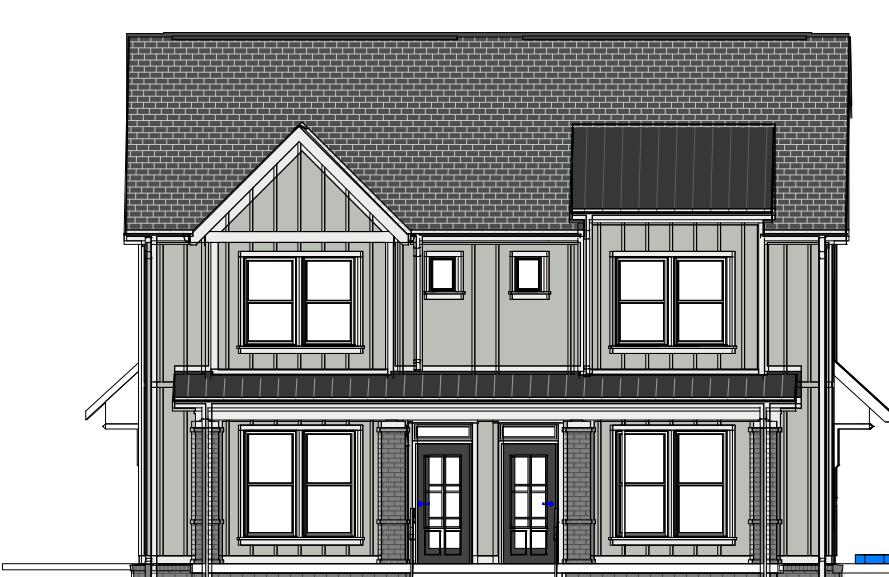
**BLDG 14 - TYPE 2.1.C**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 15 - TYPE 2.1.B**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 16 - TYPE 3.2.A(u)**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



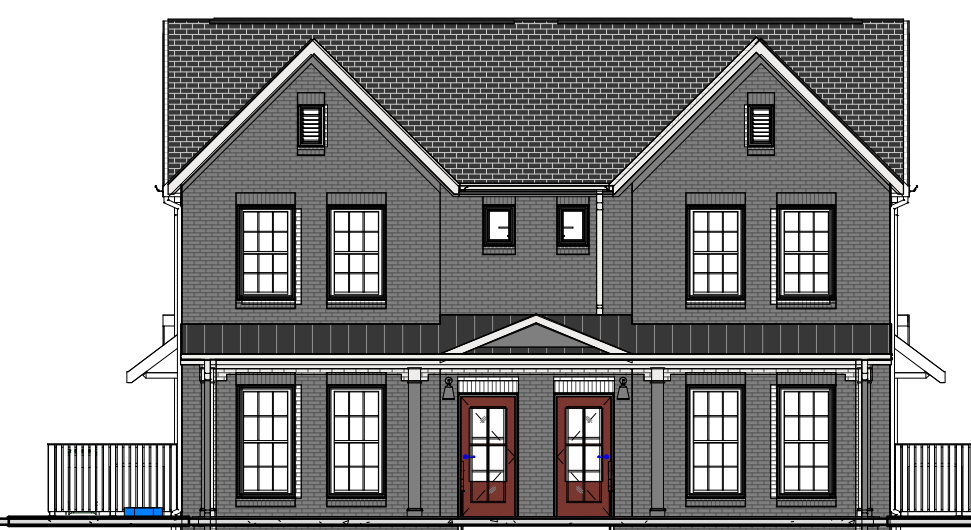
**BLDG 17 - TYPE 2.1.A**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 18 - TYPE 3.2.B**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



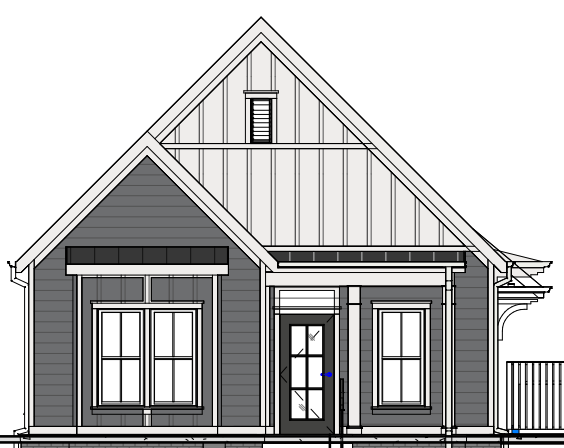
**BLDG 19 - TYPE 3.2.C**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 20 - TYPE 2.1.B**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 21 - TYPE 2.1.C**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



**BLDG 22 - TYPE 3.2.B**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



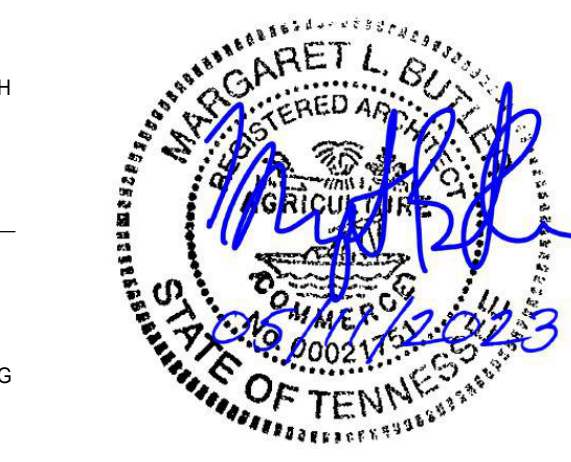
**BLDG 23 - TYPE 2.1.B(u)**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



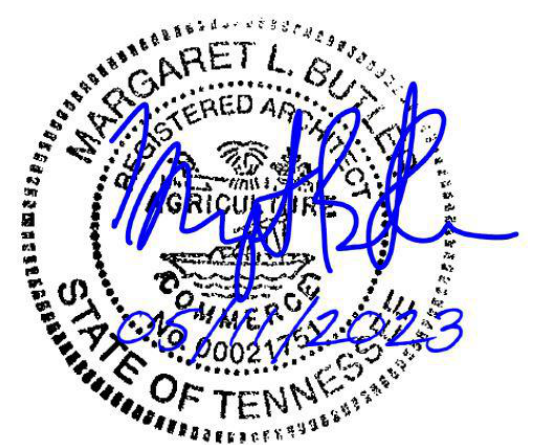
**BLDG 24 - TYPE 2.1.A**

ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	BRICK 01
TRANSOFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



#	ISSUED BY:	DATE
1	City Review Comments	05/03/2023

Issue Date:	MAY 11, 2023
PIC:	M. BUTLER
PM:	M. BUTLER
PA:	G. TAYLOR C. MYERS
Drawn By:	Author
Checked By:	Project Checked By



#	ISSUED BY:	DATE
1	City Review Comments	05/03/2023

Issue Date:	MAY 11, 2023
PIC:	M. BUTLER
PM:	M. BUTLER
PA:	G. TAYLOR C. MYERS
Drawn By:	Author
Checked By:	Project Checked By

### EXTERIOR MATERIALS LEGEND

**PREFINISHED HARDIE (OR MATCH)**

01 - WHITE  
02 - PEAL GRAY  
03 - NIGHT GRAY

NOTE: USED ON LAP, SIDING AND VERTICAL SIDING (SHOULDER & BATTEN)

**PAINT COLORS & MISC.**

04 - IRON ORE (BY 700)  
05 - EXTRA WHITE (BY 700)  
06 - FIREWHEEL (BY 628)

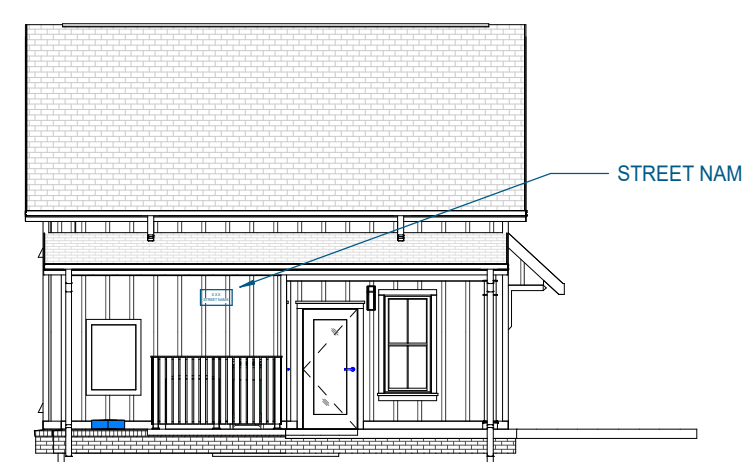
**ROOF COLORS**

ROOF 01 - CARBIDE ESTATE GRAY  
ROOF 02 - METAL ROOF & PORCHES STANDING SEAM

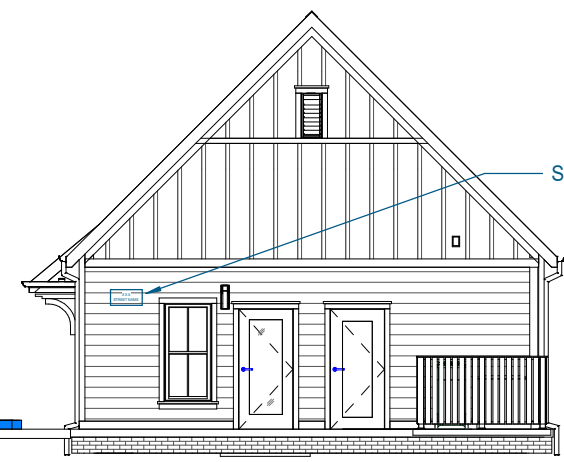
**BRICK COLORS**

BRICK 01 - MEDIAN CAVALRY GREY  
BRICK 02 - GLENHILL SHALE MANDARIN

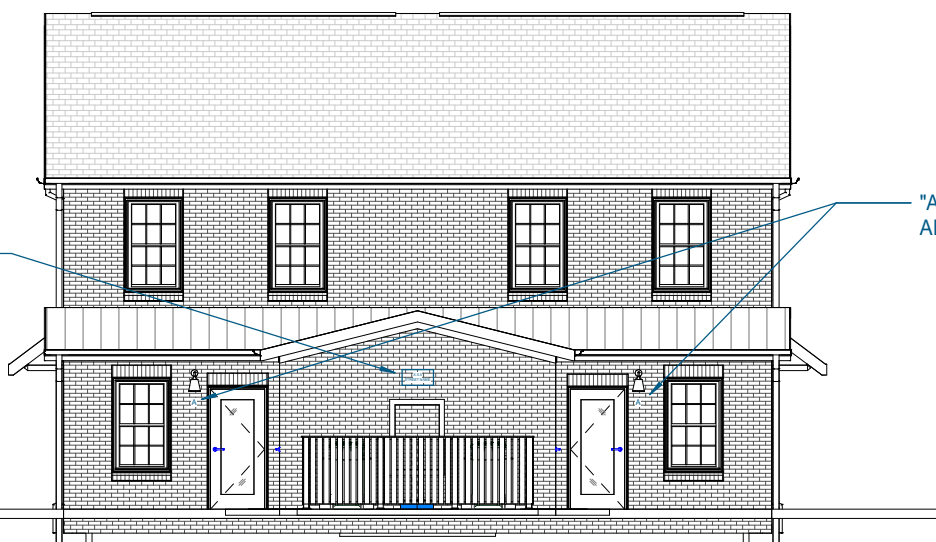
NOTE: MORTAR LINES FOR GRAPHIC PURPOSES ONLY. NOT INDICATIVE OF ACTUAL MORTAR COLOR.



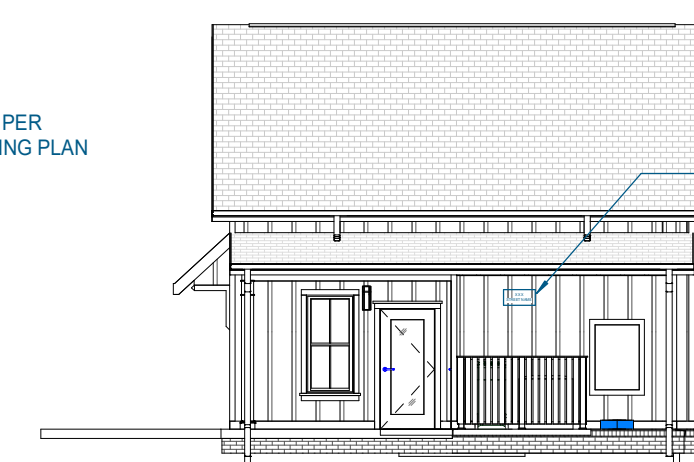
ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 01
ACCENT:	05
TRIMS/OFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



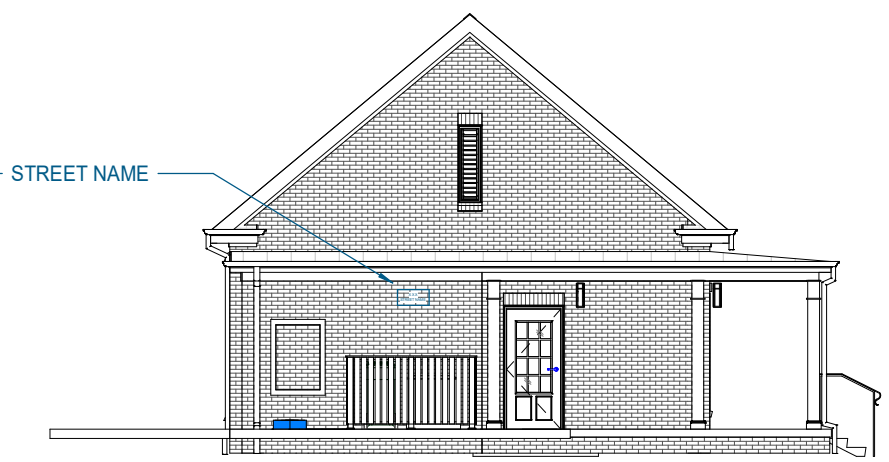
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BASE BRICK:	BRICK 01
ACCENT:	05
TRIMS/OFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



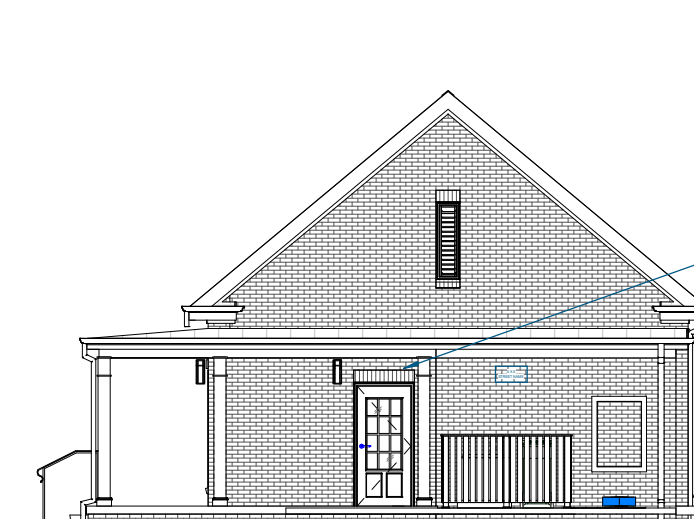
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ACCENT:	05
TRIMS/OFFIT:	05
DOOR:	05
PORCH CEILING:	05
GUTTER AND FLASHING:	05



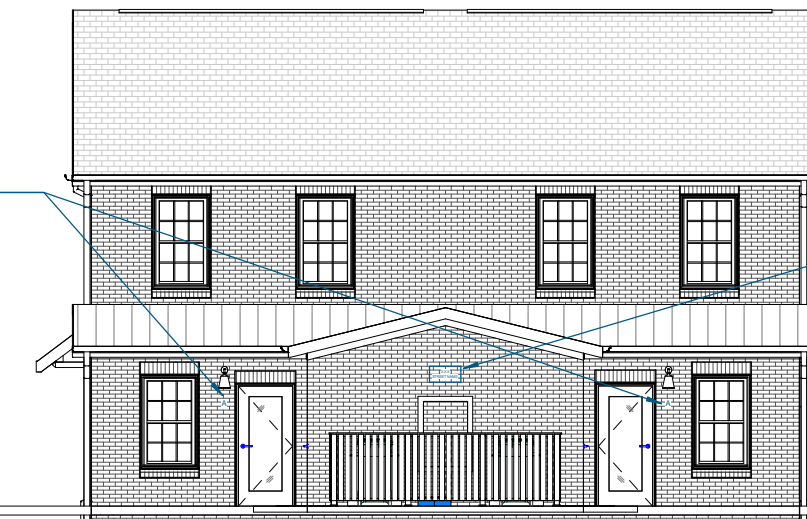
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ACCENT:	05
TRIMS/OFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 01
ACCENT:	05
TRIMS/OFFIT:	05
DOOR:	05
PORCH CEILING:	05
GUTTER AND FLASHING:	05



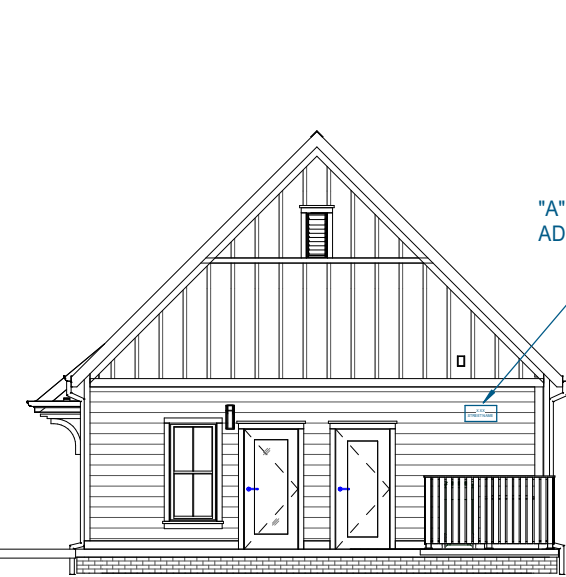
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BASE BRICK:	BRICK 02
ACCENT:	05
TRIMS/OFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 01
ACCENT:	05
TRIMS/OFFIT:	05
DOOR:	05
PORCH CEILING:	05
GUTTER AND FLASHING:	05



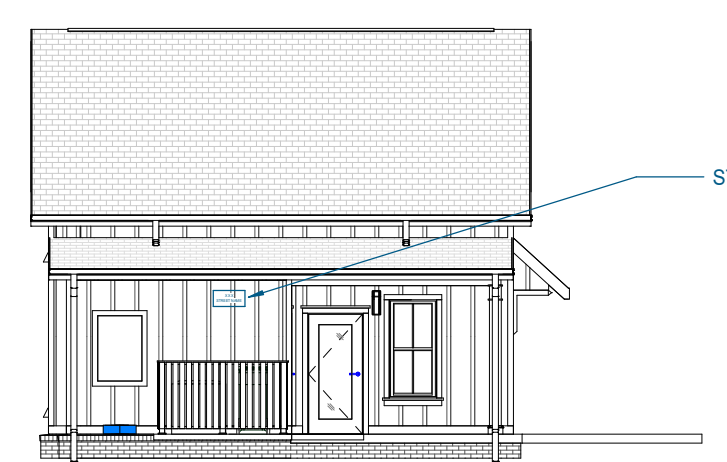
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BODY:	BRICK 01
BASE BRICK:	BRICK 02
ACCENT:	04
TRIMS/OFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	04



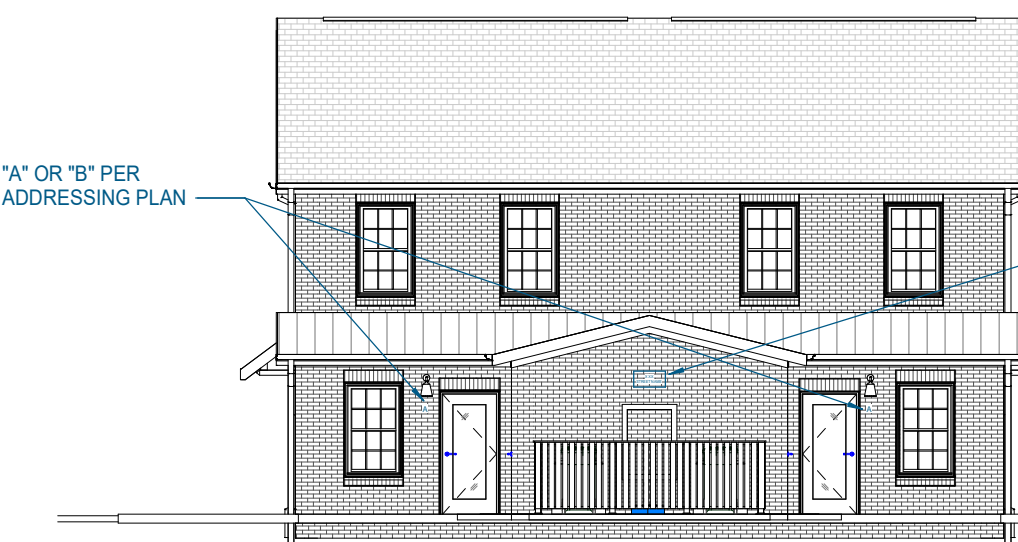
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BODY:	BRICK 03
BASE BRICK:	BRICK 01
ACCENT:	05
TRIMS/OFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



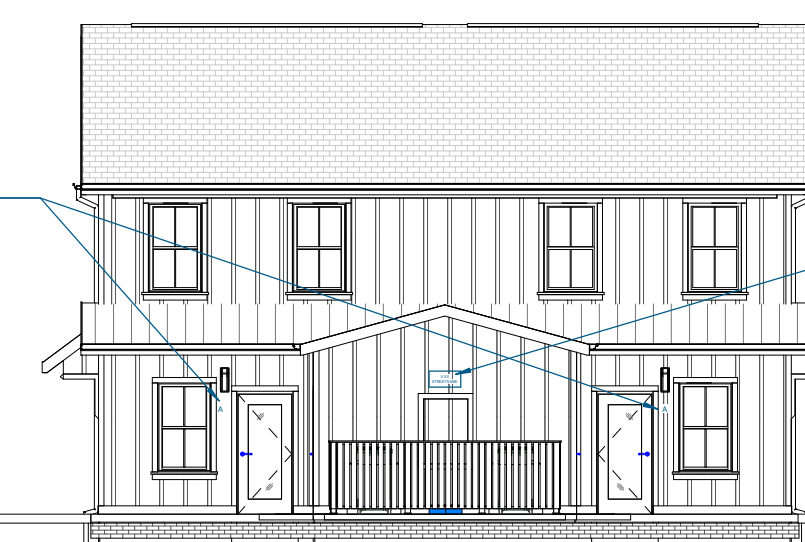
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TRIMS/OFFIT:	05
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PORCH CEILING:	05
GUTTER AND FLASHING:	05



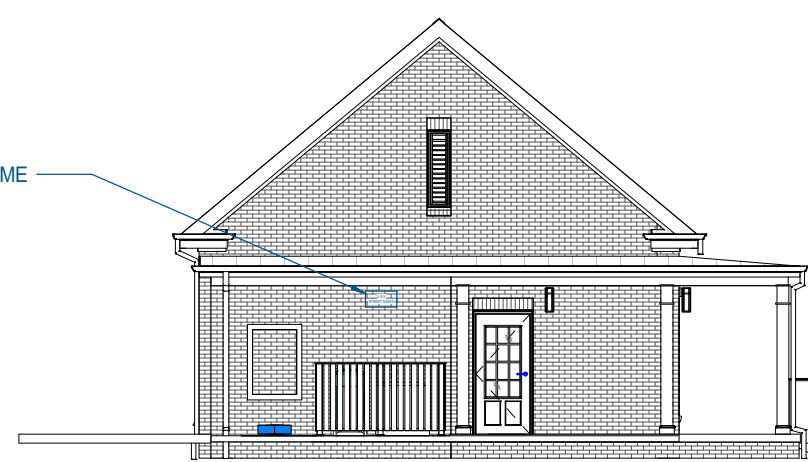
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BASE BRICK:	BRICK 01
ACCENT:	05
TRIMS/OFFIT:	05
DOOR:	04
PORCH CEILING:	05
GUTTER AND FLASHING:	05



ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 01
ACCENT:	05
TRIMS/OFFIT:	05
DOOR:	05
PORCH CEILING:	05
GUTTER AND FLASHING:	05



ROOF:	ROOF 01 & 02
BODY:	BRICK 02
BASE BRICK:	BRICK 02
ACCENT:	05
TRIMS/OFFIT:	05
DOOR:	04
PORCH CEILING:	04
GUTTER AND FLASHING:	04

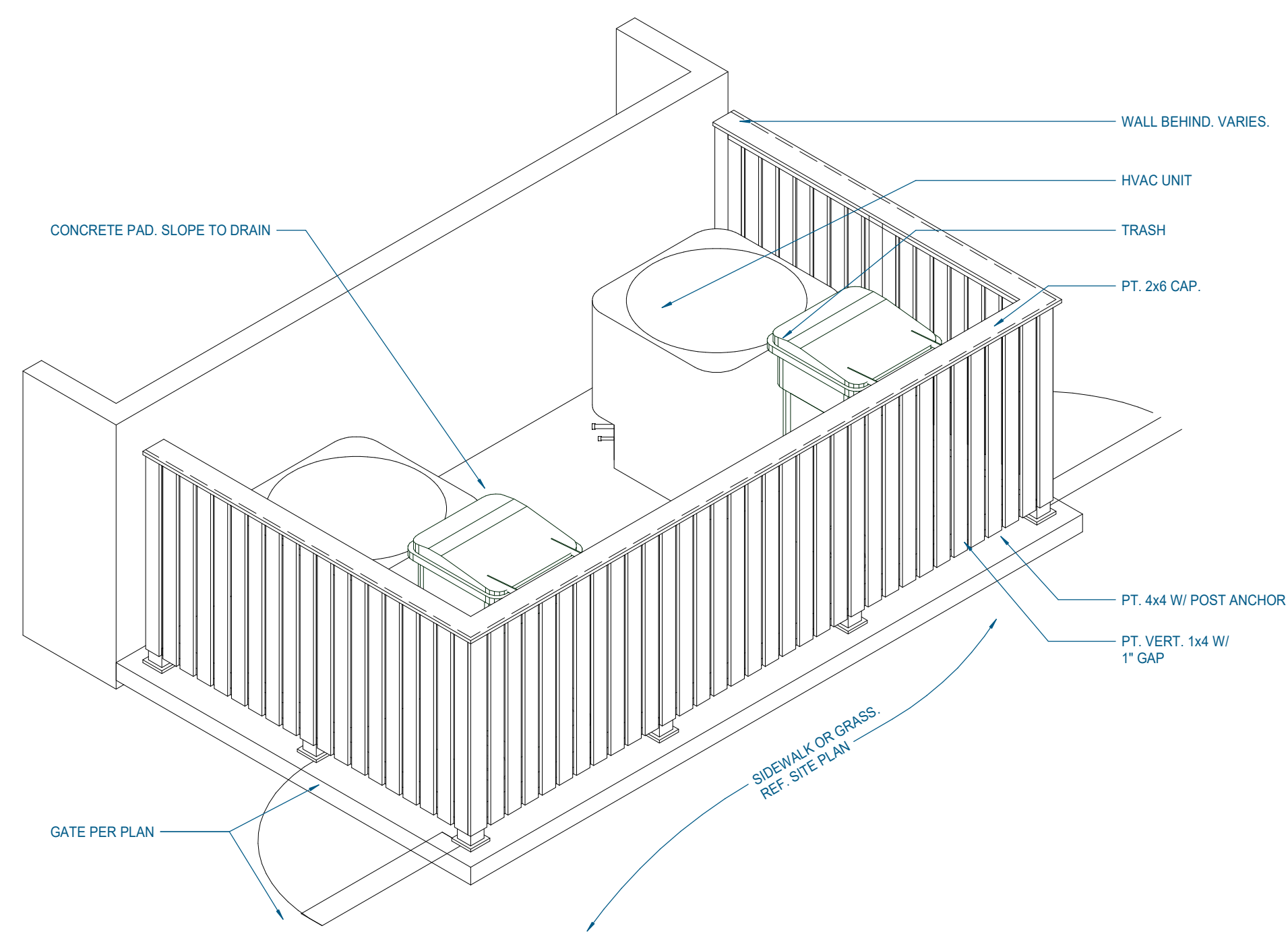


ROOF:	ROOF 01 & 02
BODY:	BRICK 01
BASE BRICK:	BRICK 01
ACCENT:	05
TRIMS/OFFIT:	05
DOOR:	05
PORCH CEILING:	05
GUTTER AND FLASHING:	05

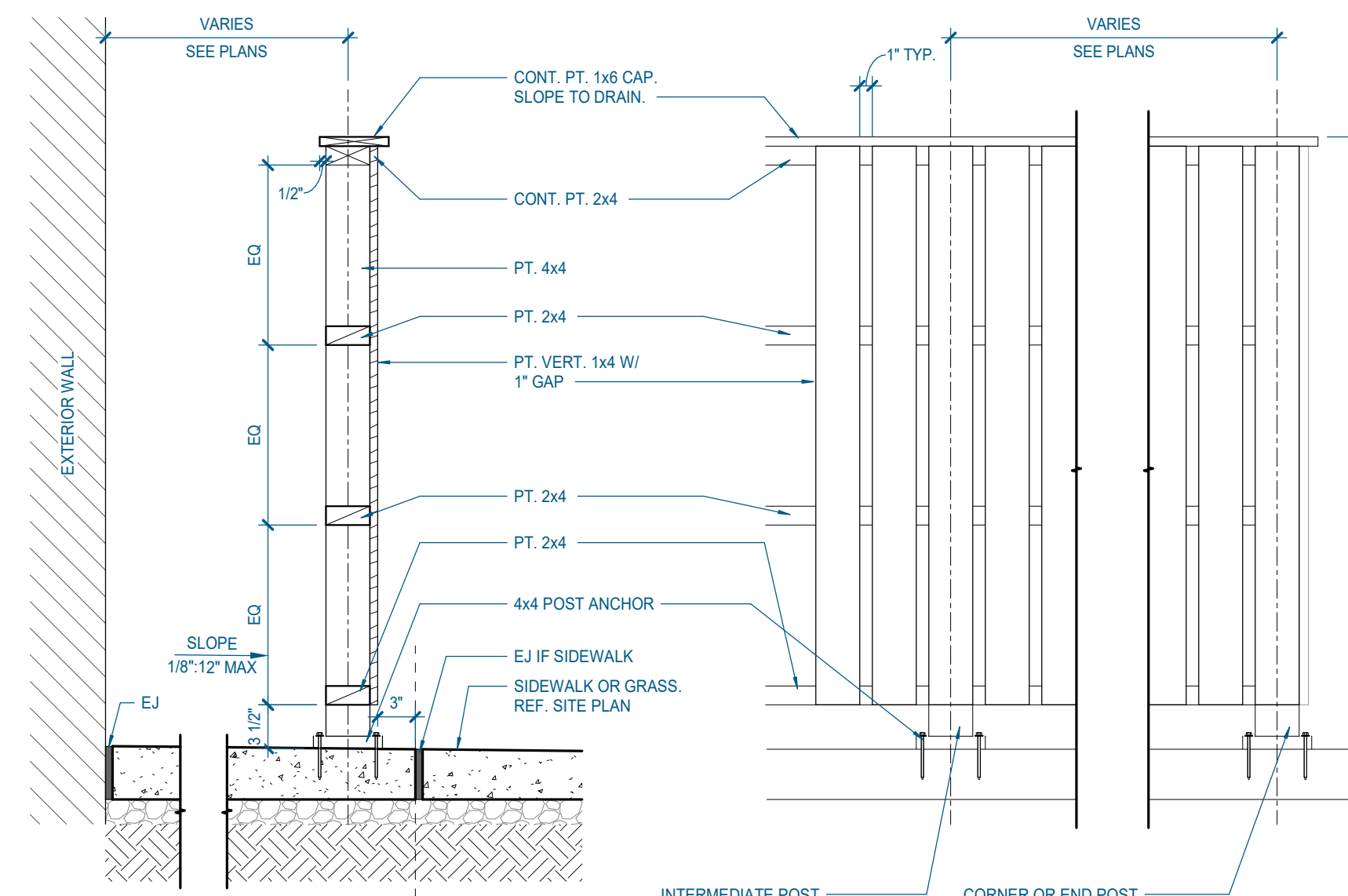


#	ISSUED BY:	DATE
1	City Review Comments	05/03/2023

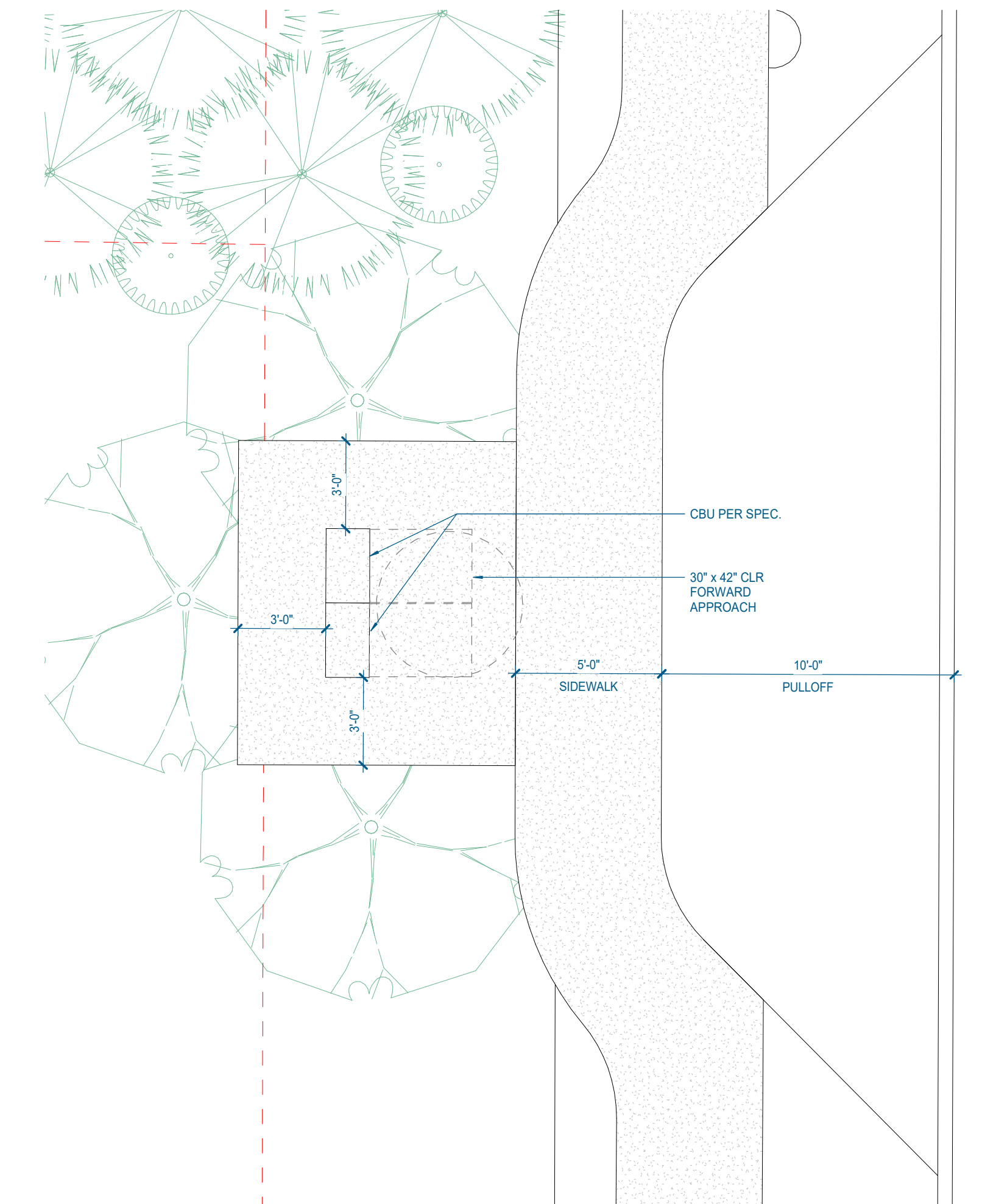
Issue Date:	MAY 11, 2023
PIC	M. BUTLER
PM	M. BUTLER
PA	G. TAYLOR C. MYERS
Drawn By:	Author
Checked By:	Project Checked By



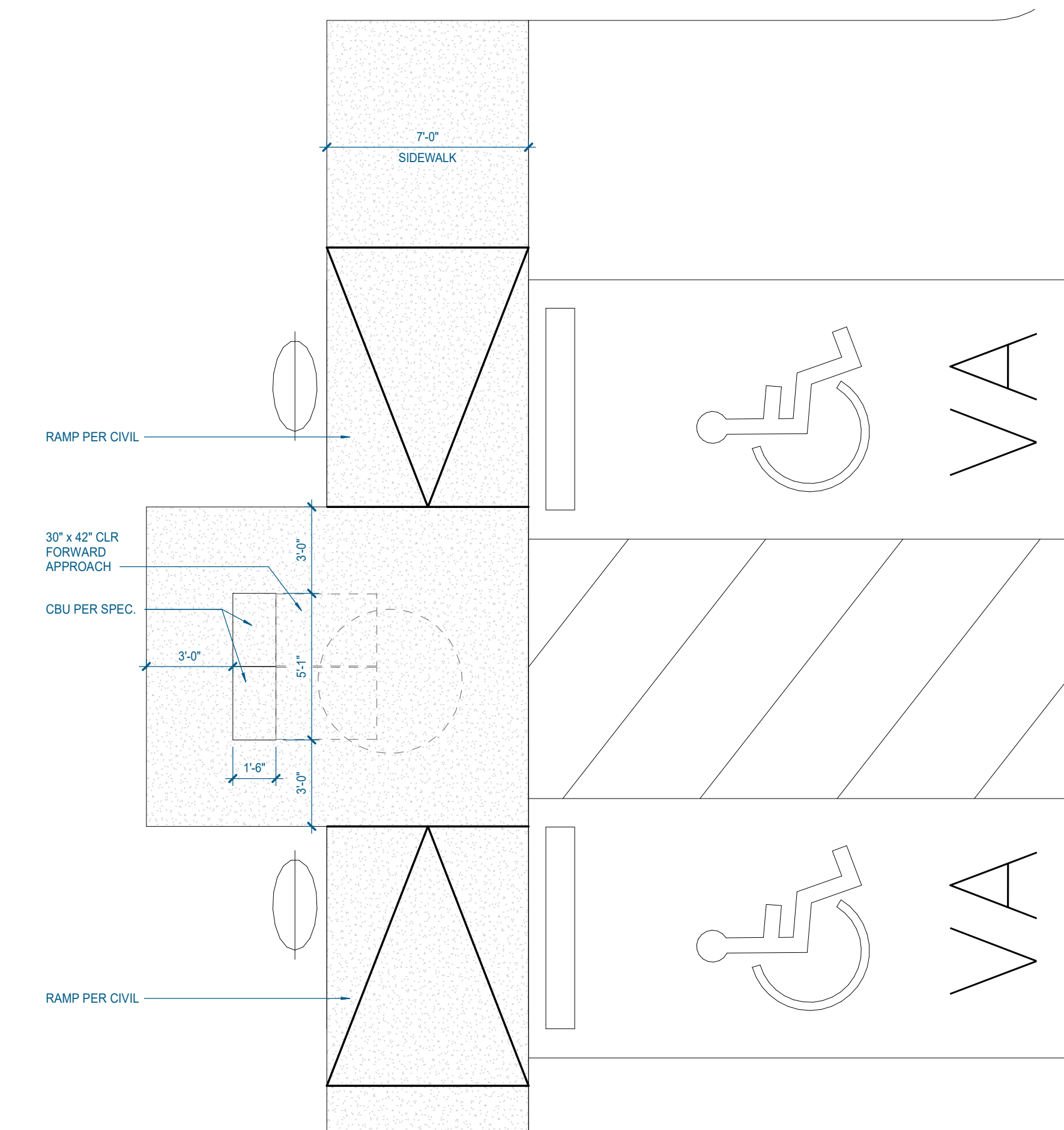
ALL WOOD COMPONENTS TO BE SOLID STAIN TO MATCH EXTERIOR PT3 - NIGHT GRAY



ALL WOOD COMPONENTS TO BE SOLID STAIN TO MATCH EXTERIOR PT3 - NIGHT GRAY



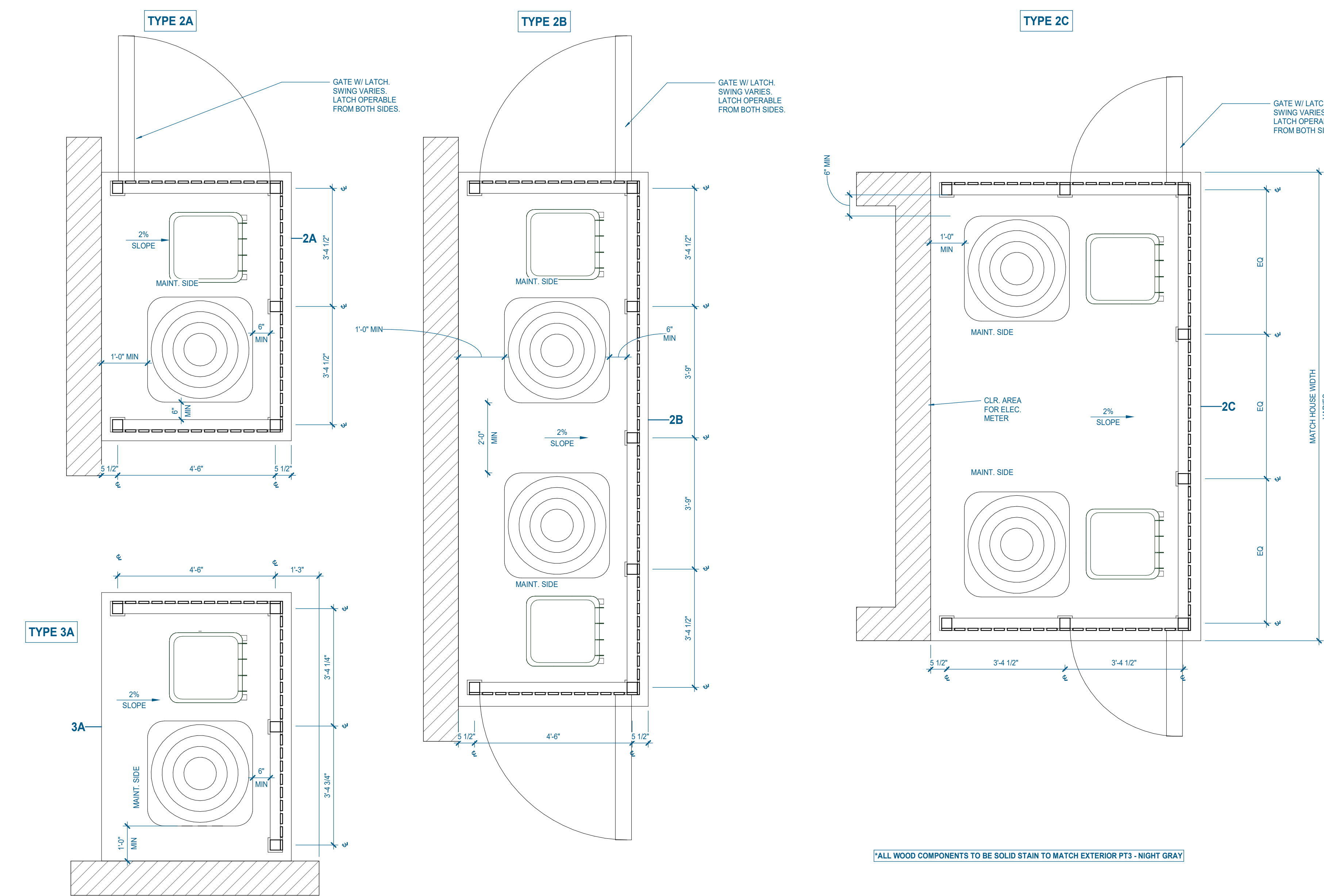
**J08** BLOCK 3 MAIL KIOSK  
1/4" = 1'-0" | AS400



**A08** BLOCK 2 MAIL KIOSK  
1/4" = 1'-0" | AS400

**L24** HVAC/TRASH ENCLOSURE AXON  
1/4" = 1'-0" | AS400

**L15** HVAC/TRASH ENCLOSURE - FENCE SECTION AND PARTIAL ELEVATION  
1" = 1'-0" | AS400



ALL WOOD COMPONENTS TO BE SOLID STAIN TO MATCH EXTERIOR PT3 - NIGHT GRAY

**A24** HVAC AND TRASH ENCLOSURE ENLARGED PLANS  
1/2" = 1'-0" | AS400

ABBREVIATIONS LEGEND

ABBREVIATIONS WHEN USED IN COMPOSITION MAY INCLUDE PERIODS FOR CLARIFICATION

Table with columns for abbreviations and their corresponding full names, covering various construction and architectural terms.

INTERIOR ABBREVIATIONS

Table listing interior-specific abbreviations such as acoustic panels, back-painted glass, and cork flooring.

MATERIALS

Table showing material patterns and their corresponding descriptions, including compacted fill earth, undisturbed soil, gravel, sand, asphalt, structural concrete, etc.

SYMBOLS LEGEND

Table defining symbols for sheet numbers, north arrows, vertical elevations, match lines, keynotes, room names, finish tags, area names, accent finishes, door tags, casework, opening types, glazing panels, and dimensions.

ARCHITECTURAL GENERAL NOTES

- List of general notes including contract documents, construction details, accessibility requirements, and other project-specific instructions.



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1.615.890.7901

LANDSCAPE ARCHITECT:
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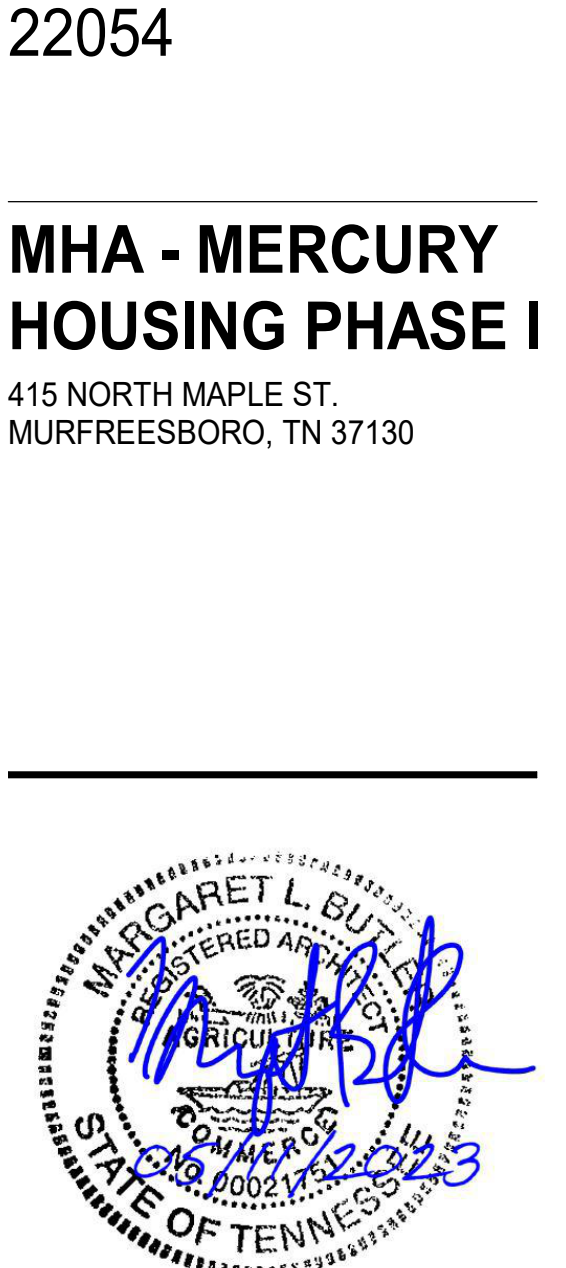
STRUCTURAL ENGINEER:
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KNOXVILLE, TN 37902
1.865.329.9900

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ELECTRICAL ENGINEER:
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PROJECT INFORMATION:
22054

MHA - MERCURY HOUSING PHASE I
415 NORTH MAPLE ST.
MURFREESBORO, TN 37130



CONSULTANT:
# ISSUED BY: DATE
M. BUTLER
M. BUTLER
G. TAYLOR, C. MYERS

Issue Date: MAY 11, 2023
Checked By: Project Checked By

A-001
ARCHITECTURAL NOTES, SYMBOLS AND LEGEND

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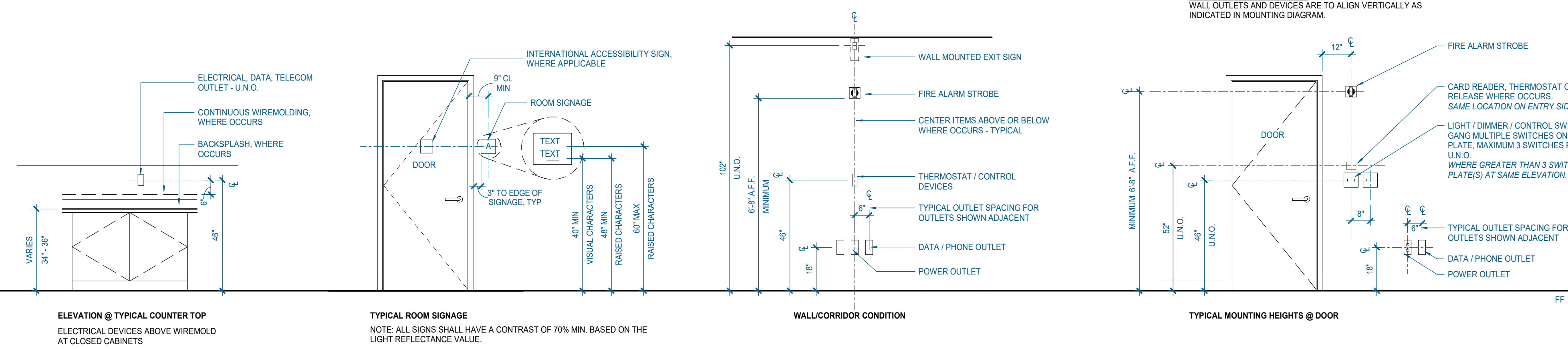
STRUCTURAL ENGINEER:  
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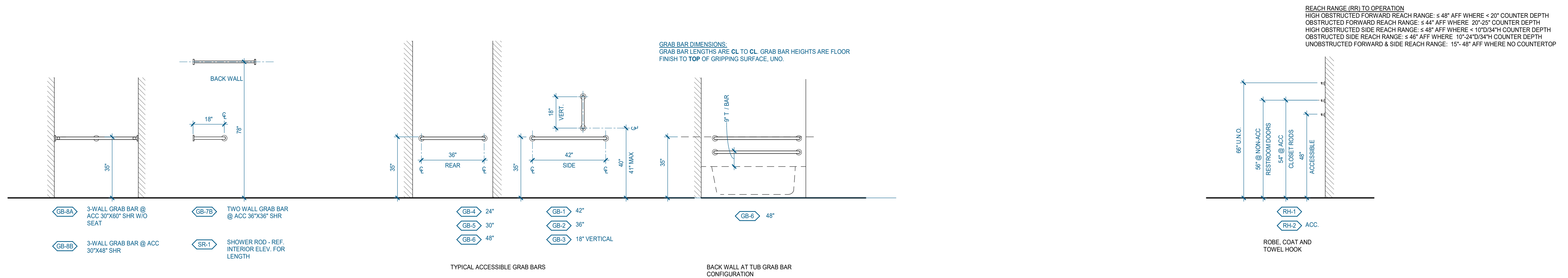
## GENERAL MOUNTING HEIGHTS



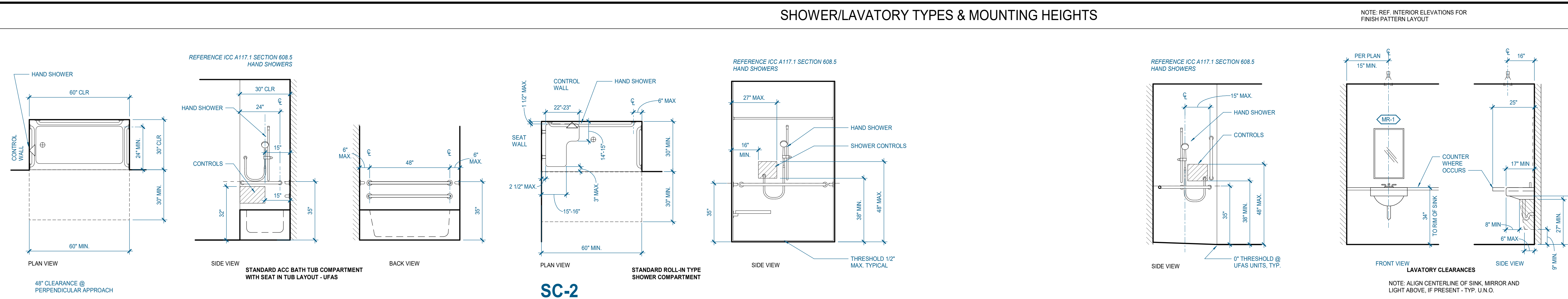
## MOUNTING HEIGHTS NOTES

- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
- ALL DIMENSIONS ARE IN INCHES - UNLESS OTHERWISE NOTED.
- NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS ELSEWHERE ON THE SHEET.
- WALL OUTLETS AND DEVICES ARE TO ALIGN VERTICALLY AS INDICATED IN MOUNTING DIAGRAM.
- GANG MULTIPLE SWITCHES TOGETHER INTO ONE BOX WITH A SINGLE COVER PLATE WHENEVER POSSIBLE. MULTIPLE SWITCHES, WHICH CANNOT BE GANGED TOGETHER IN THE SAME BOX, SHALL BE LOCATED AS CLOSE TOGETHER AS POSSIBLE AND MOUNTED AT THE SAME HEIGHT.
- ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISHES INSTALLED WITHIN 2' OF A URINAL, WATER CLOSET, SINK OR LAVATORY SHALL BE MOISTURE SEALED.
- CONTRACTOR TO COORDINATE THE LOCATION OF ALL DEVICES WITH ARCHITECT/DESIGNER.
- ITEMS SHOWN ON THIS SHEET ARE TYPICAL. COORDINATE WITH ACTUAL FIXTURES OR DEVICES USED.
- ALL ITEMS SHOWN MAY NOT BE USED IN THIS PROJECT.
- ALL GRAPHICS AND TEXT ON THIS PAGE DO NOT SUPERSEDE CURRENT ACCESSIBILITY CODE AND REGULATIONS. GRAPHICS MAY NOT REPRESENT FINAL PRODUCT SELECTION EXACTLY. GRAPHICS SHOWN FOR INTENT ONLY.
- REFERENCE ANSI A117.1-2009 FOR TACTILE SIGN LOCATION REQUIREMENTS.
- ALL FIXTURES AND ACCESSORY CHARACTERISTICS & DIMENSIONAL CLEARANCES MUST BE COMPLIANT WITH ICC/ANSI A117.1-2009

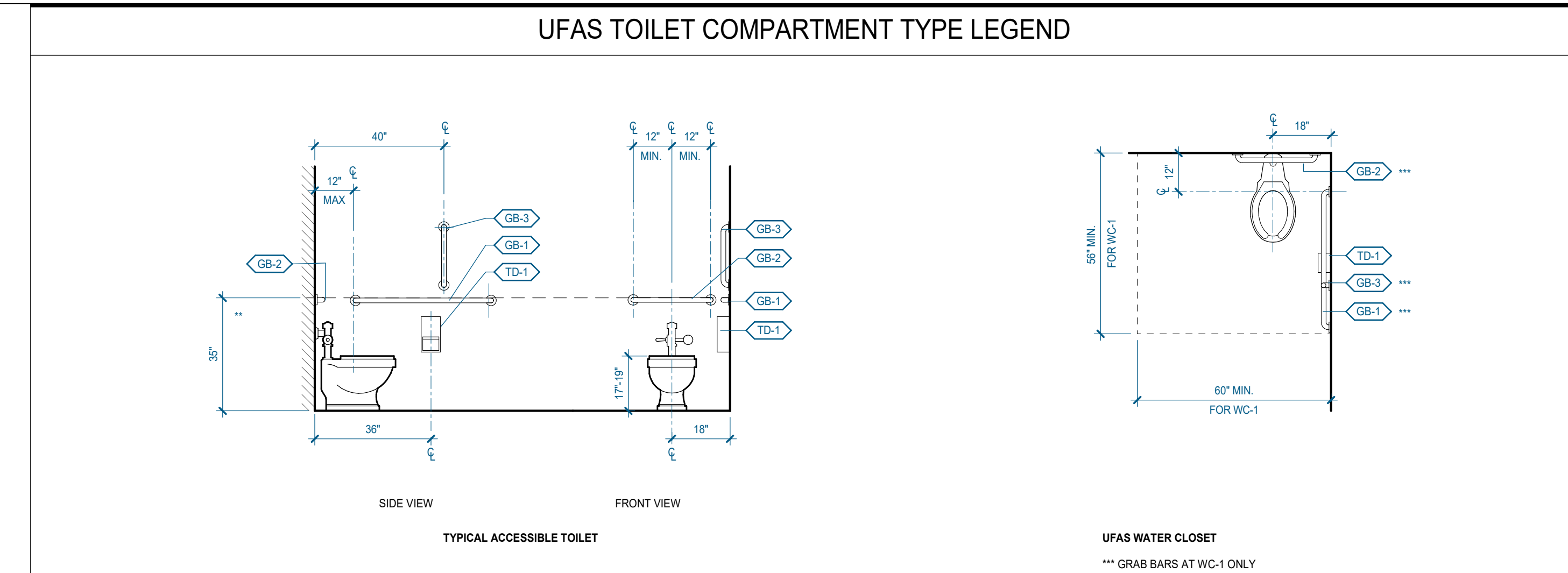
## RESTROOM ACCESSORIES AND WATER COOLER TYPE LEGEND



## SHOWER/LAVATORY TYPES & MOUNTING HEIGHTS



## UFAS TOILET COMPARTMENT TYPE LEGEND



Project Information:

22054

## MHA - MERCURY HOUSING PHASE I

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

# ISSUED BY: DATE

Issue Date: MAY 11, 2023  
PIC: M. BUTLER  
PM: M. BUTLER  
PA: G. TAYLOR C. MYERS  
Drawn By: Author  
Checked By: Project Checked By

Sheet Information:

# A-002

## MOUNTING HEIGHT DIAGRAMS







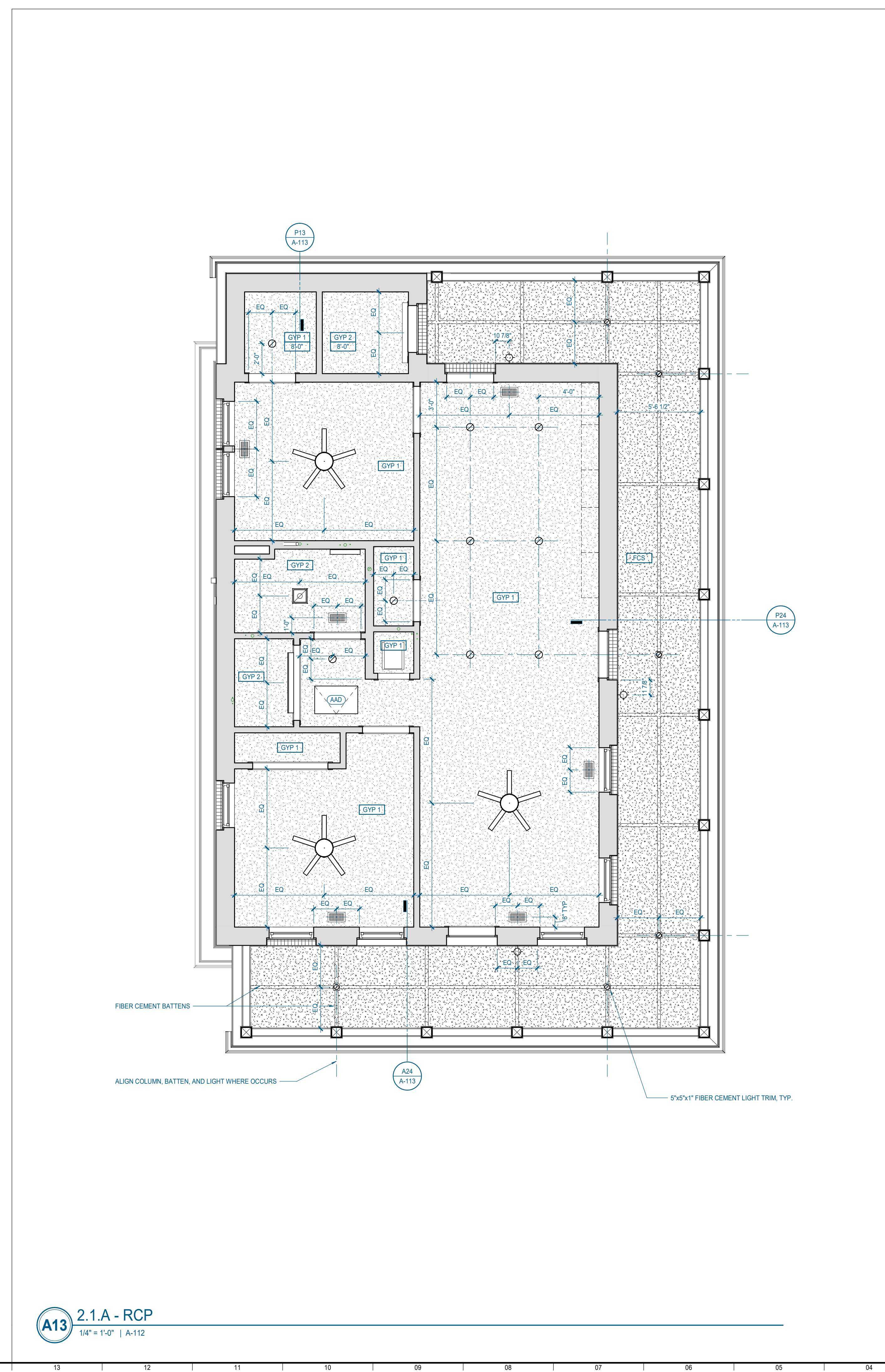


### RCP GENERAL NOTES

- REFER TO DRAWINGS AND RCP LEGEND FOR CEILING HEIGHT AND MATERIAL.
  - ALL CEILINGS TO BE ATTACHED TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
  - ALL GYPSUM BOARD SOFFITS AND CEILING HEIGHTS INDICATED SHALL BE MEASURED FROM BOTTOM FACE OF GYPSUM BOARD ABOVE FINISH FLOOR.
- FOR CEILING FINISHES, REFER TO FINISH SCHEDULE.
- SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, NURSE CALL BELL LIGHTS, EXIT SIGNAGE, FIRE ALARM DEVICES, WALL MOUNTED EXIT LIGHTS, ETC.
- LIGHTING FIXTURES ARE DIMENSIONED TO CENTER OF FIXTURE, UNLESS OTHERWISE NOTED.
- IF LOCATION DIMENSIONS ARE NOT INDICATED, FINAL POSITION OF ANY WALL EXPOSED ELEMENTS AND DEVICES SHALL BE COORDINATED WITH ARCHITECT.
- LOCATE ATTIC ACCESS DOOR (AAD) AS INDICATED ON THE DRAWINGS. LOCATE BETWEEN ROOF TRUSSES. PROVIDE BLOCKING AND ATTACHMENTS PER MFR. PROVIDE 1/2" MIN 3/4" PLYWOOD WALKBOARD ADJACENT TO OPENING. PROVIDE BLOCKING AT PERIMETER OF OPENING AND BELOW WALKBOARD TO MAINTAIN MINIMUM INSULATION DEPTH.
- VERIFY THAT ALL ABOVE-CEILING ELEMENTS FIT IN PLENUM AS INDICATED BEFORE PROCEEDING WITH FRAMING CEILING. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- ALL DEVICES & DEVICE COVERPLATE LOCATED IN GYPSUM BOARD CEILINGS TO BE WHITE, OR TO MATCH PAINTED CEILING FINISH.
- THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY RETURN AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- ALL SINGLE LIGHT FIXTURES IN A GIVEN SPACE SHALL BE CENTERED ON THE ROOM OR SPACE, UNLESS NOTED OTHERWISE.
- SUSPENDED CEILING SYSTEMS MUST BE INSTALLED TO COMPLY WITH ASTM C836 AND ASTM E588 SEISMIC CATEGORY D, RISK CATEGORY 11.
- FOR FURTHER DETAIL & DIMENSIONS SEE FLOOR PLANS AND CEILING DETAILS.

### RCP LEGEND

- |  |  |
|--|--|
|  | GYPSUM BOARD CEILING                           |
|  | MOLD RESISTANT GYPSUM BOARD CEILING            |
|  | FIBER CEMENT SOFFIT PANELS WITH BATTEN AT SEAM |
|  | CEILING MATERIAL                               |
|  | CEILING HEIGHT                                 |
- 
- |  |   |
|--|---|
|  | RETURN AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION           |
|  | SUPPLY AIR CEILING DIFFUSER REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION |
|  | COMBINATION LIGHT AND EXHAUST FAN, BATHROOMS ONLY.                                  |
- 
- |  |  |
|--|--|
|  | 6" RECESSED CAN LIGHT  |
|  | 4" EXTERIOR RECESSED CAN LIGHT   |
|  | COMBINATION LIGHT AND EXHAUST FAN, BATHROOMS ONLY.                       |
|  | WALL MOUNTED LIGHT, CENTER ABOVE DOOR OR VANITY, UNLESS NOTED OTHERWISE. |
- 
- |  |  |
|--|--|
|  | 1/2" (MINIMUM) ATTIC ACCESS DOOR (AAD), LOCKABLE. LOCATE BETWEEN ROOF TRUSSES - SEE STRUCT. BLOCKING AND ATTACHMENTS PER MFR. PROVIDE 4" x 4" x 1/2" MIN 5/8" PLYWOOD WALKBOARD ADJACENT TO DOOR IN ATTIC. PROVIDE FRAMING ABOVE OPENING AND BELOW WALKBOARD TO MAINTAIN REQUIRED INSULATION DEPTH. GRAPHIC LOCATION IS APPROXIMATE. CONTRACTOR TO VERIFY FINAL LOCATION IN THE FIELD. |
|  | CEILING FAN WITH INTEGRATED LIGHT, SWITCH LIGHT AND FAN SEPARATELY.  |



**A13 2.1.A - RCP**  
1/4" = 1'-0" | A-112



FINISH SCHEDULE - ALL BUILDINGS

Table with 5 columns: ITEM, TAG, MATERIAL, LOCATION, SPECIFICATION. Lists various finishes for floors, walls, ceilings, and millwork.

- FINISH SCHEDULE GENERAL NOTES
1. COUNTERTOP OVERHANGS TO HAVE RADIUS CORNERS AT OPEN CORNERS.
2. SEE A540 FOR EXTERIOR COLORS.
3. DOOR AND WINDOW TRIM TO MATCH "B-1".
4. ALL INTERIOR AND EXTERIOR SEALANTS TO BE PAINTABLE.
5. INSTALL SHOE MOLDING AT ALL BASE CABINETS. PAINT TO MATCH ADJACENT MILLWORK COLOR.

2.1.B DOOR SCHEDULE

Table with 11 columns: ASSEMBLY, DOOR NO, W, HT, THK, UNDERCUT, MATERIAL, TYPE, FRAME INFORMATION, SET #, COMMENTS. Lists door specifications for various rooms.

2.1.B ROOM SCHEDULE

Table with 3 columns: NUMBER, NAME, AREA (+/-). Lists room numbers, names, and areas.

FLOOR PLAN GENERAL NOTES

- REFER TO SHEET A-001 FOR ADDITIONAL GENERAL NOTES.
2. ALL NEW PARTITIONS SHALL BE TYPE B60 UNO. REFER TO PARTITION SCHEDULE FOR MORE INFORMATION.
3. REFER TO PARTITION TYPE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
4. PARTITION TYPES ARE SCHEDULED IN THE A-000 SERIES. RE: G-100 SERIES 'ODD COMPLIANCE PLANS LIFE SAFETY PLANS' FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
5. TYPICAL DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO THE FACE OF STUD, TO CENTER LINE OF COLUMNS AND TO FACE OF CONCRETE OR MASONRY WALLS, UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS MINIMUM, CLEAR, OR HOLD ARE TO FACE OF PARTITION FINISH. MAINTAIN DIMENSIONS NOTED.
6. PARTITIONS NOT DIMENSIONED ARE GENERALLY LOCATED BY ONE OF THE FOLLOWING CRITERIA:
A. CENTERLINE: CENTER OF PARTITION ALIGNS WITH THE CENTER OF GRIDLINE OR OBJECT CENTERING (SUCH AS A COLUMN OR MULLION), CENTER THE OVERALL PARTITION WIDTH RATHER THAN STUD WIDTH ON THE LINE.
B. ALSO LOCATE PARTITION FLUSH WITH FACE OF GYPSUM BOARD, OR OTHER SURFACE INDICATED.
7. SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF VERTICAL EXPANSION JOINTS IN MASONRY.
8. PROVIDE MINIMUM 1'-0" CLEAR FLOOR SPACE AT THE PUSH SIDE OF EVERY DOOR WITH A CLOSER. PROVIDE MINIMUM 1'-0" CLEAR AT THE PULL SIDE OF EVERY DOOR, UNLESS SPECIFICALLY DIMENSIONED, NOTED OR SHOWN OTHERWISE.
9. LOCATE DOORS 6'-4" FROM FACE OF INTERSECTING STUD PARTITION TO INSIDE EDGE OF DOOR FRAME, UNO.
A. THE REGION OPENING OF A NEW DOOR GRAPHICALLY SHOWN IN THE CENTER OF WALL UNDIMENSIONED SHOULD BE CENTERED ON THAT ROOMSPACE.
10. SEE A-002 FOR TYPICAL MOUNTING HEIGHTS.
11. FIELD MEASURE AND CONFIRM DIMENSIONS FOR EQUIPMENT, FURNISHINGS & ARCHITECTURAL WOODWORK (MILLWORK).
12. SEE DOOR SCHEDULE FOR DOOR FRAME MATERIAL & FINISHES AND ALL HARDWARE COMBINATIONS. REFER TO PROJECT MANUAL.
13. REFER TO MOUNTING DIAGRAMS AND ELEVATIONS FOR LOCATION OF SWITCHES, DIMMERS, THERMOSTATS AND OUTLETS.
14. PROVIDE MOLD RESISTANT GYP. BD. AT WET LOCATIONS INCLUDING BUT NOT LIMITED TO:
A. ALL BATHROOM WALLS AND CEILING
B. WALLS IN LAUNDRY ROOM
C. SINK WALL IN KITCHEN
D. EXT. STORAGE WALLS AND CEILING
15. DUPLICATE DIMENSIONS ON ONE SIDE, TO THE OPPOSITE SIDE OF THE DUPLICATED DIMENSIONED UNLESS NOTED OTHERWISE.
16. SHELVING:
A. ALL LAUNDRY ROOMS TO RECEIVE ADJUSTABLE SHELVING.
I. 2.1.B(1) AND ALL DUPLEXES WHERE DRYER VENT IS VERTICAL, WIRE SHELVING TO BE CUT AROUND DRYER VENT. ALL CUT EDGES TO HAVE RUBBER CAP BY SHELVING MFR.
B. ALL SHELVING IN SINGLE-STORY UFAS UNITS TO BE ADJUSTABLE, UNO.
C. ALL SHELVING ON GROUND FLOOR OF TWO-STORY UFAS UNITS TO BE ADJUSTABLE, UNO.
17. SEE MECHANICAL FOR TRANSFER GRILL LOCATIONS ABOVE DOORS, TRANSFER GRILLS TO BE CENTERED ABOVE DOORS.
18. FIRE EXTINGUISHERS:
A. INSTALL UNDER ALL KITCHEN SINKS.
I. IN UFAS UNITS, INSTALL IN CABINET ADJACENT TO SINK.
B. INSTALL IN UPSTAIRS HALLWAY CLOSET.
19. EXTERIOR STAIRS:
A. STAIRS ARE SHOWN GRAPHICALLY AND MAY VARY FROM WHAT IS SHOWN ON PLANS. REFER TO CIVIL PLANS FOR EXACT NUMBER OF STAIRS AT EACH BUILDING.
B. SEE A-302 FOR EXTERIOR STAIR AND HANDRAIL PERFORMANCE CRITERIA.



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MECHANICAL/PLUMBING ENGINEER:
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ELECTRICAL ENGINEER:
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Project Information:

22054

MHA - MERCURY
HOUSING PHASE I
415 NORTH MAPLE ST.
MURFREESBORO, TN 37130

Consultant:

Table with 2 columns: #, ISSUED BY, DATE. Lists revision history.

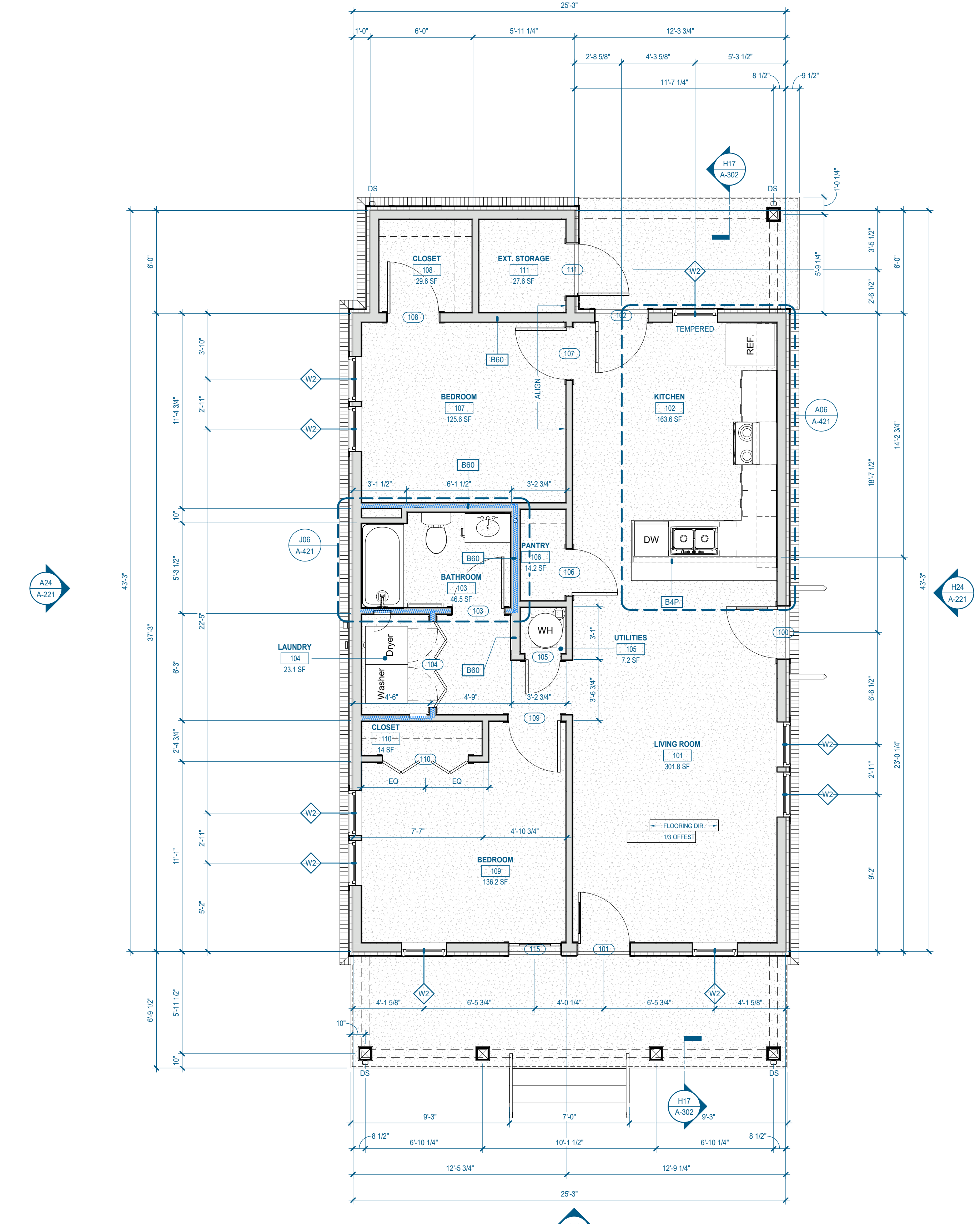
Issue Date: MAY 11, 2023
PIC: M. BUTLER
PM: M. BUTLER
PA: G. TAYLOR C. MYERS
Drawn By: Author
Checked By: Project Checked By

Sheet Information:

A-121

2.1.B - FLOOR PLAN

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A13 1st Floor Plan
1/4" = 1'-0" | A-121

6/30/2023 1:59:56 PM



### RCP GENERAL NOTES

- REFER TO DRAWINGS AND RCP LEGEND FOR CEILING HEIGHT AND MATERIAL.
  - ALL CEILINGS TO BE ATTACHED TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
  - ALL GYPSUM BOARD SOFFITS AND CEILING HEIGHTS INDICATED SHALL BE MEASURED FROM BOTTOM FACE OF GYPSUM BOARD ABOVE FINISH FLOOR.
- FOR CEILING FINISHES, REFER TO FINISH SCHEDULE.
- SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, NURSE CALL BELL LIGHTS, EXIT SIGNAGE, FIRE ALARM DEVICES, WALL MOUNTED EXIT LIGHTS, ETC.
- LIGHTING FIXTURES ARE DIMENSIONED TO CENTER OF FIXTURE, UNLESS OTHERWISE NOTED.
- IF LOCATION DIMENSIONS ARE NOT INDICATED, FINAL POSITION OF ANYWALL EXPOSED ELEMENTS AND DEVICES SHALL BE COORDINATED WITH ARCHITECT.
- LOCATE ATTIC ACCESS DOOR (AAD) AS INDICATED ON THE DRAWINGS. LOCATE BETWEEN ROOF TRUSSES. PROVIDE BLOCKING AND ATTACHMENTS PER MFR. PROVIDE 4" MIN 3/4" PLYWOOD WALKBOARD ADJACENT TO OPENING. PROVIDE BLOCKING AT PERIMETER OF OPENING AND BELOW WALKBOARD TO MAINTAIN MINIMUM INSULATION DEPTH.
- VERIFY THAT ALL ABOVE-CEILING ELEMENTS FIT IN PLENUM AS INDICATED BEFORE PROCEEDING WITH FRAMING CEILING. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- ALL DEVICES & DEVICE COVERPLATE LOCATED IN GYPSUM BOARD CEILINGS TO BE **WHITE, OR TO MATCH PAINTED CEILING FINISH**.
- THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY RETURN AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- ALL SINGLE LIGHT FIXTURES IN A GIVEN SPACE SHALL BE CENTERED ON THE ROOM OR SPACE, UNLESS NOTED OTHERWISE.
- SUSPENDED CEILING SYSTEMS MUST BE INSTALLED TO COMPLY WITH ASTM C836 AND ASTM E588 SEISMIC CATEGORY D, RISK CATEGORY 11.**
- FOR FURTHER DETAIL & DIMENSIONS SEE FLOOR PLANS AND CEILING DETAILS.

### RCP LEGEND

#### CEILING TYPES

- GYP 1** GYPSUM BOARD CEILING
- GYP 2** MOLD RESISTANT GYPSUM BOARD CEILING
- FCS** FIBER CEMENT SOFFIT PANELS WITH BATTEN AT SEAM

#### CEILING TYPE TAG

- XXX.X** CEILING MATERIAL
- X'-X"** CEILING HEIGHT

#### MECHANICAL SYMBOLS

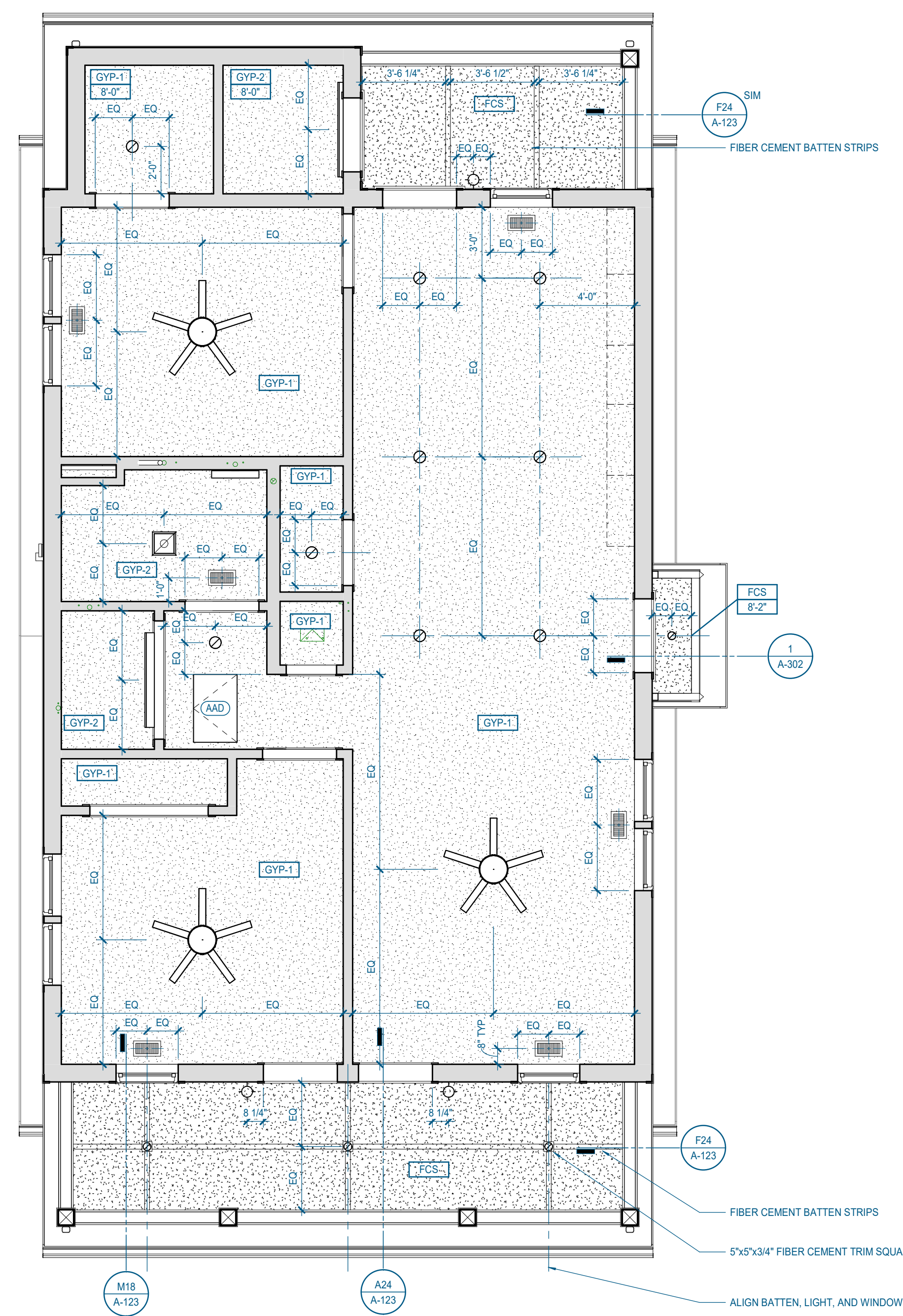
- RETURN AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- SUPPLY AIR CEILING DIFFUSER REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- COMBINATION LIGHT AND EXHAUST FAN, BATHROOMS ONLY.

#### LIGHT FIXTURE SYMBOLS

- 
- 
- COMBINATION LIGHT AND EXHAUST FAN, BATHROOMS ONLY.
- WALL MOUNTED LIGHT, CENTER ABOVE DOOR OR VANITY, UNLESS NOTED OTHERWISE.

#### MISC. SYMBOLS

- 2'x2' NOMINAL ATTIC ACCESS DOOR (AAD) LOCKABLE. LOCATE BETWEEN ROOF TRUSSES - SEE STRUCT. BLOCKING AND ATTACHMENTS PER MFR. PROVIDE 4" MIN 3/4" PLYWOOD WALKBOARD ADJACENT TO DOOR IN ATTIC. PROVIDE FRAMING ABOVE OPENING AND BELOW WALKBOARD TO MAINTAIN REQUIRED INSULATION DEPTH. GRAPHIC LOCATION IS APPROXIMATE. CONTRACTOR TO VERIFY FINAL LOCATION IN THE FIELD.
- CEILING FAN WITH INTEGRATED LIGHT. SWITCH LIGHT AND FAN SEPARATELY.







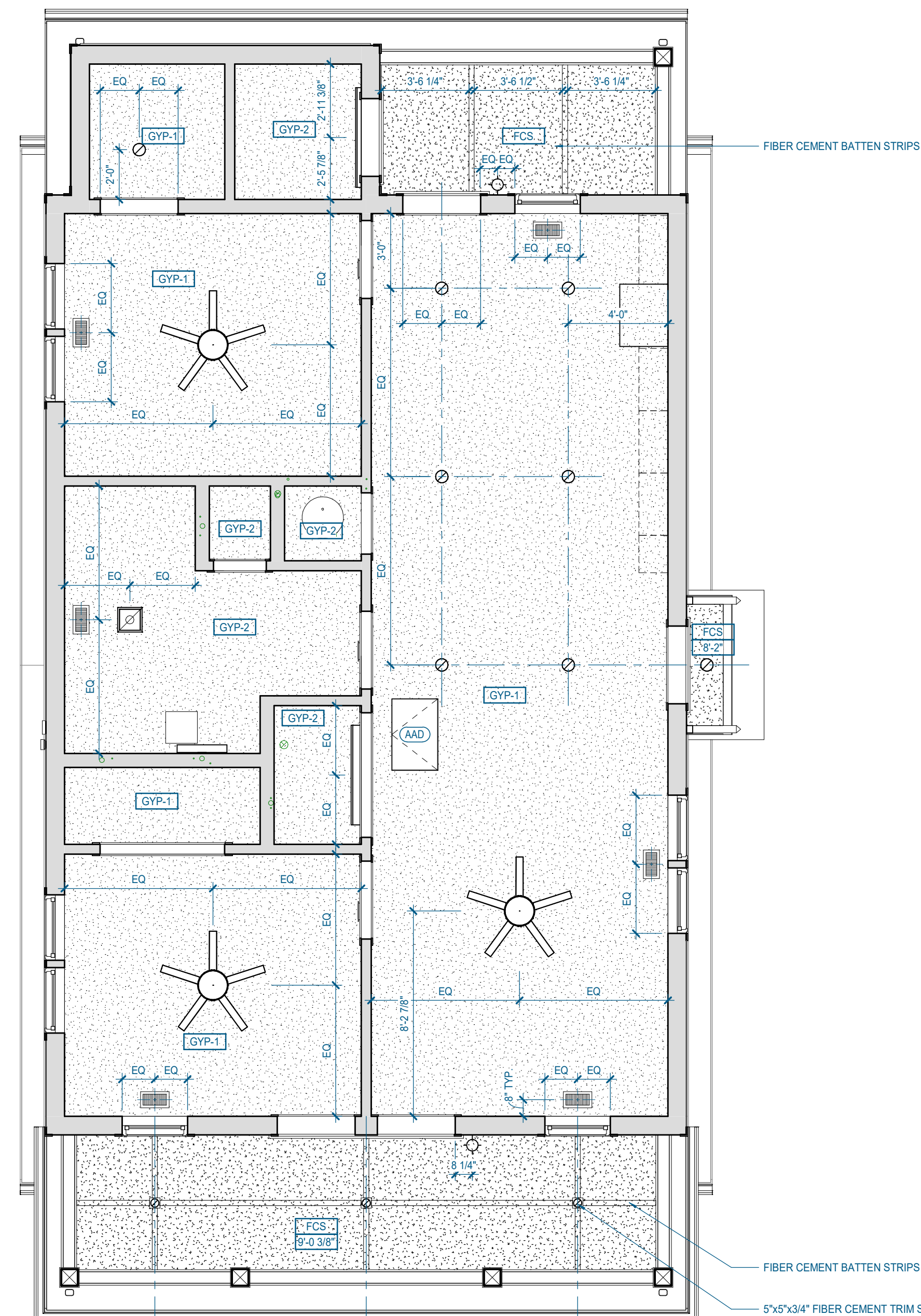


### RCP GENERAL NOTES

- REFER TO DRAWINGS AND RCP LEGEND FOR CEILING HEIGHT AND MATERIAL.
  - ALL CEILINGS TO BE ATTACHED TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
  - ALL GYPSUM BOARD SOFFITS AND CEILING HEIGHTS INDICATED SHALL BE MEASURED FROM BOTTOM FACE OF GYPSUM BOARD ABOVE FINISH FLOOR.
- FOR CEILING FINISHES, REFER TO FINISH SCHEDULE.
- SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, NURSE CALL BELL LIGHTS, EXIT SIGNAGE, FIRE ALARM DEVICES, WALL MOUNTED EXIT LIGHTS, ETC.
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- SUSPENDED CEILING SYSTEMS MUST BE INSTALLED TO COMPLY WITH ASTM C836 AND ASTM E588 SEISMIC CATEGORY D, RISK CATEGORY 11.**
- FOR FURTHER DETAIL & DIMENSIONS SEE FLOOR PLANS AND CEILING DETAILS.

### RCP LEGEND

- CEILING TYPES**
- GYP 1: GYPSUM BOARD CEILING
  - GYP 2: MOLD RESISTANT GYPSUM BOARD CEILING
  - FCS: FIBER CEMENT SOFFIT PANELS WITH BATTEN AT SEAM
- CEILING TYPE TAG**
- XXX.X: CEILING MATERIAL  
X'-X": CEILING HEIGHT
- MECHANICAL SYMBOLS**
- RETURN AIR GRILLE: REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
  - SUPPLY AIR CEILING DIFFUSER: REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
  - COMBINATION LIGHT AND EXHAUST FAN: BATHROOMS ONLY
- LIGHT FIXTURE SYMBOLS**
- 6" RECESSED CAN LIGHT
  - 4" EXTERIOR RECESSED CAN LIGHT
  - COMBINATION LIGHT AND EXHAUST FAN: BATHROOMS ONLY
  - WALL MOUNTED LIGHT, CENTER ABOVE DOOR OR VANITY, UNLESS NOTED OTHERWISE
- MISC. SYMBOLS**
- 2"x2" NOMINAL ATTIC ACCESS DOOR (AAD): LOCKABLE. LOCATE BETWEEN ROOF TRUSSES - SEE STRUCT. BLOCKING AND ATTACHMENTS PER MFR. PROVIDE 4"x4" MIN 5/8" PLYWOOD WALKBOARD ADJACENT TO DOOR IN ATTIC. PROVIDE FRAMING ABOVE OPENING AND BELOW WALKBOARD. TO MAINTAIN REQUIRED INSULATION DEPTH. GRAPHIC LOCATION IS APPROXIMATE. CONTRACTOR TO VERIFY FINAL LOCATION IN THE FIELD.
  - CEILING FAN WITH INTEGRATED LIGHT, SWITCH LIGHT AND FAN SEPARATELY.



**A12** 1st Floor Reflected Ceiling Plan  
1/4" = 1'-0" | A-126





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LANDSCAPE ARCHITECT:  
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Project Information:

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**MHA - MERCURY  
HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

#	ISSUED BY:	DATE
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Issue Date: MAY 11, 2023

PIC M. BUTLER

PM M. BUTLER

PA G. TAYLOR C. MYERS

Drawn By: Author

Checked By: Project Checked By

Sheet Information:

# A-132

2.1.C - RCP

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### RCP GENERAL NOTES

- REFER TO DRAWINGS AND RCP LEGEND FOR CEILING HEIGHT AND MATERIAL.
  - ALL CEILINGS TO BE ATTACHED TO BOTTOM OF STRUCTURE. UNLESS NOTED OTHERWISE.
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- FOR FURTHER DETAIL & DIMENSIONS SEE FLOOR PLANS AND CEILING DETAILS.

### RCP LEGEND

#### CEILING TYPES

- GYP 1 GYPSUM BOARD CEILING
- GYP 2 MOLD RESISTANT GYPSUM BOARD CEILING
- FCS FIBER CEMENT SOFFIT PANELS WITH BATTEN AT SEAM

#### CEILING TYPE TAG

- XXX.X CEILING MATERIAL
- X'-X" CEILING HEIGHT

#### MECHANICAL SYMBOLS

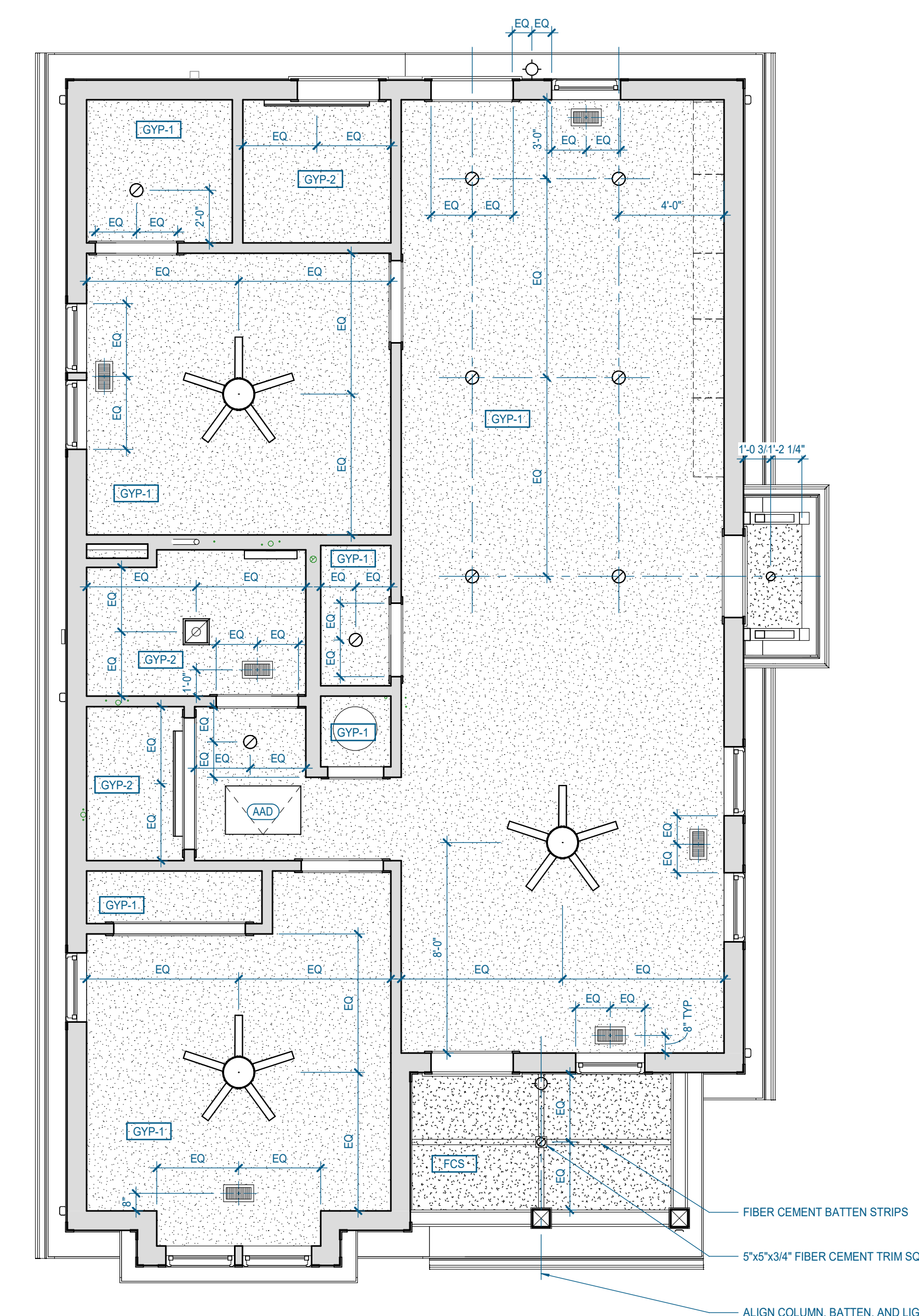
- RETURN AIR GRILLE. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- SUPPLY AIR CEILING DIFFUSER. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- COMBINATION LIGHT AND EXHAUST FAN. BATHROOMS ONLY.

#### LIGHT FIXTURE SYMBOLS

- 
- 
- COMBINATION LIGHT AND EXHAUST FAN. BATHROOMS ONLY.
- WALL MOUNTED LIGHT. CENTER ABOVE DOOR OR VANITY. UNLESS NOTED OTHERWISE.

#### MISC. SYMBOLS

- 2'x2' NOMINAL ATTIC ACCESS DOOR (AAD). LOCKABLE. LOCATE BETWEEN ROOF TRUSSES - SEE STRUCT. BLOCKING AND ATTACHMENTS PER MFR. PROVIDE 4" MIN 2" PLYWOOD WALKBOARD ADJACENT TO DOOR IN ATTIC. PROVIDE FRAMING ABOVE OPENING AND BELOW WALKBOARD TO MAINTAIN REQUIRED INSULATION DEPTH. GRAPHIC LOCATION IS APPROXIMATE. CONTRACTOR TO VERIFY FINAL LOCATION IN THE FIELD.
- CEILING FAN WITH INTEGRATED LIGHT. SWITCH LIGHT AND FAN SEPARATELY.



**A12** 1st Floor Reflected Ceiling Plan  
1/4" = 1'-0" | A-132

Consultants:

CIVIL ENGINEER:  
**SITE ENGINEERING CONSULTANTS, INC.**  
850 MIDDLE TN BLVD.  
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1.615.890.7901

LANDSCAPE ARCHITECT:  
**RAGAN SMITH**

STRUCTURAL ENGINEER:  
**HAINES STRUCTURAL GROUP**

MECHANICAL/PLUMBING ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

ELECTRICAL ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

MECHANICAL/PLUMBING ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

ELECTRICAL ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

MECHANICAL/PLUMBING ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

ELECTRICAL ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

MECHANICAL/PLUMBING ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

Project Information:

22054

### MHA - MERCURY HOUSING PHASE I

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130

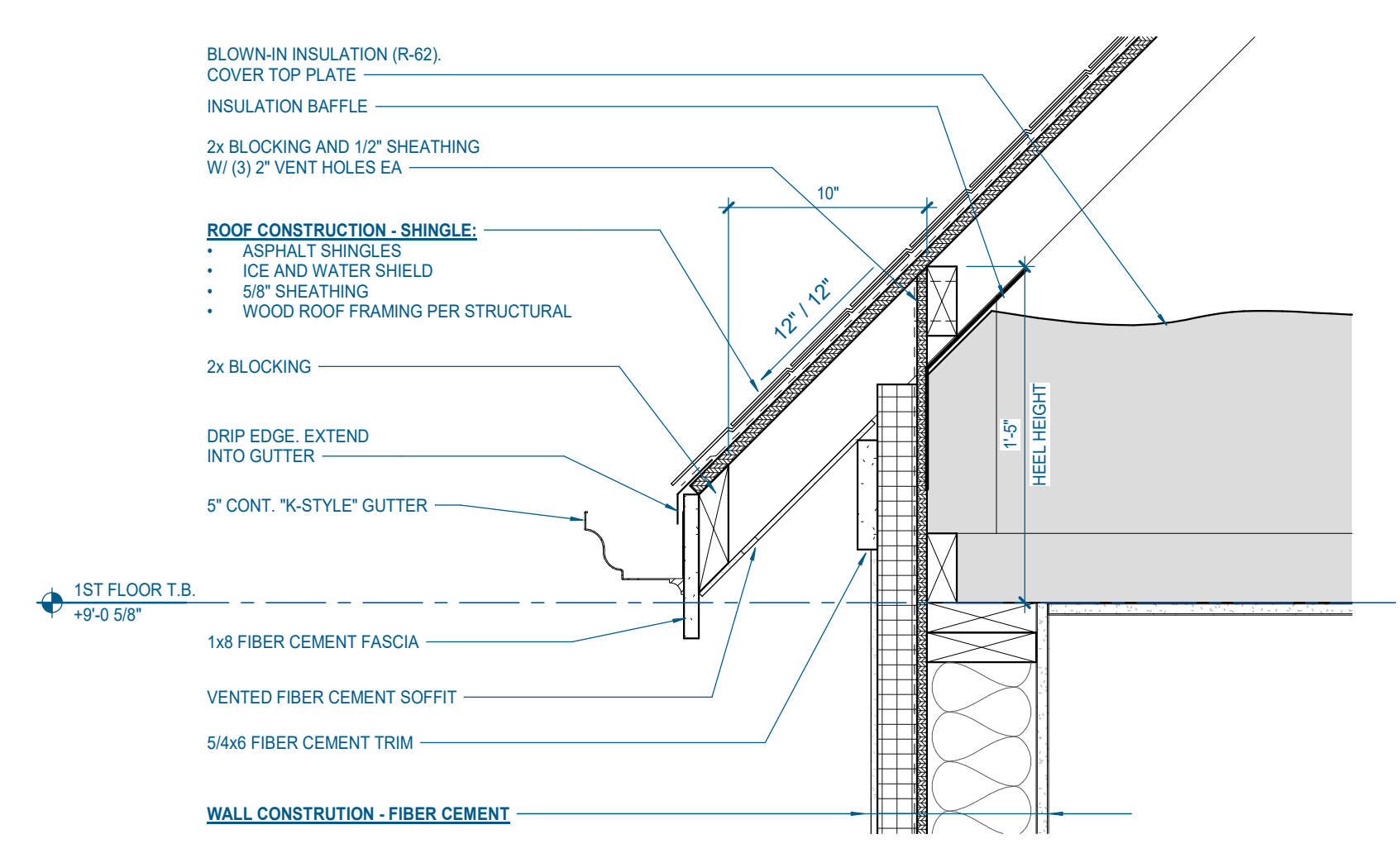


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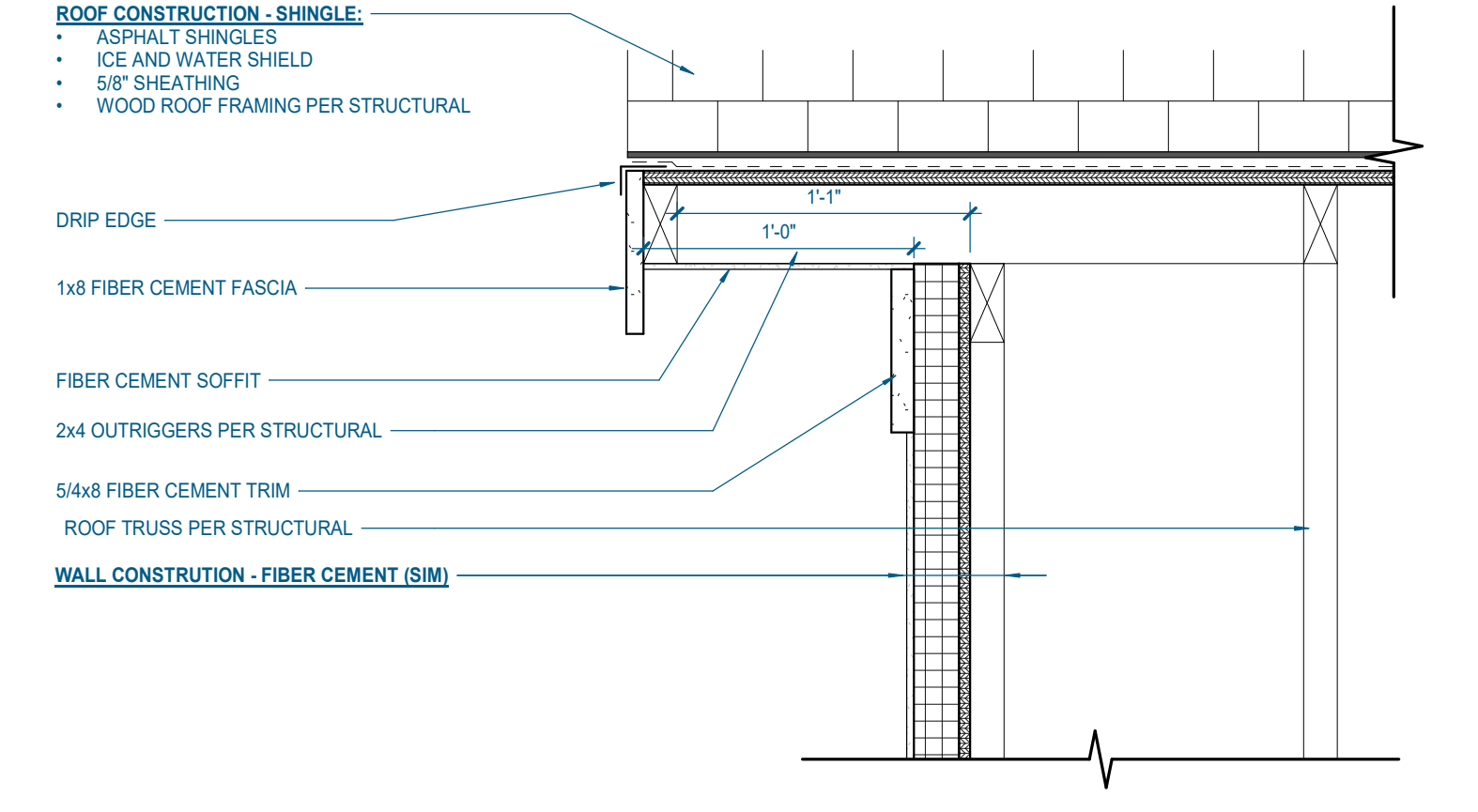
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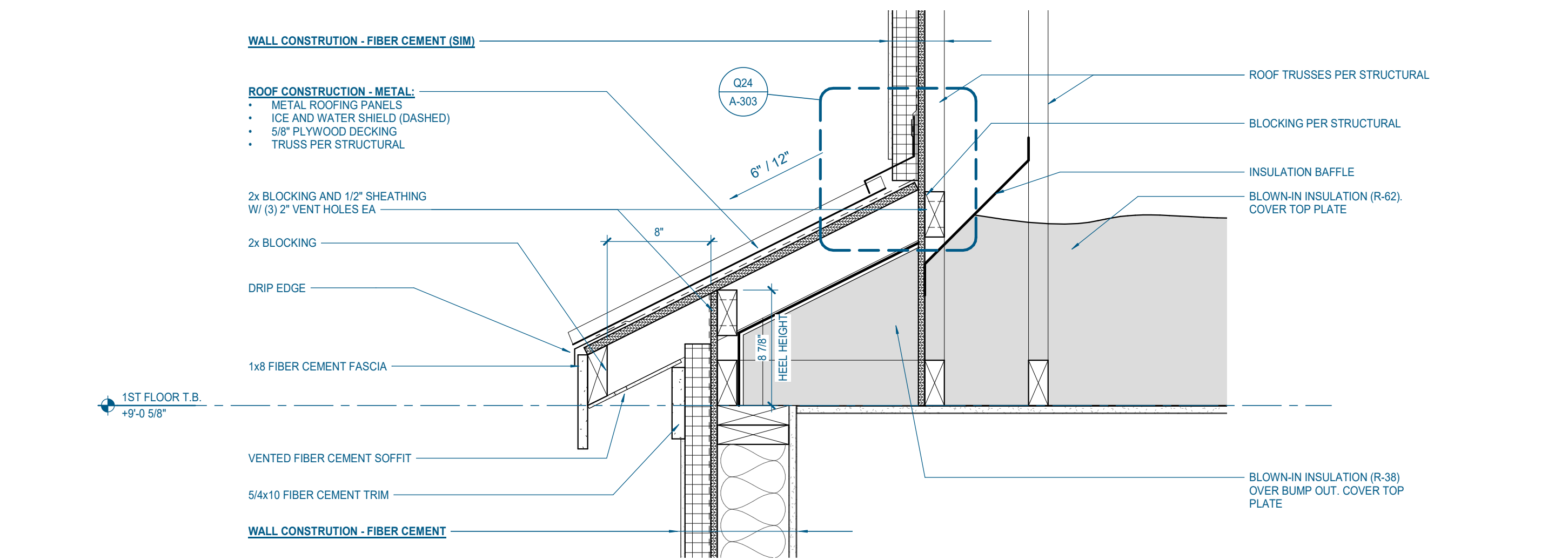
### 2.1.C - ROOF PLAN AND DETAILS



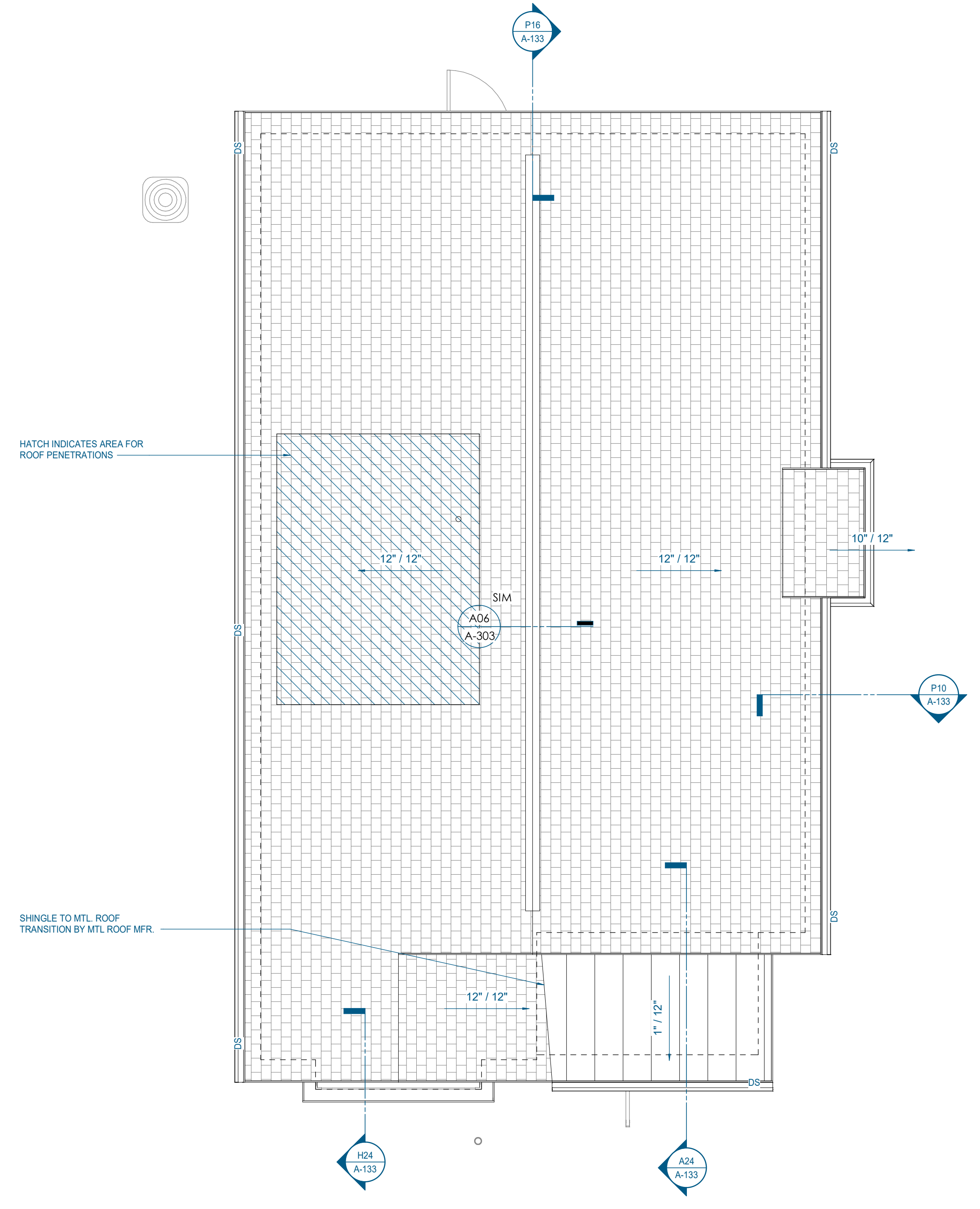
**P10** 2.1.C - TYPICAL EAVE SECTION  
1 1/2" = 1'-0" | A-133



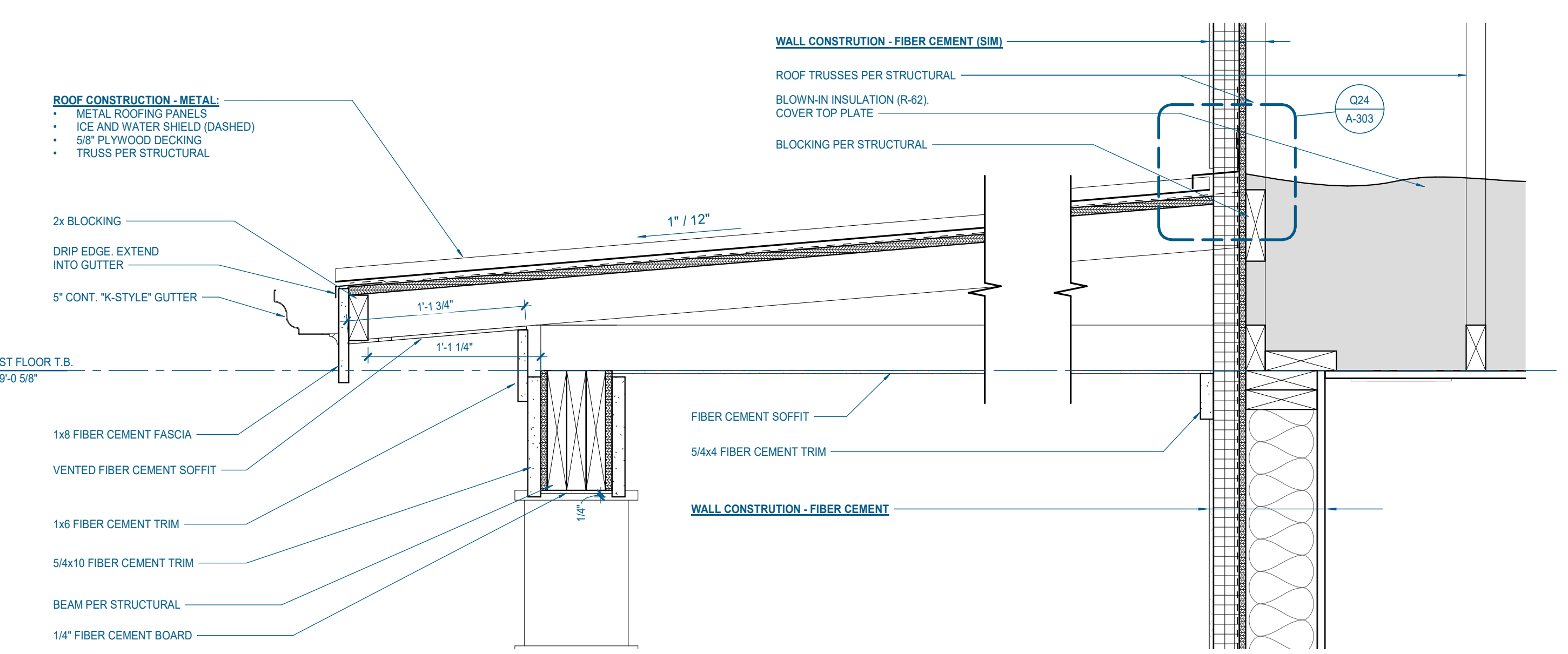
**P16** 2.1.C - TYPICAL RAKE SECTION  
1 1/2" = 1'-0" | A-133



**H24** 2.1.C - EAVE SECTION @ BAY WINDOW  
1 1/2" = 1'-0" | A-133



**A13** 2.1.C - ROOF PLAN  
1/4" = 1'-0" | A-133



**A24** 2.1.C - PORCH SECTION  
1 1/2" = 1'-0" | A-133

#### ROOF PLAN GENERAL NOTES

- ARROWS INDICATE DIRECTION OF DOWNWARD ROOF SLOPE.
- ICE AND WATER SHIELD:
  - A. 24" MINIMUM FROM INSIDE OF EXT. WALL AT ALL SHINGLE ROOFS OR 36" FROM ROOF EDGE, WHICHEVER IS GREATER
  - B. FULL ROOF AREA UNDER ALL METAL ROOFS
- SEE A300 FOR ROOF MATERIAL AND COLOR.
- LOCATE DOWNSPOUTS PER PLANS. ALL DOWNSPOUTS TO BE 3" x 4"
- ALL GUTTERS TO BE 5" SLOPE GUTTER TO DOWNSPOUTS @ 1/16" - 1/2" MAX
- REFER TO A300 FOR TYPICAL ROOF DETAILS.
  - A. REFER TO A-301 FOR WALL ASSEMBLIES REFERENCED IN DETAILS.
- REFER TO CIVIL DRAWINGS FOR CONTINUATION OF DOWNSPOUTS.
- COORDINATE ALL PENETRATIONS WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS. ALL PENETRATIONS TO BE ON REAR SIDE (DRAWING PLAN NORTH) UNLESS NOTED OTHERWISE ON DRAWINGS.
  - A. ALL PIPE PENETRATIONS TO BE PAINTED BLACK

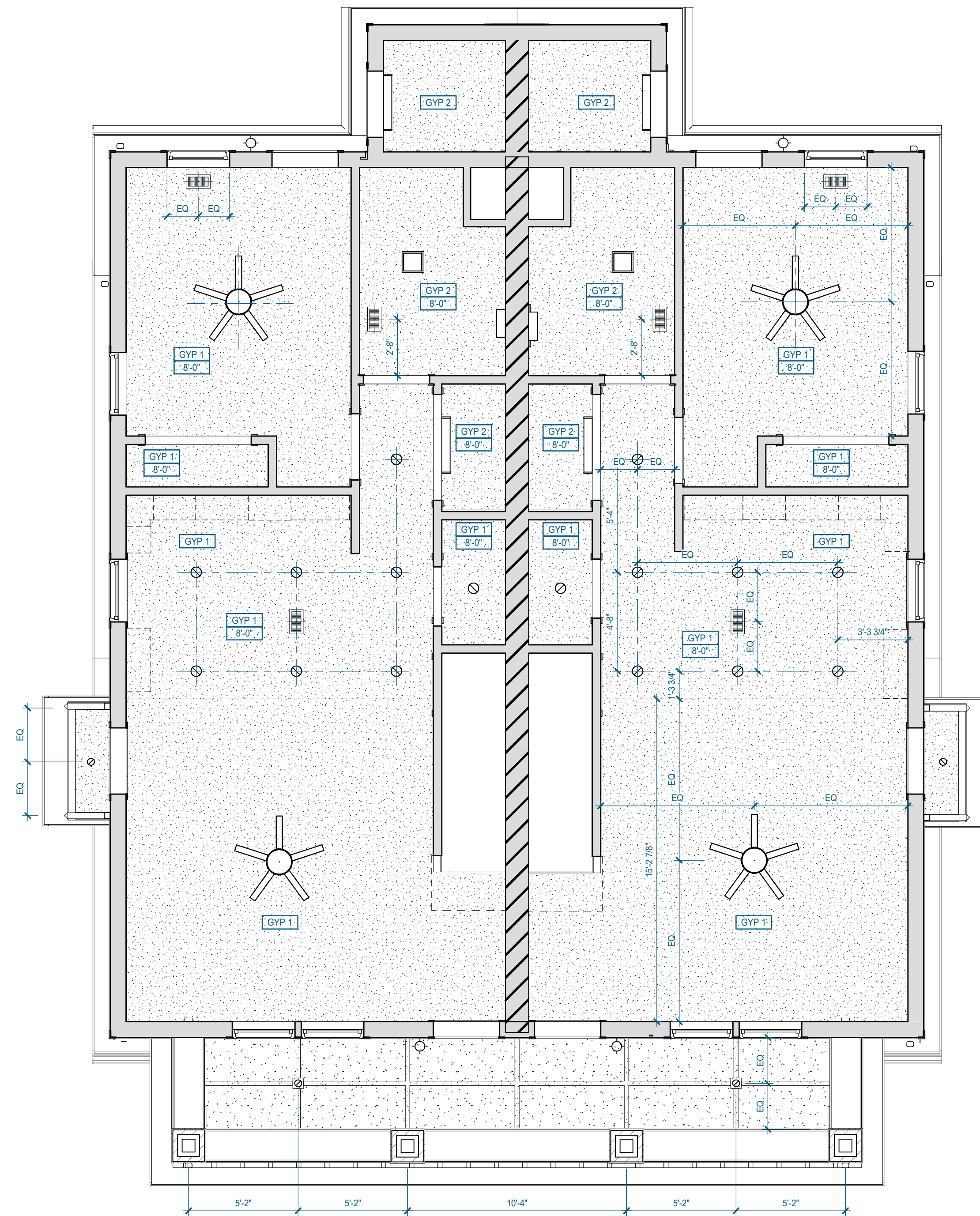
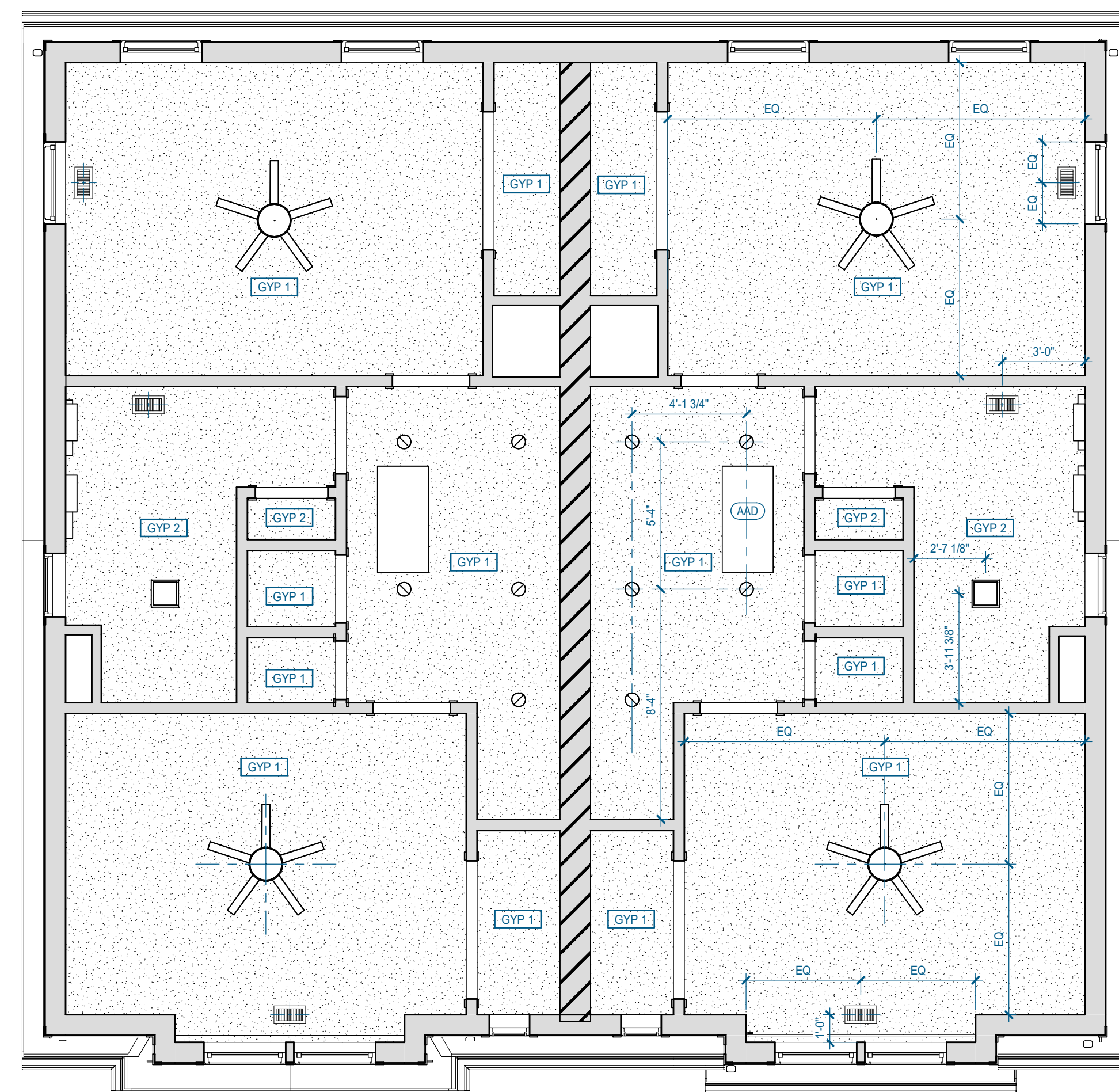


### RCP GENERAL NOTES

- REFER TO DRAWINGS AND RCP LEGEND FOR CEILING HEIGHT AND MATERIAL.
  - ALL CEILINGS TO BE ATTACHED TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
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- FOR CEILING FINISHES, REFER TO FINISH SCHEDULE.
- SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, NURSE CALL BELL LIGHTS, EXIT SIGNAGE, FIRE ALARM DEVICES, WALL MOUNTED EXIT LIGHTS, ETC.
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- FOR FURTHER DETAIL & DIMENSIONS SEE FLOOR PLANS AND CEILING DETAILS.

### RCP LEGEND

- CEILING TYPES**
- GYP 1 GYPSUM BOARD CEILING
  - GYP 2 MOLD RESISTANT GYPSUM BOARD CEILING
  - FCS FIBER CEMENT SOFFIT PANELS WITH BATTEN AT SEAM
- CEILING TYPE TAG**
- XXXX-X  
X'-X"
- MECHANICAL SYMBOLS**
- RETURN AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
  - SUPPLY AIR CEILING DIFFUSER REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
  - COMBINATION LIGHT AND EXHAUST FAN BATHROOMS ONLY
- LIGHT FIXTURE SYMBOLS**
- 6" RECESSED CAN LIGHT
  - 4" EXTERIOR RECESSED CAN LIGHT
  - COMBINATION LIGHT AND EXHAUST FAN BATHROOMS ONLY
  - WALL MOUNTED LIGHT, CENTER ABOVE DOOR OR VANITY, UNLESS NOTED OTHERWISE
- MISC. SYMBOLS**
- 3/2" NOMINAL ATTIC ACCESS DOOR (AAD) LOCKABLE. LOCATE BETWEEN ROOF TRUSSES - SEE STRUCT. DRAWINGS AND ATTACHMENTS PER MFR. PROVIDE 4"x4" MIN 5/8" PLYWOOD WALKBOARD ADJACENT TO DOOR IN ATTIC. PROVIDE FRAMING ABOVE OPENING AND BELOW WALKBOARD. TO MAINTAIN REQUIRED INSULATION DEPTH. GRAPHIC LOCATION IS APPROXIMATE. CONTRACTOR TO VERIFY FINAL LOCATION IN THE FIELD.
  - CEILING FAN WITH INTEGRATED LIGHT. SWITCH LIGHT AND FAN SEPARATELY.



**A24** 3.2.A - 2ND1ST FLOOR RCP  
1/4" = 1'-0" | A-142

**A13** 3.2.A - 1ST FLOOR RCP  
1/4" = 1'-0" | A-142

Project Information:  
**22054**

**MHA - MERCURY HOUSING PHASE I**  
415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

# ISSUED BY: DATE

Issue Date: MAY 11, 2023  
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PA G. TAYLOR C. MYERS  
Drawn By: Author  
Checked By: Project Checked By

Sheet Information:

**A-142**

3.2.A - RCP

## ROOF PLAN GENERAL NOTES

- ARROWS INDICATE DIRECTION OF DOWNWARD ROOF SLOPE.
- ICE AND WATER SHIELD:
  - A. 24" MINIMUM FROM INSIDE OF EXT. WALL AT ALL SHINGLE ROOFS OR 36" FROM ROOF EDGE, WHICHEVER IS GREATER.
  - B. FULL ROOF AREA UNDER ALL METAL ROOFS.
- SEE AS200 FOR ROOF MATERIAL AND COLOR.
- LOCATE DOWNSPOUTS PER PLANS. ALL DOWNSPOUTS TO BE 3"x4".
- ALL GUTTERS TO BE 5" SLOPE GUTTER TO DOWNSPOUTS @ 1/16"=12" MAX.
- REFER TO A300A FOR TYPICAL ROOF DETAILS.
  - A. REFER TO A-301 FOR WALL ASSEMBLIES REFERENCED IN DETAILS.
- REFER TO CIVIL DRAWINGS FOR CONTINUATION OF DOWNSPOUTS.
- COORDINATE ALL PENETRATIONS WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS. ALL PENETRATIONS TO BE ON REAR SIDE (DRAWING PLAN NORTH) UNLESS NOTED OTHERWISE ON DRAWINGS. ALL PIPE PENETRATIONS TO BE PAINTED BLACK.

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**SITE ENGINEERING CONSULTANTS, INC.**  
850 MIDDLE TN BLVD.  
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1.615.890.7901

**LANDSCAPE ARCHITECT:**  
**RAGAN SMITH**

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**STRUCTURAL ENGINEER:**  
**HAINES STRUCTURAL GROUP**

800 SOUTH GAY ST., STE 1625  
KNOXVILLE, TN 37902  
1.865.329.9920

**MECHANICAL/PLUMBING ENGINEER:**  
**FACILITY SYSTEMS CONSULTANTS, LLC**

713 SOUTH CENTRAL STREET, STE 101  
KNOXVILLE, TN 37902  
1.865.248.0164

**ELECTRICAL ENGINEER:**  
**FACILITY SYSTEMS CONSULTANTS, LLC**

713 SOUTH CENTRAL STREET, STE 101  
KNOXVILLE, TN 37902  
1.865.248.0164

Project Information:

22054

**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

#	ISSUED BY:	DATE

Issue Date: MAY 11, 2023

PIC: M. BUTLER

PM: M. BUTLER

PA: G. TAYLOR C. MYERS

Drawn By: Author

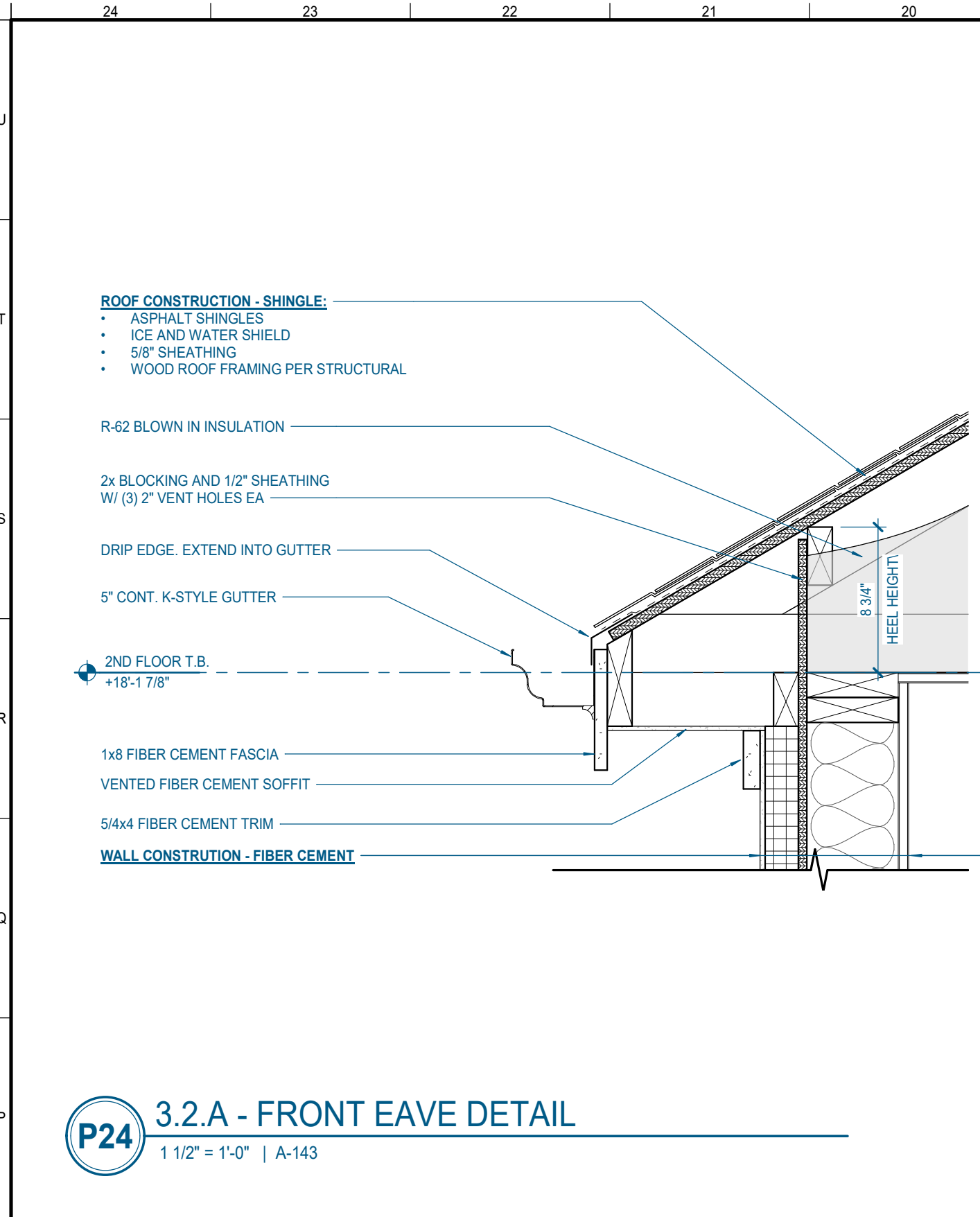
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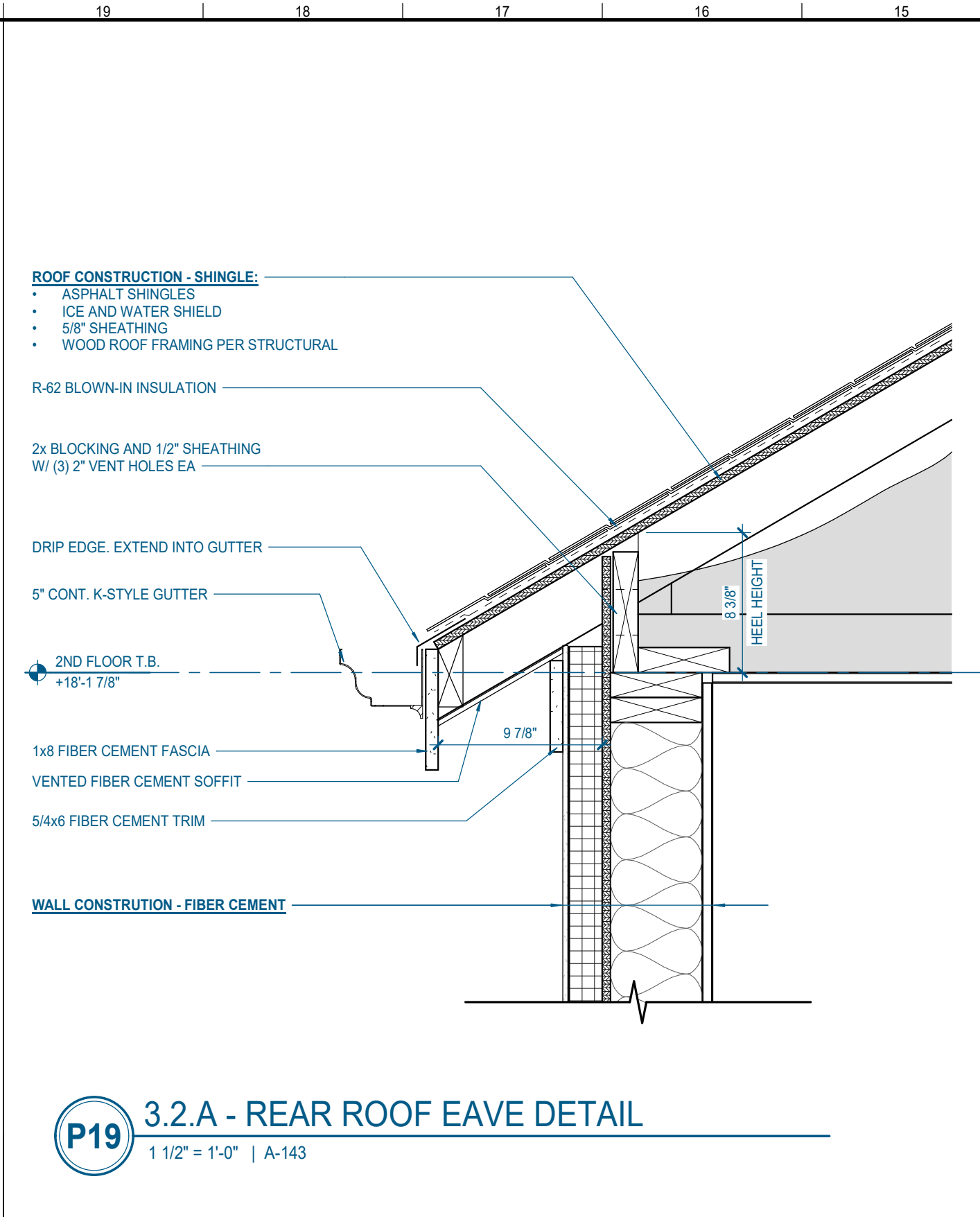
**A-143**

3.2.A & 3.2.A(u) - ROOF PLAN AND DETAILS

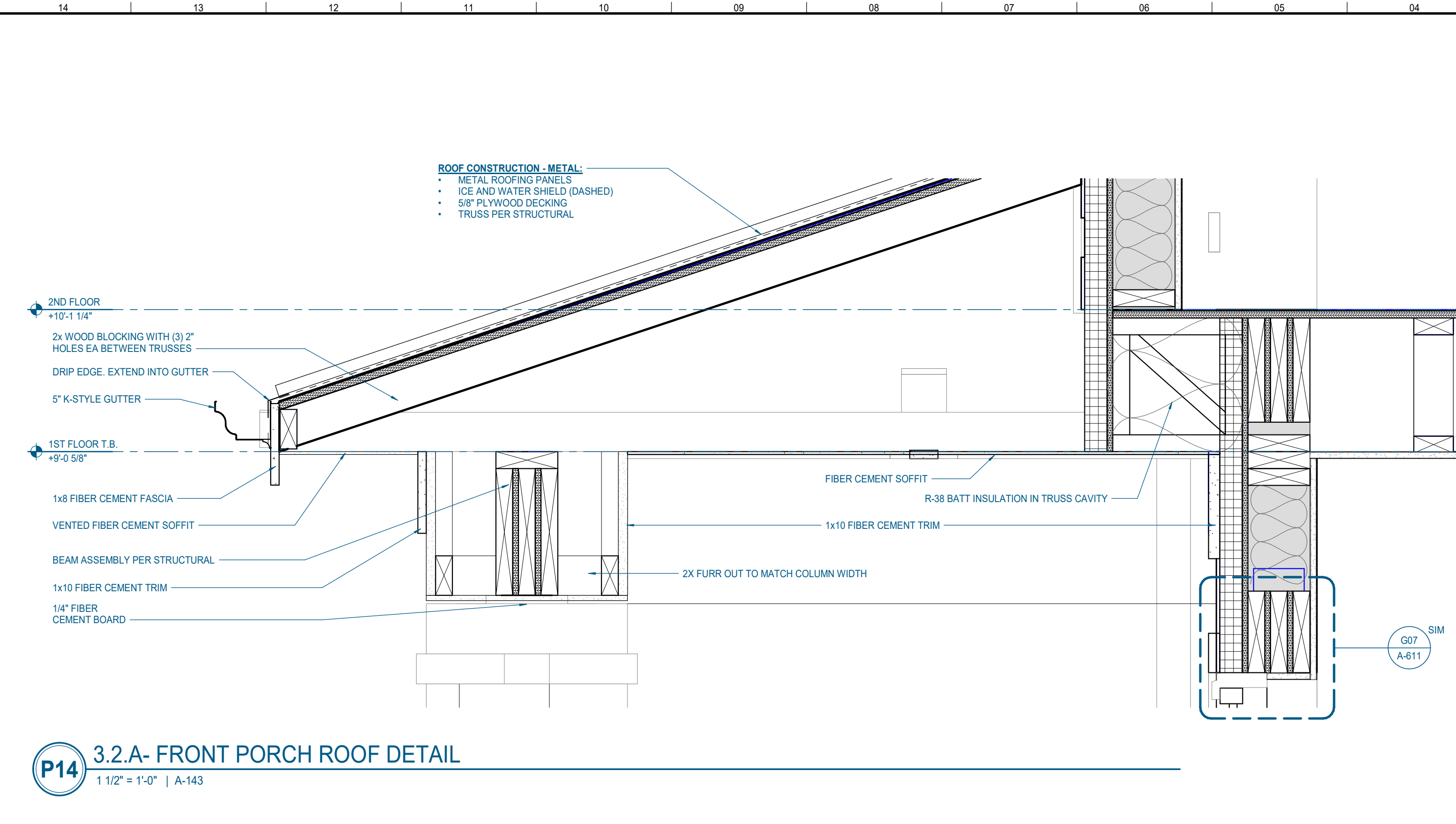
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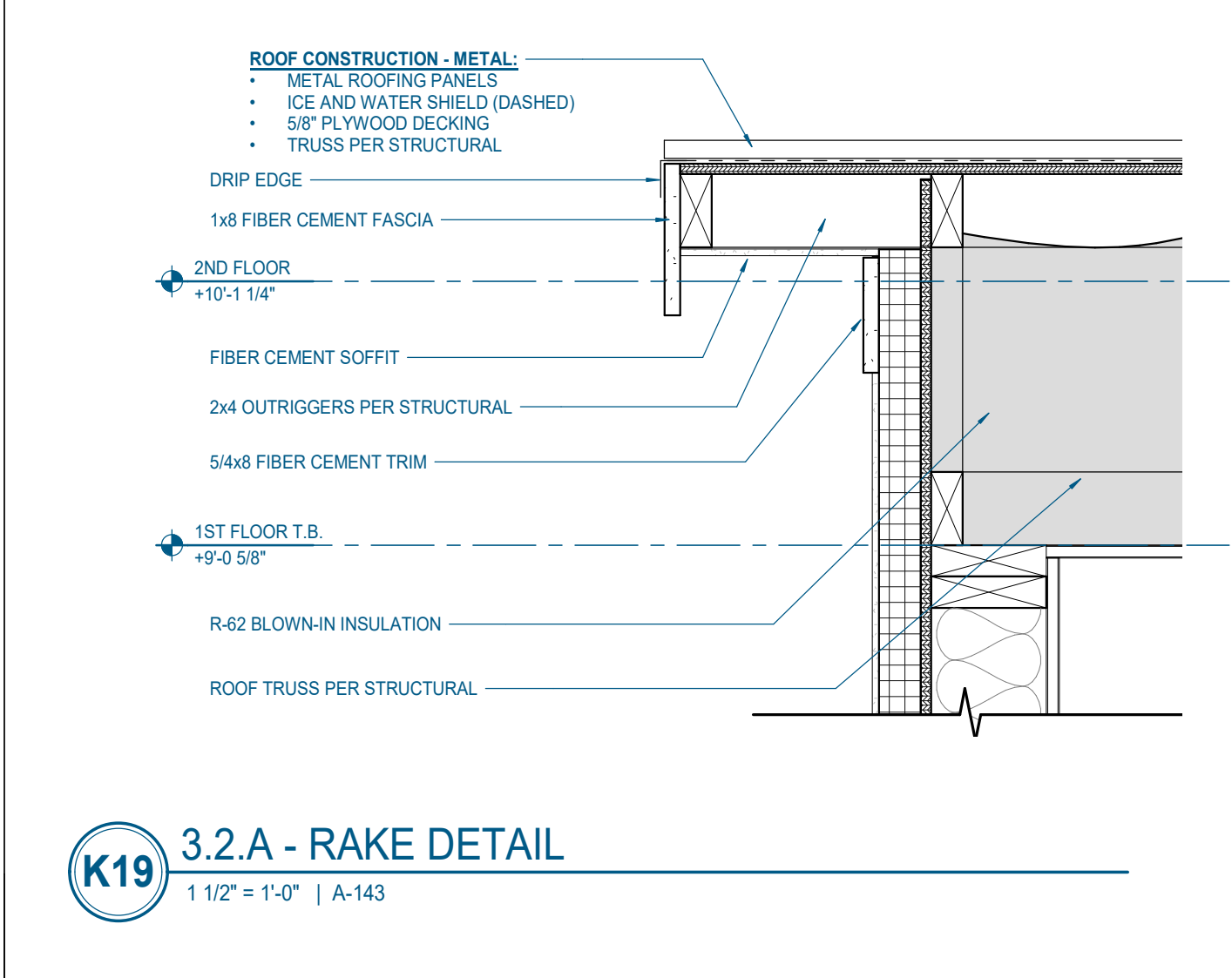
**P24** 3.2.A - FRONT EAVE DETAIL  
1 1/2" = 1'-0" | A-143



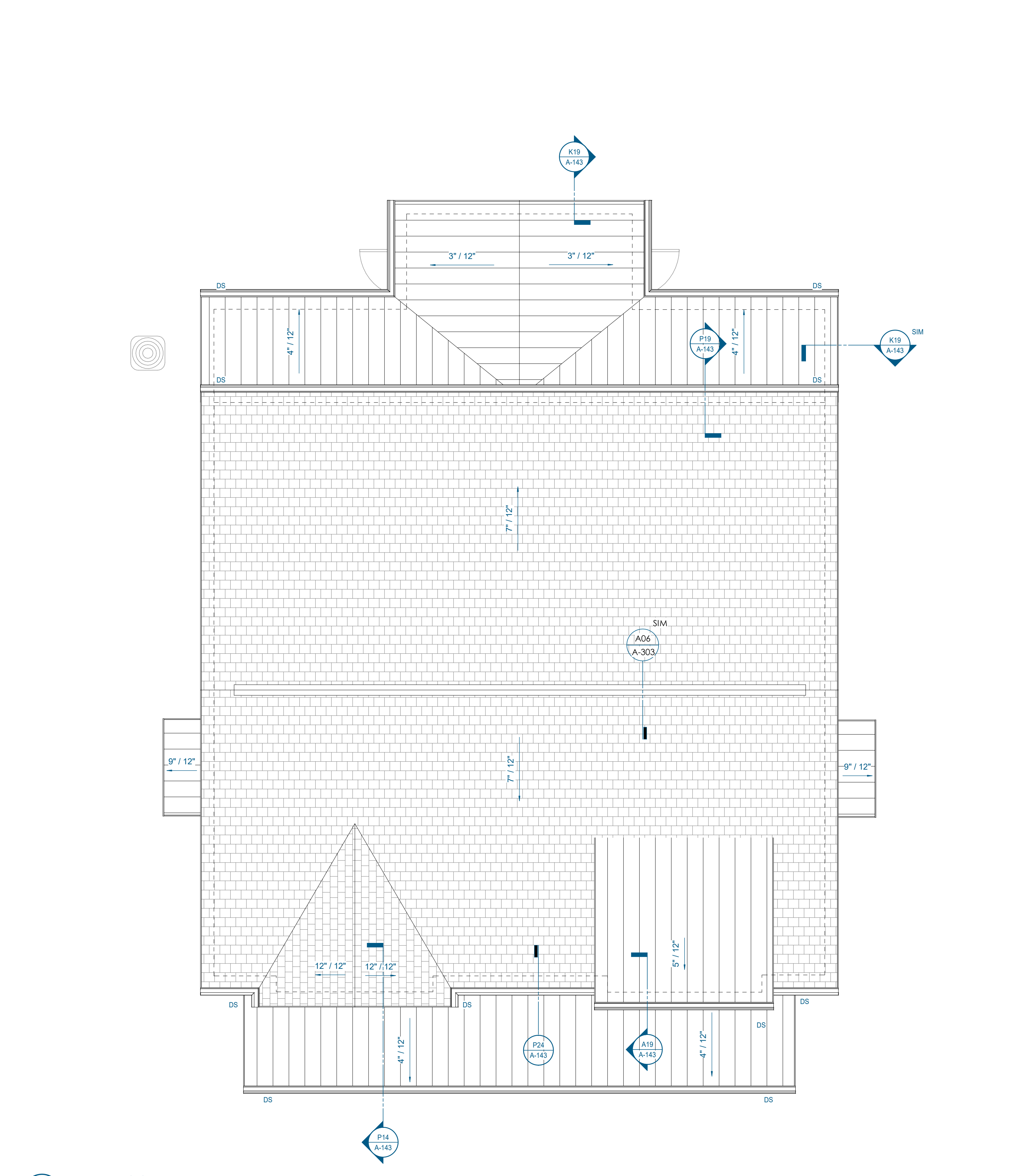
**P19** 3.2.A - REAR ROOF EAVE DETAIL  
1 1/2" = 1'-0" | A-143



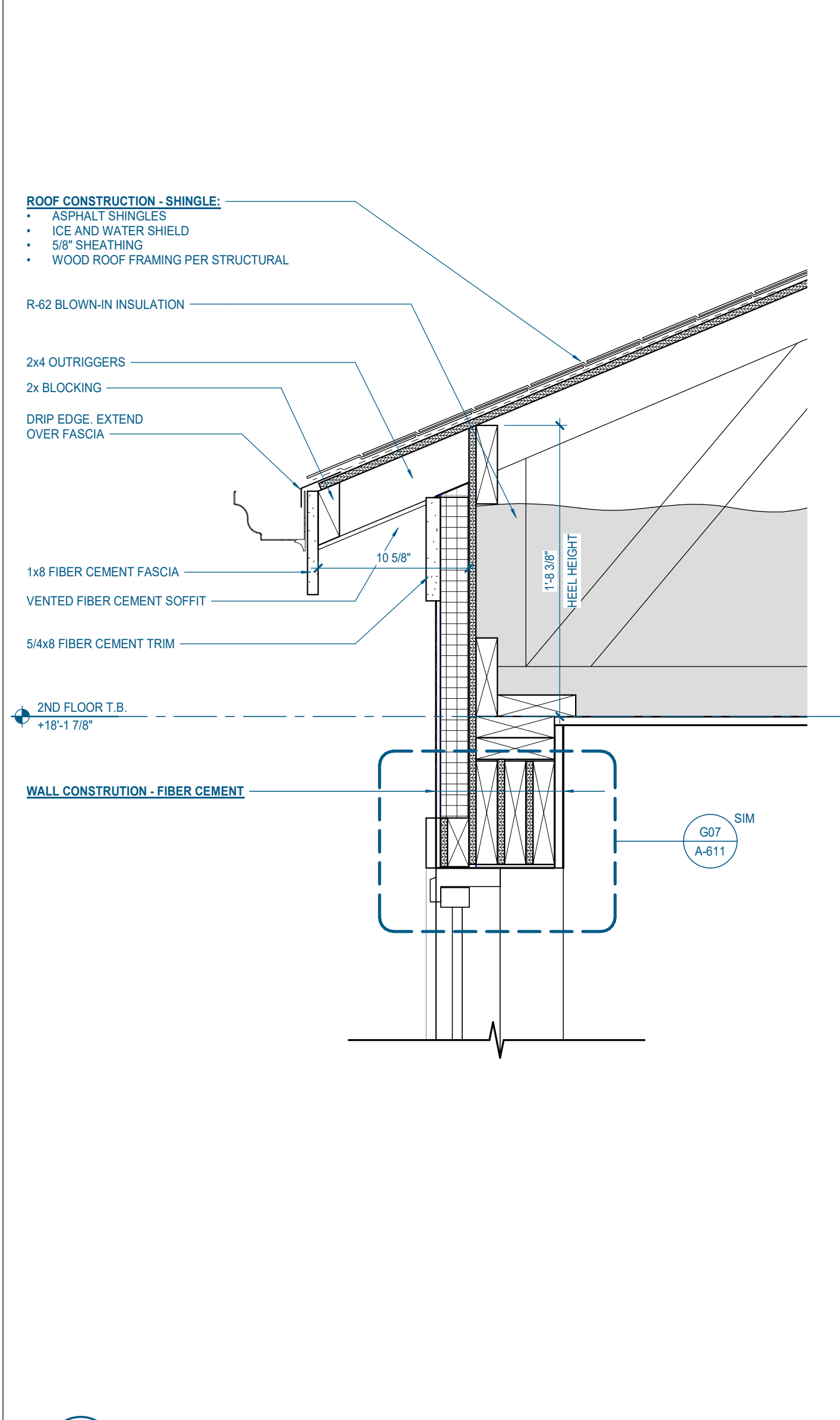
**P14** 3.2.A - FRONT PORCH ROOF DETAIL  
1 1/2" = 1'-0" | A-143



**K19** 3.2.A - RAKE DETAIL  
1 1/2" = 1'-0" | A-143



**A14** 3.2.A - ROOF PLAN  
1/4" = 1'-0" | A-143



**A19** 3.2.A - SHED ROOF DETAIL  
1 1/2" = 1'-0" | A-143





### RCP GENERAL NOTES

- REFER TO DRAWINGS AND RCP LEGEND FOR CEILING HEIGHT AND MATERIAL.
  - ALL CEILINGS TO BE ATTACHED TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
  - ALL GYPSUM BOARD SOFFITS AND CEILING HEIGHTS INDICATED SHALL BE MEASURED FROM BOTTOM FACE OF GYPSUM BOARD ABOVE FINISH FLOOR.
- FOR CEILING FINISHES, REFER TO FINISH SCHEDULE.
- SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, NURSE CALL BELL LIGHTS, EXIT SIGNAGE, FIRE ALARM DEVICES, WALL MOUNTED EXIT LIGHTS, ETC.
- LIGHTING FIXTURES ARE DIMENSIONED TO CENTER OF FIXTURE, UNLESS OTHERWISE NOTED.
- IF LOCATION DIMENSIONS ARE NOT INDICATED, FINAL POSITION OF ANYWALL EXPOSED ELEMENTS AND DEVICES SHALL BE COORDINATED WITH ARCHITECT.
- LOCATE ATTIC ACCESS DOOR (AAD) AS INDICATED ON THE DRAWINGS. LOCATE BETWEEN ROOF TRUSSES. PROVIDE BLOCKING AND ATTACHMENTS PER MFR. PROVIDE 4"x4" MIN 5/8" PLYWOOD WALKBOARD ADJACENT TO OPENING. PROVIDE BLOCKING AT PERIMETER OF OPENING AND BELOW WALKBOARD TO MAINTAIN MINIMUM INSULATION DEPTH.
- VERIFY THAT ALL ABOVE-CEILING ELEMENTS FIT IN PLENUM AS INDICATED BEFORE PROCEEDING WITH FRAMING CEILING. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- ALL DEVICES & DEVICE COVERPLATE LOCATED IN GYPSUM BOARD CEILINGS TO BE WHITE, OR TO MATCH PAINTED CEILING FINISH.
- THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY RETURN AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- ALL SINGLE LIGHT FIXTURES IN A GIVEN SPACE SHALL BE CENTERED ON THE ROOM OR SPACE, UNLESS NOTED OTHERWISE.
- SUSPENDED CEILING SYSTEMS MUST BE INSTALLED TO COMPLY WITH ASTM C836 AND ASTM E586 SEISMIC CATEGORY D, RISK CATEGORY 11.**
- FOR FURTHER DETAIL & DIMENSIONS SEE FLOOR PLANS AND CEILING DETAILS.

### RCP LEGEND

#### CEILING TYPES

- GYP 1 GYPSUM BOARD CEILING
- GYP 2 MOLD RESISTANT GYPSUM BOARD CEILING
- FCS FIBER CEMENT SOFFIT PANELS WITH BATTEN AT SEAM

#### CEILING TYPE TAG

- XXX-X CEILING MATERIAL
- X'-X" CEILING HEIGHT

#### MECHANICAL SYMBOLS

- RETURN AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- SUPPLY AIR CEILING DIFFUSER REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- COMBINATION LIGHT AND EXHAUST FAN, BATHROOMS ONLY.

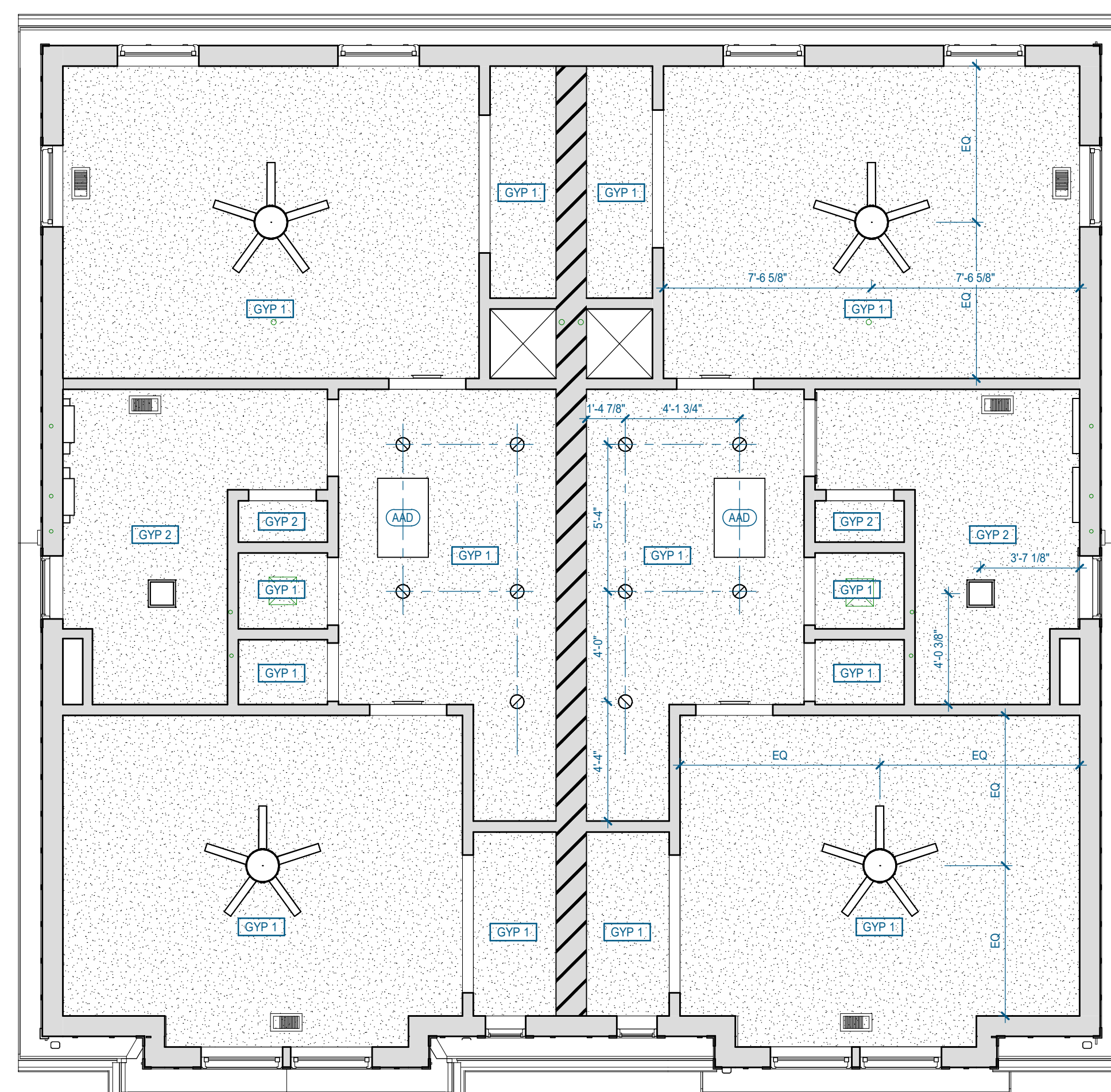
#### LIGHT FIXTURE SYMBOLS

- 6" RECESSED CAN LIGHT
- 4" EXTERIOR RECESSED CAN LIGHT
- COMBINATION LIGHT AND EXHAUST FAN, BATHROOMS ONLY.
- WALL MOUNTED LIGHT, CENTER ABOVE DOOR OR VANITY, UNLESS NOTED OTHERWISE.

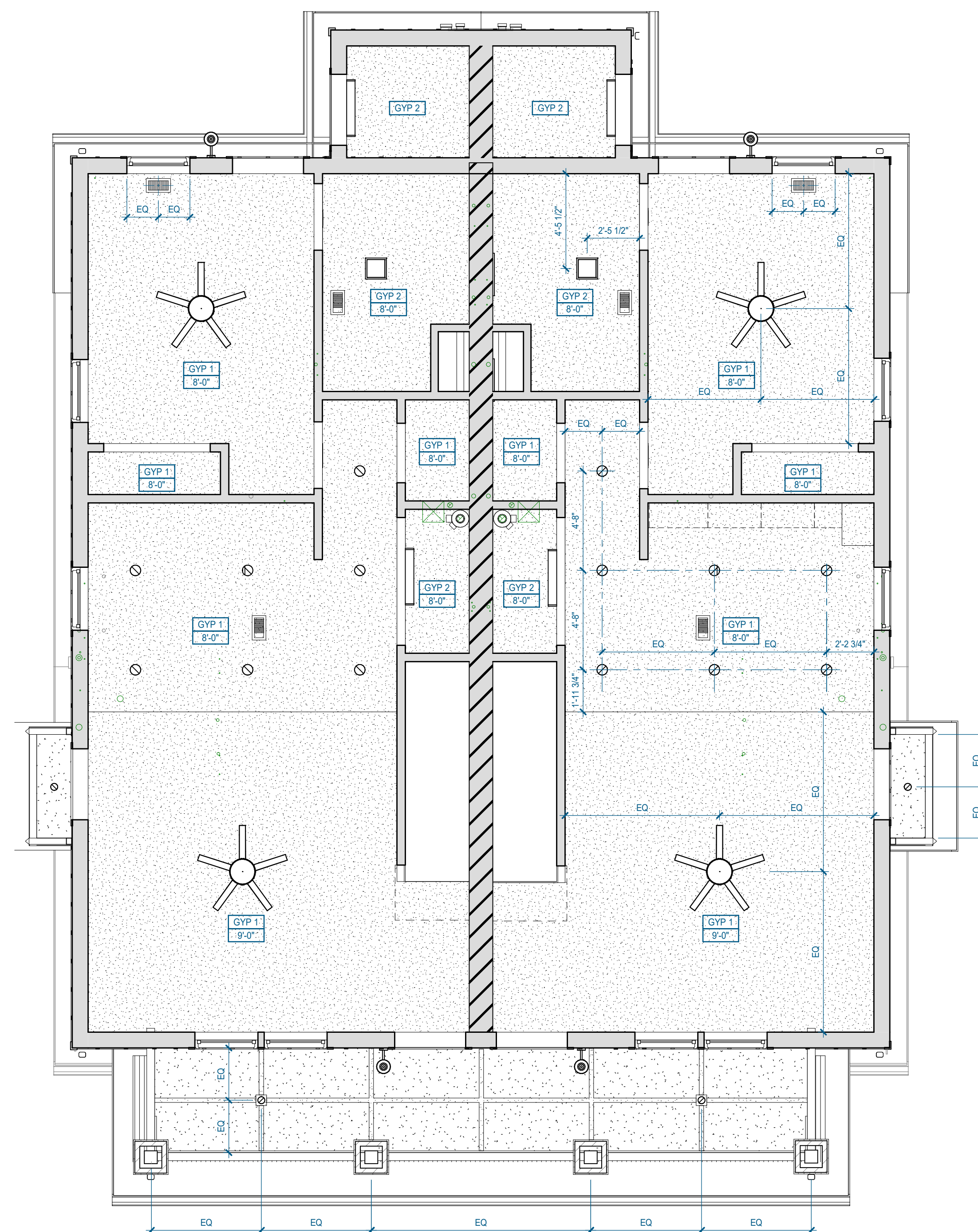
#### MISC. SYMBOLS

- 3/2" NOMINAL ATTIC ACCESS DOOR (AAD), LOCKABLE. LOCATE BETWEEN ROOF TRUSSES - SEE STRUCT. BLOCKING AND ATTACHMENTS PER MFR. PROVIDE 4"x4" MIN 5/8" PLYWOOD WALKBOARD ADJACENT TO DOOR IN ATTIC. PROVIDE FRAMING ABOVE OPENING AND BELOW WALKBOARD. TO MAINTAIN REQUIRED INSULATION DEPTH. GRAPHIC LOCATION IS APPROXIMATE. CONTRACTOR TO VERIFY FINAL LOCATION IN THE FIELD.

- CEILING FAN WITH INTEGRATED LIGHT, SWITCH LIGHT AND FAN SEPARATELY.



**A24** 3.2.A(u) - 2ND FLOOR RCP  
1/4" = 1'-0" | A-146



**A13** 3.2.A(u) - 1ST FLOOR RCP  
1/4" = 1'-0" | A-146





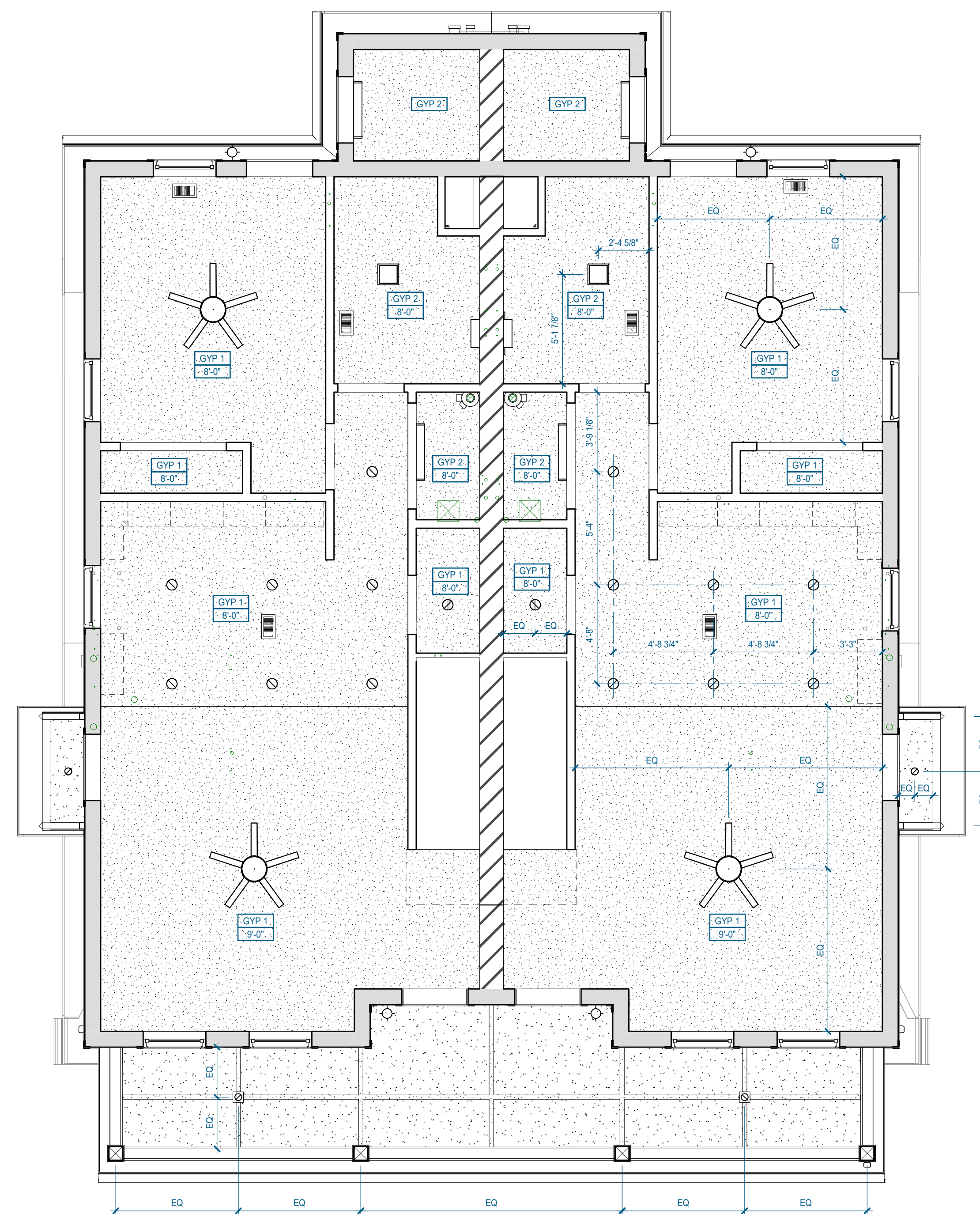
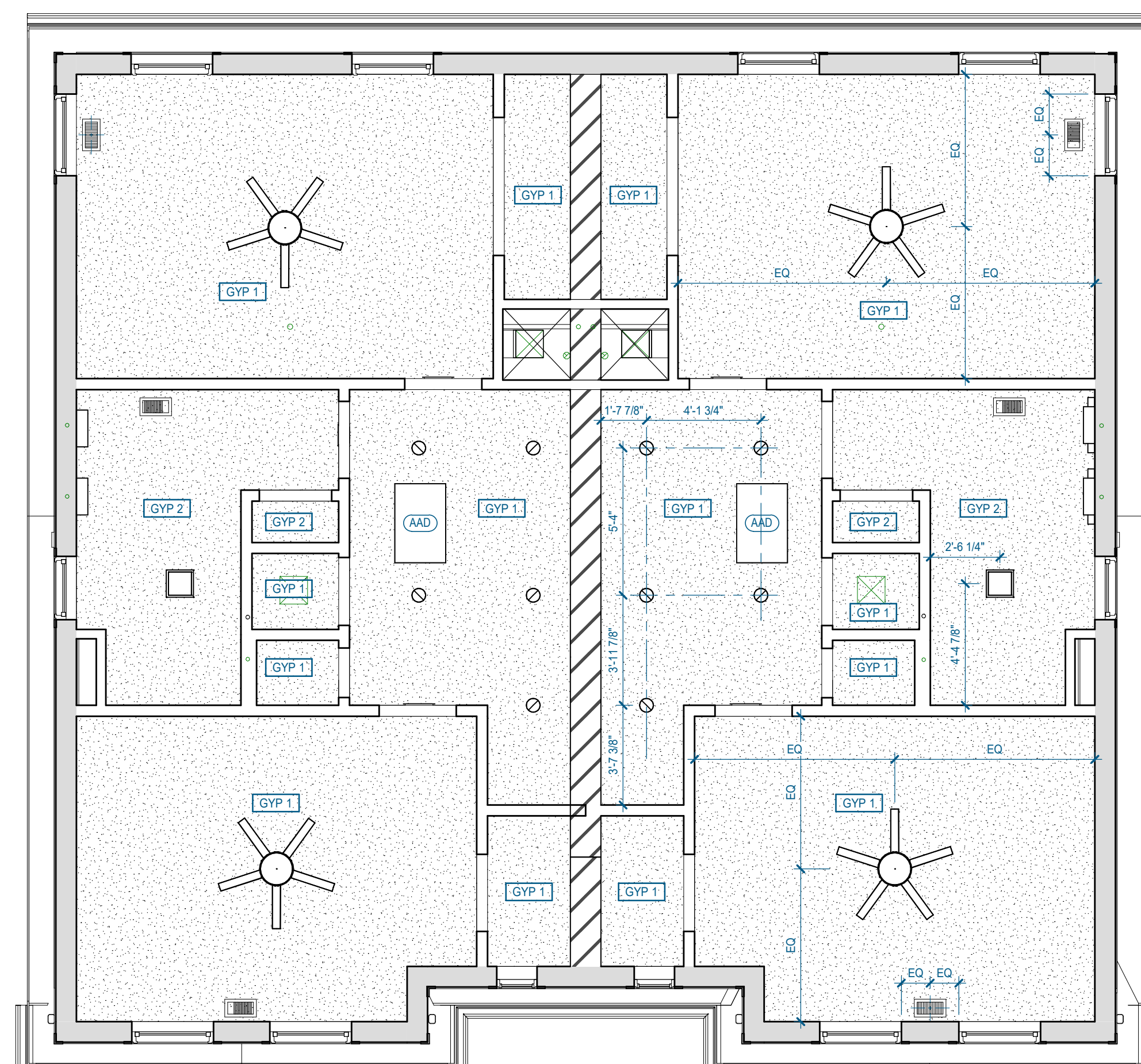


### RCP GENERAL NOTES

- REFER TO DRAWINGS AND RCP LEGEND FOR CEILING HEIGHT AND MATERIAL.
  - ALL CEILINGS TO BE ATTACHED TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
  - ALL GYPSUM BOARD SOFFITS AND CEILING HEIGHTS INDICATED SHALL BE MEASURED FROM BOTTOM FACE OF GYPSUM BOARD ABOVE FINISH FLOOR.
- FOR CEILING FINISHES, REFER TO FINISH SCHEDULE.
- SEE ELECTRICAL DRAWINGS FOR THE LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, NURSE CALL BELL LIGHTS, EXIT SIGNAGE, FIRE ALARM DEVICES, WALL MOUNTED EXIT LIGHTS, ETC.
- LIGHTING FIXTURES ARE DIMENSIONED TO CENTER OF FIXTURE, UNLESS OTHERWISE NOTED.
- IF LOCATION DIMENSIONS ARE NOT INDICATED, FINAL POSITION OF ANYWALL EXPOSED ELEMENTS AND DEVICES SHALL BE COORDINATED WITH ARCHITECT.
- LOCATE ATTIC ACCESS DOOR (AAD) AS INDICATED ON THE DRAWINGS. LOCATE BETWEEN ROOF TRUSSES. PROVIDE BLOCKING AND ATTACHMENTS PER MFR. PROVIDE 4"x4" MIN 5/8" PLYWOOD WALKBOARD ADJACENT TO OPENING. PROVIDE BLOCKING AT PERIMETER OF OPENING AND BELOW WALKBOARD TO MAINTAIN MINIMUM INSULATION DEPTH.
- VERIFY THAT ALL ABOVE-CEILING ELEMENTS FIT IN PLENUM AS INDICATED BEFORE PROCEEDING WITH FRAMING CEILING. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- ALL DEVICES & DEVICE COVERPLATE LOCATED IN GYPSUM BOARD CEILINGS TO BE WHITE, OR TO MATCH PAINTED CEILING FINISH.
- THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN, AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- ALL SINGLE LIGHT FIXTURES IN A GIVEN SPACE SHALL BE CENTERED ON THE ROOM OR SPACE, UNLESS NOTED OTHERWISE.
- SUSPENDED CEILING SYSTEMS MUST BE INSTALLED TO COMPLY WITH ASTM C836 AND ASTM E586 SEISMIC CATEGORY D, RISK CATEGORY 11.**
- FOR FURTHER DETAIL & DIMENSIONS SEE FLOOR PLANS AND CEILING DETAILS.

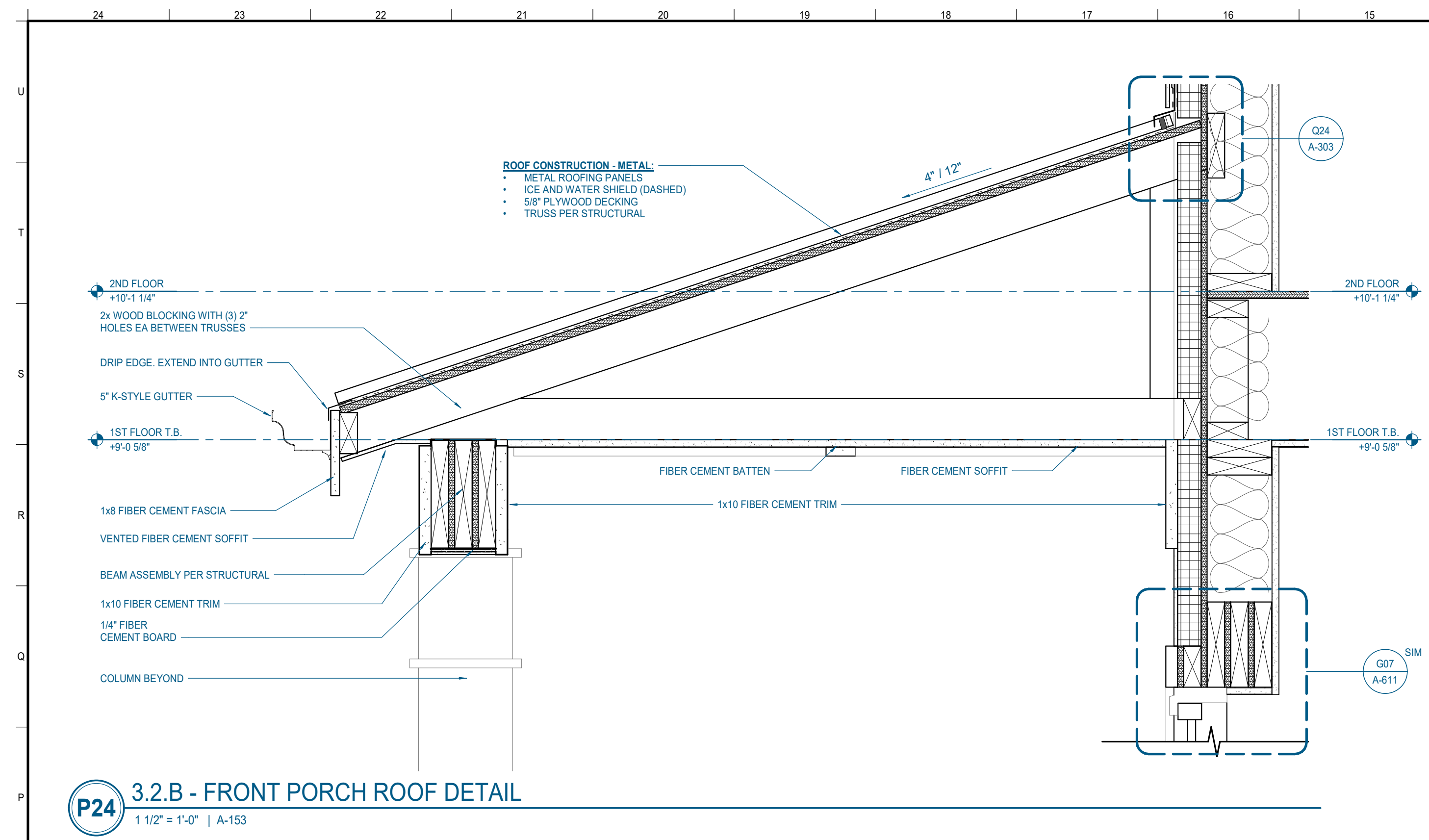
### RCP LEGEND

- CEILING TYPES**
- GYP 1 GYPSUM BOARD CEILING
  - GYP 2 MOLD RESISTANT GYPSUM BOARD CEILING
  - FCS FIBER CEMENT SOFFIT PANELS WITH BATTEN AT SEAM
- CEILING TYPE TAG**
- XXXX-X CEILING MATERIAL
  - X'-X" CEILING HEIGHT
- MECHANICAL SYMBOLS**
- RETURN AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
  - SUPPLY AIR CEILING DIFFUSER REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
  - COMBINATION LIGHT AND EXHAUST FAN, BATHROOMS ONLY.
- LIGHT FIXTURE SYMBOLS**
- 6" RECESSED CAN LIGHT
  - 4" EXTERIOR RECESSED CAN LIGHT
  - COMBINATION LIGHT AND EXHAUST FAN, BATHROOMS ONLY.
  - WALL MOUNTED LIGHT, CENTER ABOVE DOOR OR VANITY, UNLESS NOTED OTHERWISE.
- MISC. SYMBOLS**
- 3/2" NOMINAL ATTIC ACCESS DOOR (AAD) LOCKABLE. LOCATE BETWEEN ROOF TRUSSES - SEE STRUCT. BLOCKING AND ATTACHMENTS PER MFR. PROVIDE 4"x4" MIN 5/8" PLYWOOD WALKBOARD ADJACENT TO DOOR IN ATTIC. PROVIDE FRAMING ABOVE OPENING AND BELOW WALKBOARD TO MAINTAIN REQUIRED INSULATION DEPTH. GRAPHIC LOCATION IS APPROXIMATE. CONTRACTOR TO VERIFY FINAL LOCATION IN THE FIELD.
  - CEILING FAN WITH INTEGRATED LIGHT. SWITCH LIGHT AND FAN SEPARATELY.

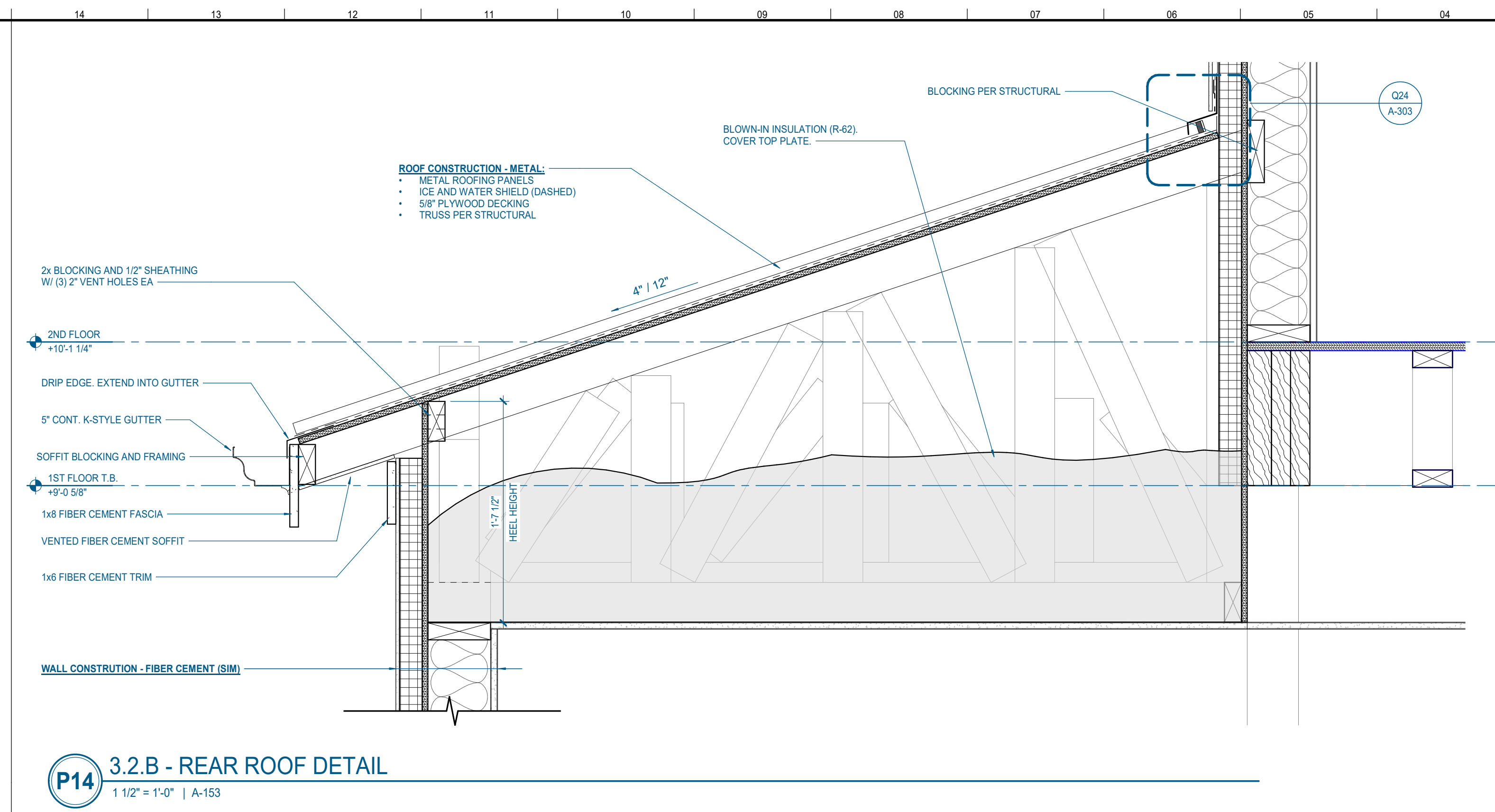


**A24 3.2.B - 2ND FLOOR RCP**  
1/4" = 1'-0" | A-152

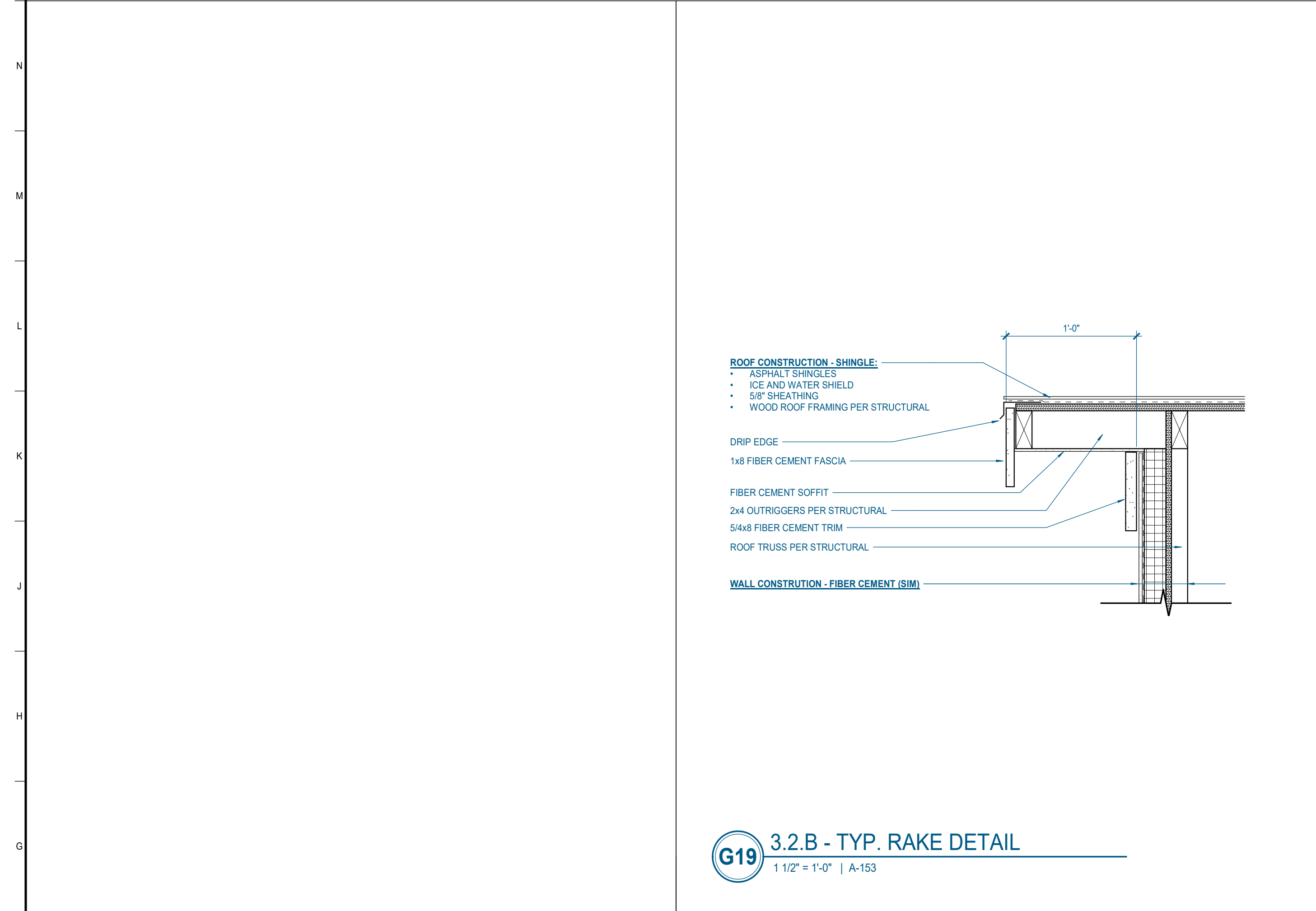
**A13 3.2.B - 1ST FLOOR RCP**  
1/4" = 1'-0" | A-152



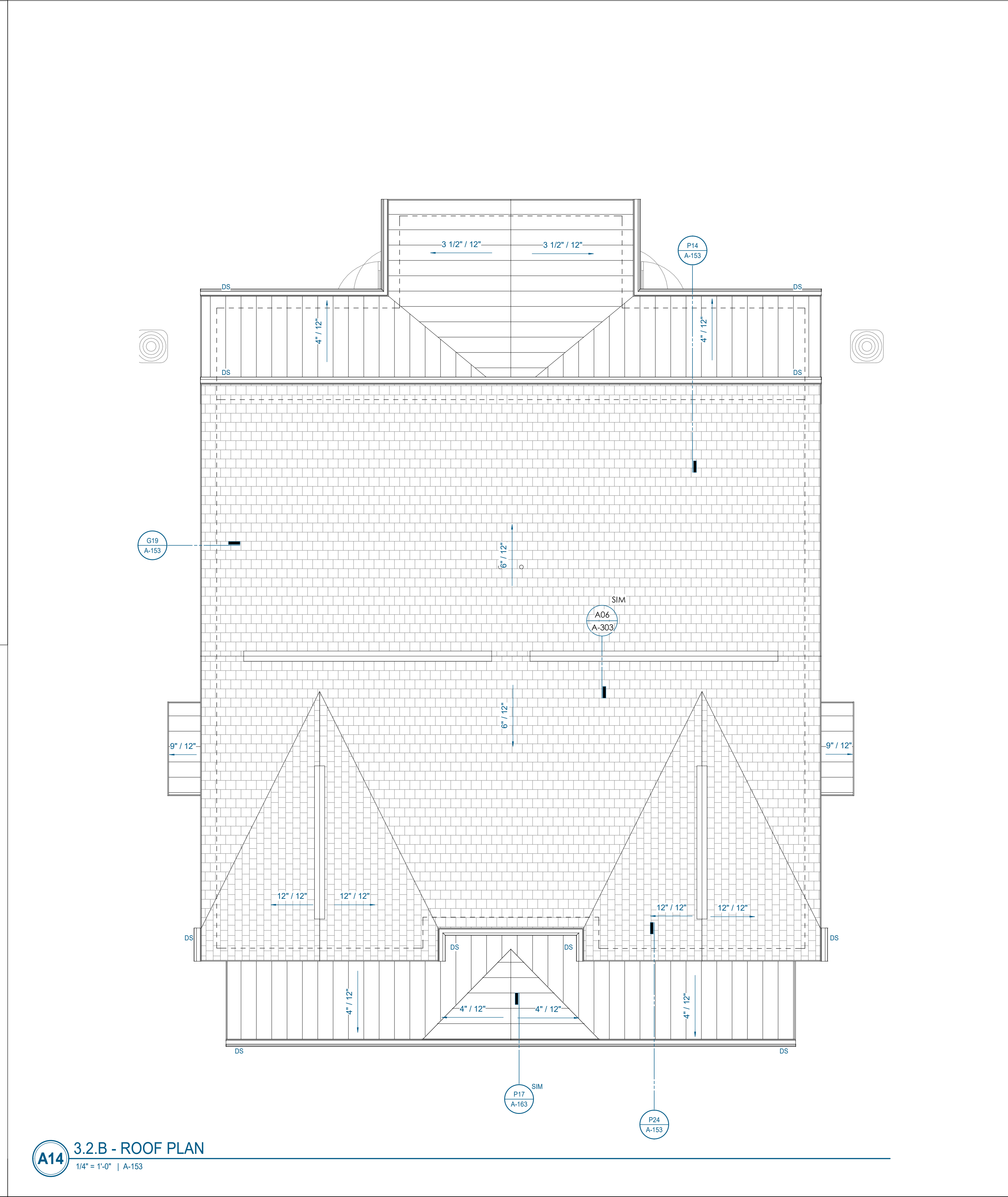
**P24** 3.2.B - FRONT PORCH ROOF DETAIL  
1 1/2" = 1'-0" | A-153



**P14** 3.2.B - REAR ROOF DETAIL  
1 1/2" = 1'-0" | A-153



**G19** 3.2.B - TYP. RAKE DETAIL  
1 1/2" = 1'-0" | A-153



**A14** 3.2.B - ROOF PLAN  
1/4" = 1'-0" | A-153

**ROOF PLAN GENERAL NOTES**

- ARROWS INDICATE DIRECTION OF DOWNWARD ROOF SLOPE.
- ICE AND WATER SHIELD:  
A. 24" MINIMUM FROM INSIDE OF EXT. WALL AT ALL SHINGLE ROOFS OR 96" FROM ROOF EDGE, WHICHEVER IS GREATER.  
B. FULL ROOF AREA UNDER ALL METAL ROOFS.
- SEE A300 FOR ROOF MATERIAL AND COLOR.
- LOCATE DOWNSPOUTS PER PLANS. ALL DOWNSPOUTS TO BE 3"x4".
- ALL GUTTERS TO BE 5" SLOPE GUTTER TO DOWNSPOUTS @ 1/16" 12" MAX.
- REFER TO A300% FOR TYPICAL ROOF DETAILS.  
A. REFER TO A-301 FOR WALL ASSEMBLIES REFERENCED IN DETAILS.
- REFER TO CIVIL DRAWINGS FOR CONTINUATION OF DOWNSPOUTS.
- COORDINATE ALL PENETRATIONS WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS. ALL PENETRATIONS TO BE ON REAR SIDE (DRAWING PLAN NORTH) UNLESS NOTED OTHERWISE ON DRAWINGS. ALL PIPE PENETRATIONS TO BE PAINTED BLACK.

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550 W. Main St., Suite 300  
Knoxville, TN 37902  
1.865.544.2000  
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CIVIL ENGINEER:  
**SITE ENGINEERING CONSULTANTS, INC.**  
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LANDSCAPE ARCHITECT:  
**RAGAN SMITH**

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STRUCTURAL ENGINEER:  
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MECHANICAL/PLUMBING ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

713 SOUTH CENTRAL STREET, STE 101  
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Project Information:  
**22054**

**MHA - MERCURY HOUSING PHASE I**  
415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

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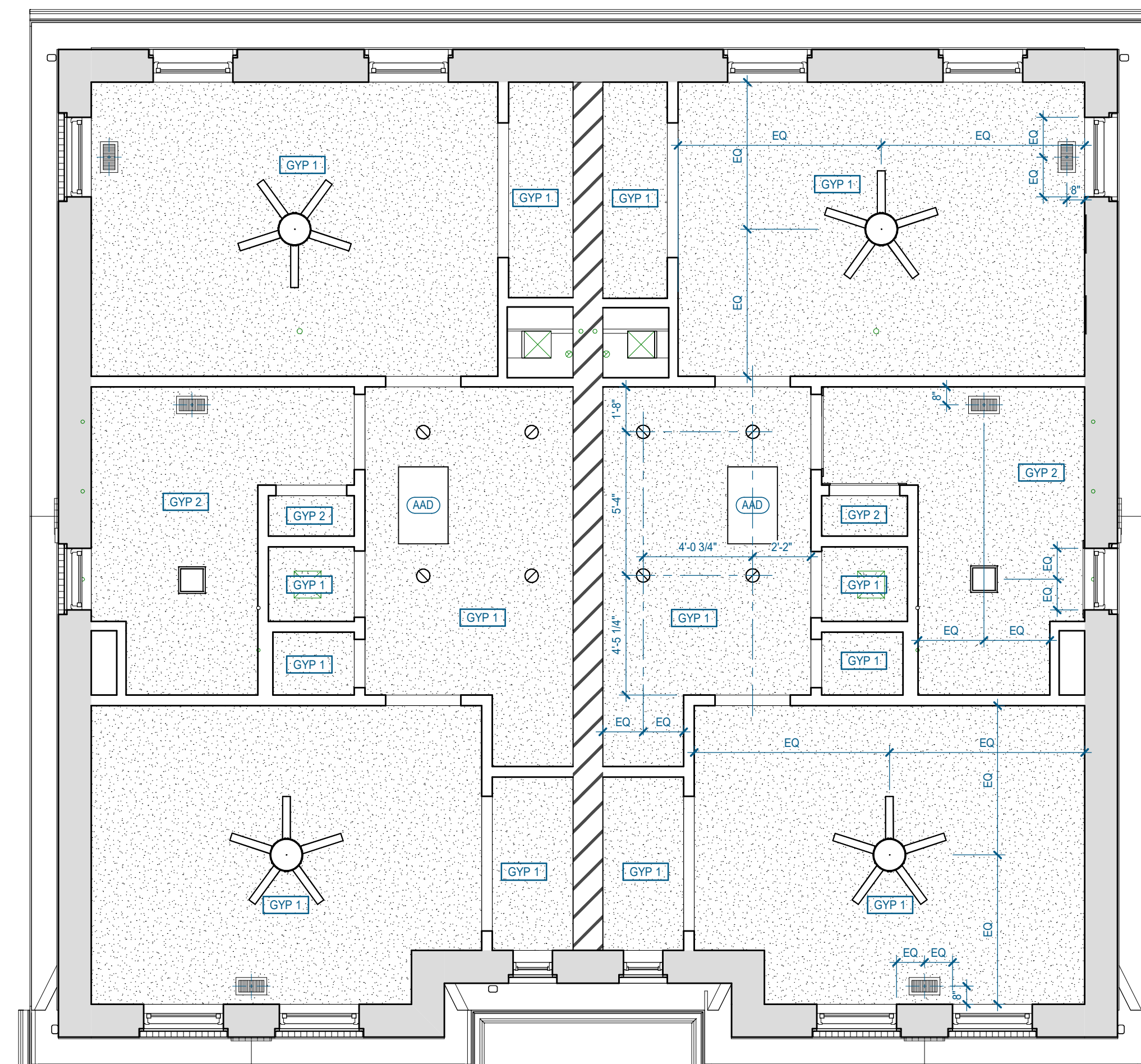


### RCP GENERAL NOTES

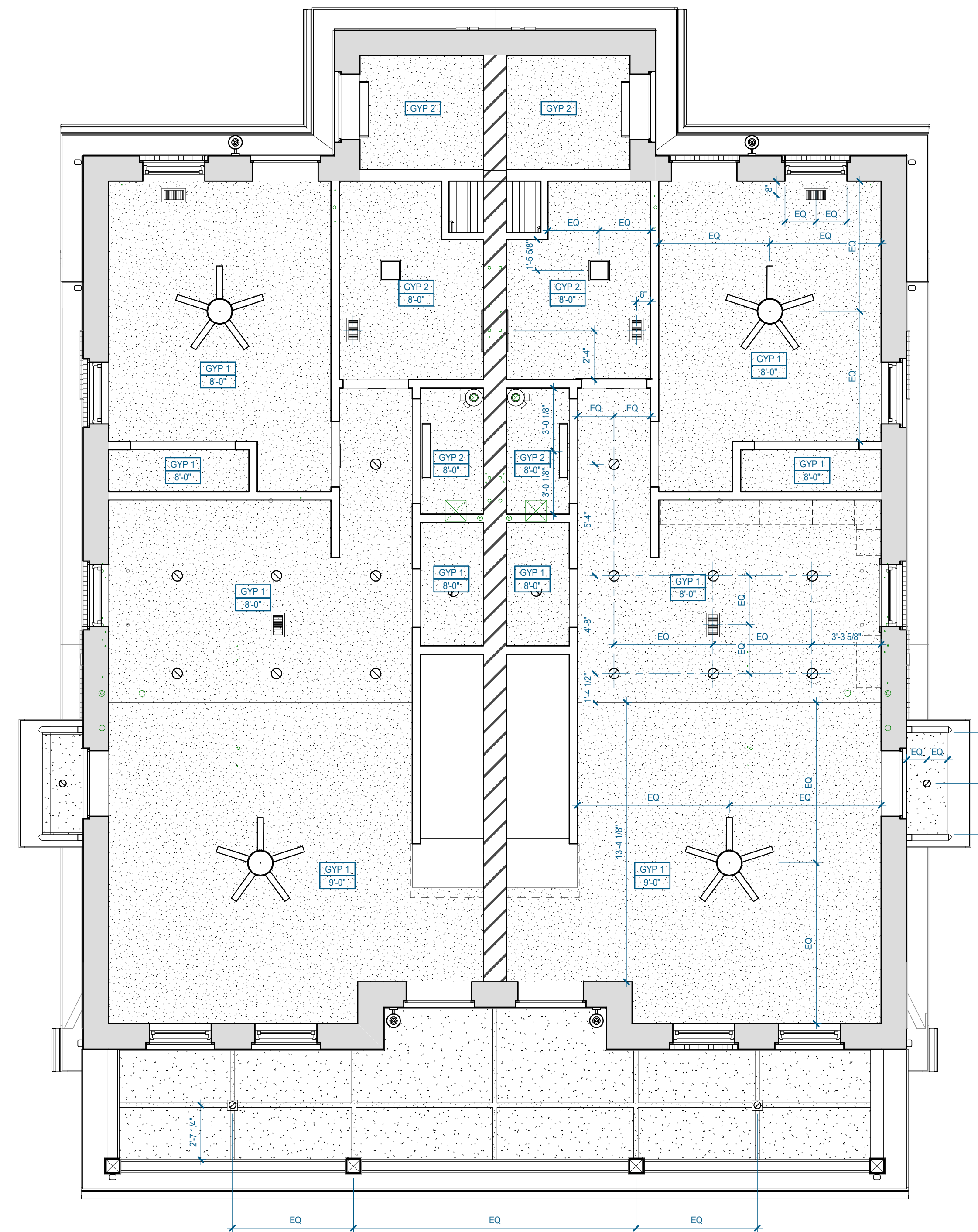
- REFER TO DRAWINGS AND RCP LEGEND FOR CEILING HEIGHT AND MATERIAL.
  - ALL CEILINGS TO BE ATTACHED TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
  - ALL GYPSUM BOARD SOFFITS AND CEILING HEIGHTS INDICATED SHALL BE MEASURED FROM BOTTOM FACE OF GYPSUM BOARD ABOVE FINISH FLOOR.
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- SUSPENDED CEILING SYSTEMS MUST BE INSTALLED TO COMPLY WITH ASTM C836 AND ASTM E886 SEISMIC CATEGORY D, RISK CATEGORY 11.
- FOR FURTHER DETAIL & DIMENSIONS SEE FLOOR PLANS AND CEILING DETAILS.

### RCP LEGEND

- CEILING TYPES**
- GYP 1 GYPSUM BOARD CEILING
  - GYP 2 MOLD RESISTANT GYPSUM BOARD CEILING
  - FCS FIBER CEMENT SOFFIT PANELS WITH BATTEN AT SEAM
- CEILING TYPE TAG**
- XXXXX  
X'-X"
- MECHANICAL SYMBOLS**
- RETURN AIR GRILLE REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
  - SUPPLY AIR CEILING DIFFUSER REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
  - COMBINATION LIGHT AND EXHAUST FAN, BATHROOMS ONLY.
- LIGHT FIXTURE SYMBOLS**
- 6" RECESSED CAN LIGHT
  - 4" EXTERIOR RECESSED CAN LIGHT
  - COMBINATION LIGHT AND EXHAUST FAN, BATHROOMS ONLY.
  - WALL MOUNTED LIGHT, CENTER ABOVE DOOR OR VANITY, UNLESS NOTED OTHERWISE.
- MISC. SYMBOLS**
- 3/2" NOMINAL ATTIC ACCESS DOOR (AAD) LOCKABLE. LOCATE BETWEEN ROOF TRUSSES - SEE STRUCT. DRAWINGS AND ATTACHMENTS PER MFR. PROVIDE 4"x4" MIN 5/8" PLYWOOD WALKBOARD ADJACENT TO DOOR IN ATTIC. PROVIDE FRAMING ABOVE OPENING AND BELOW WALKBOARD TO MAINTAIN REQUIRED INSULATION DEPTH. GRAPHIC LOCATION IS APPROXIMATE. CONTRACTOR TO VERIFY FINAL LOCATION IN THE FIELD.
  - CEILING FAN WITH INTEGRATED LIGHT. SWITCH LIGHT AND FAN SEPARATELY.



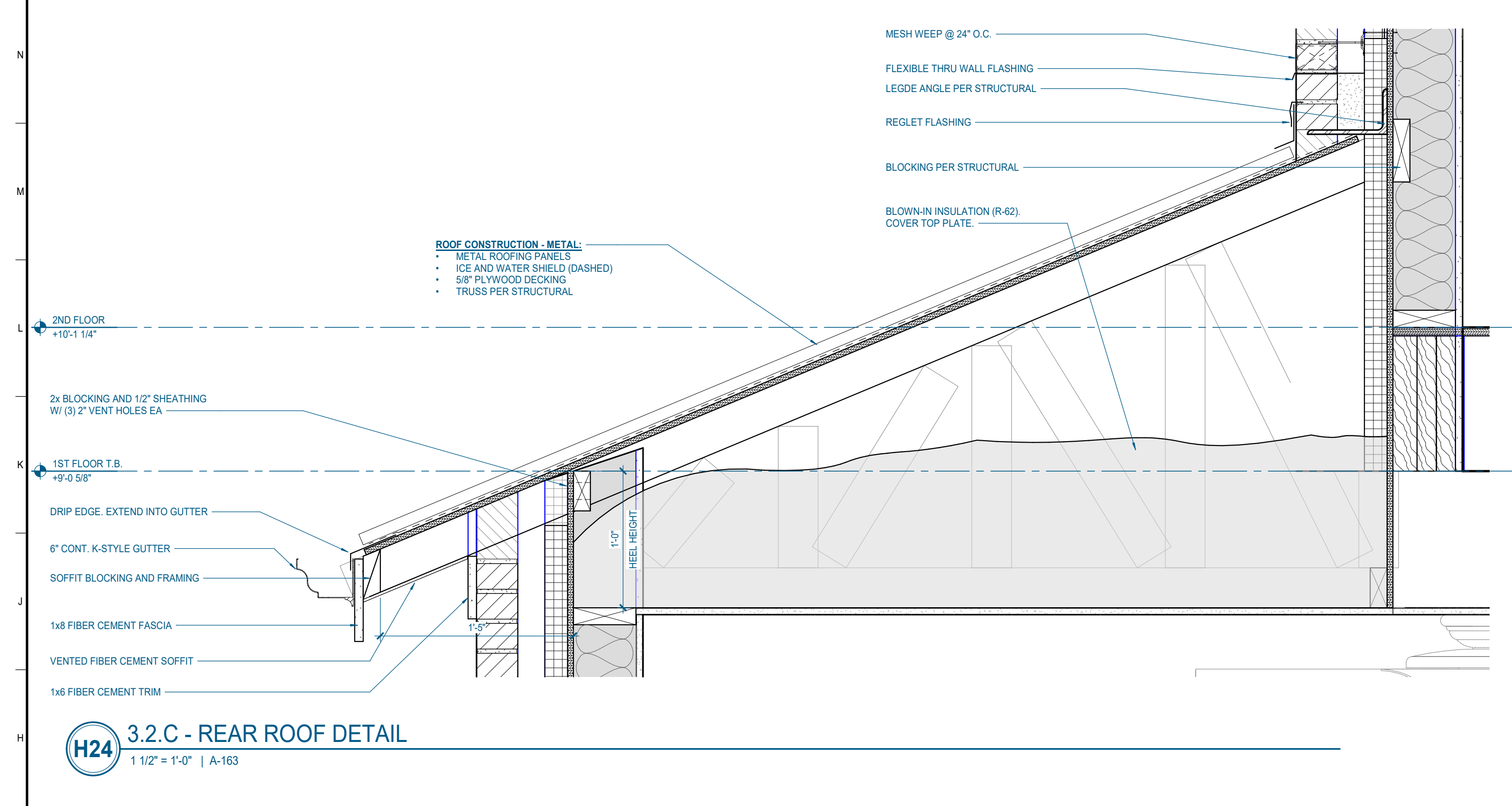
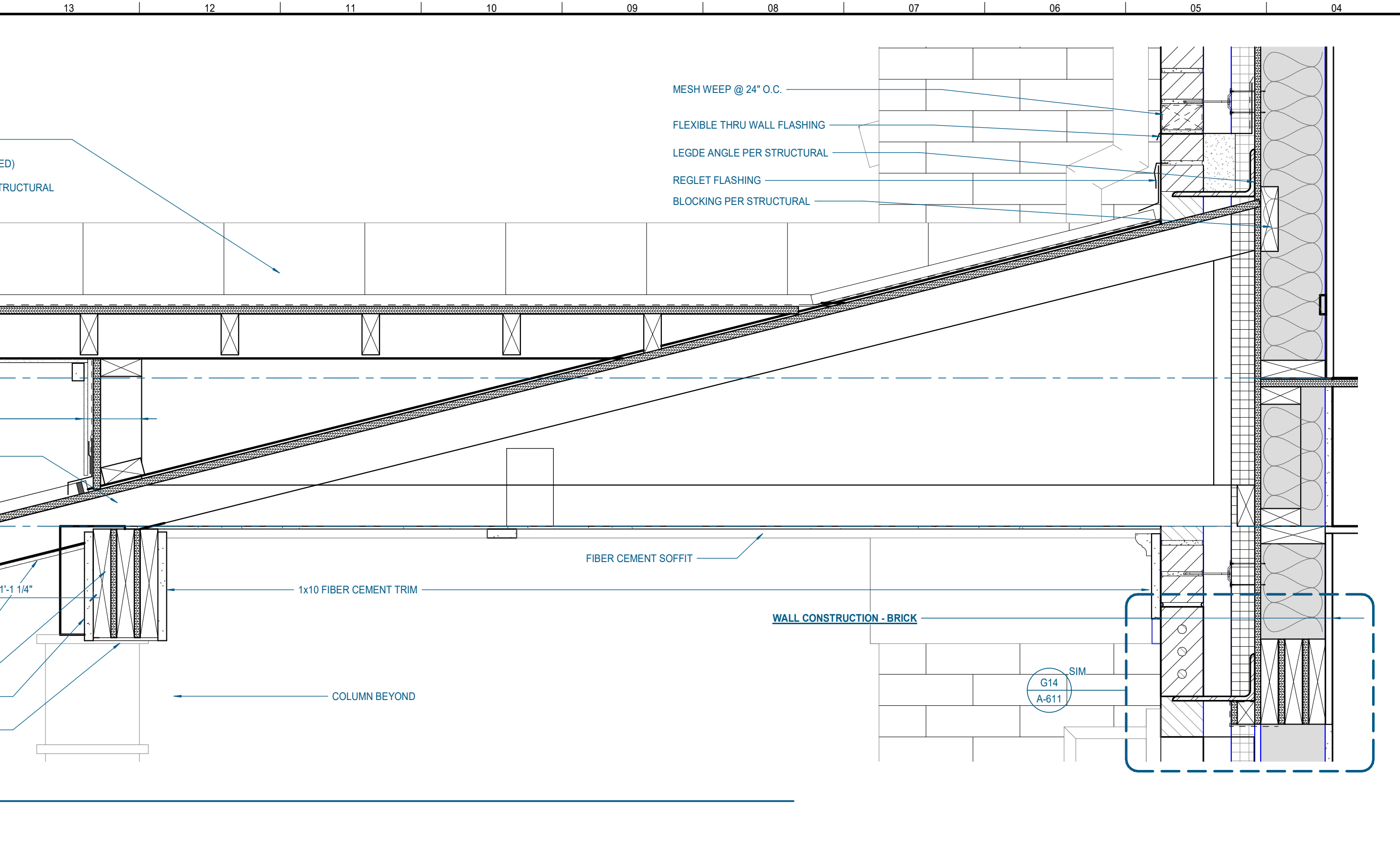
**A24** 3.2.C - 2ND FLOOR RCP  
1/4" = 1'-0" | A-162



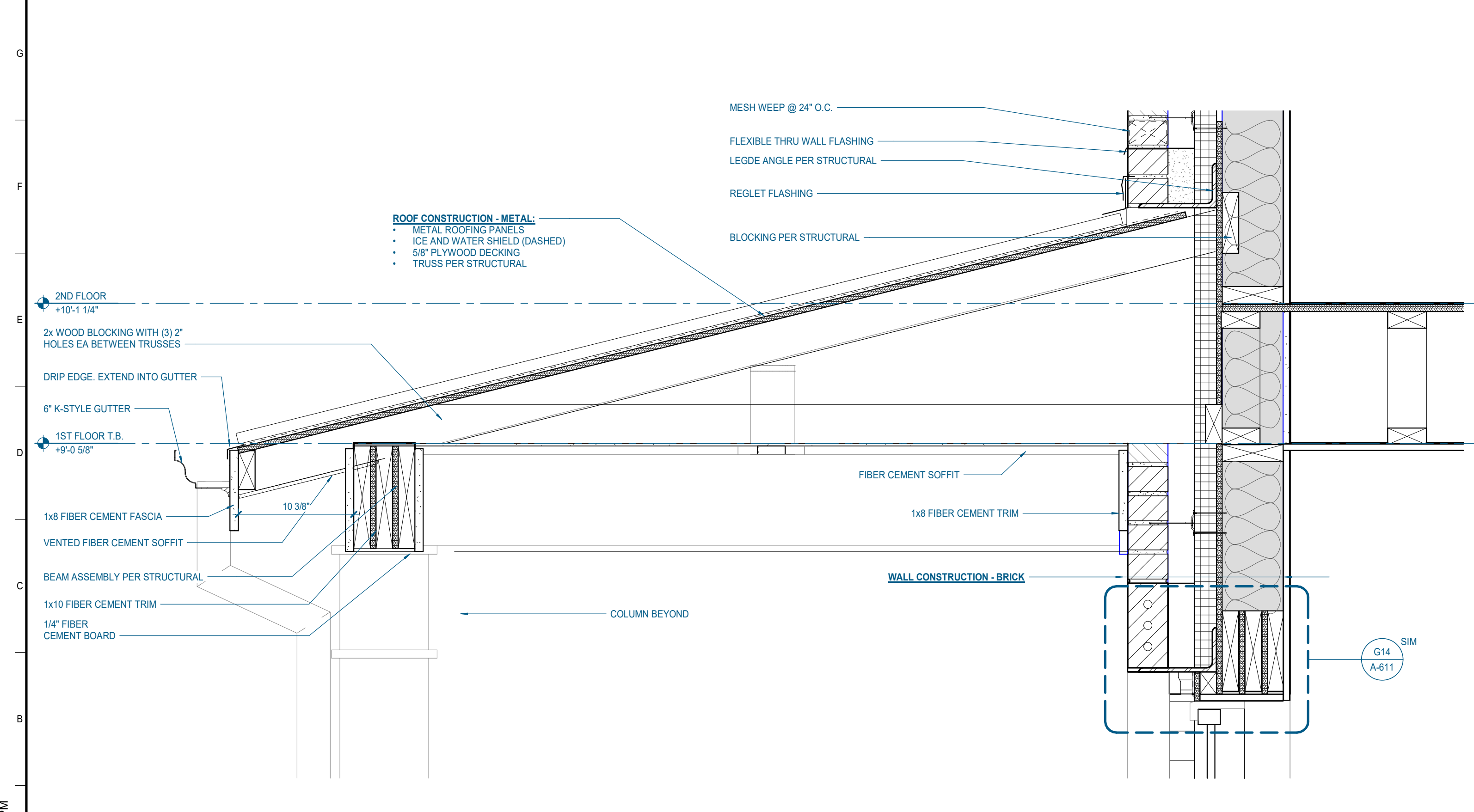
**A13** 3.2.C - 1ST FLOOR RCP  
1/4" = 1'-0" | A-162



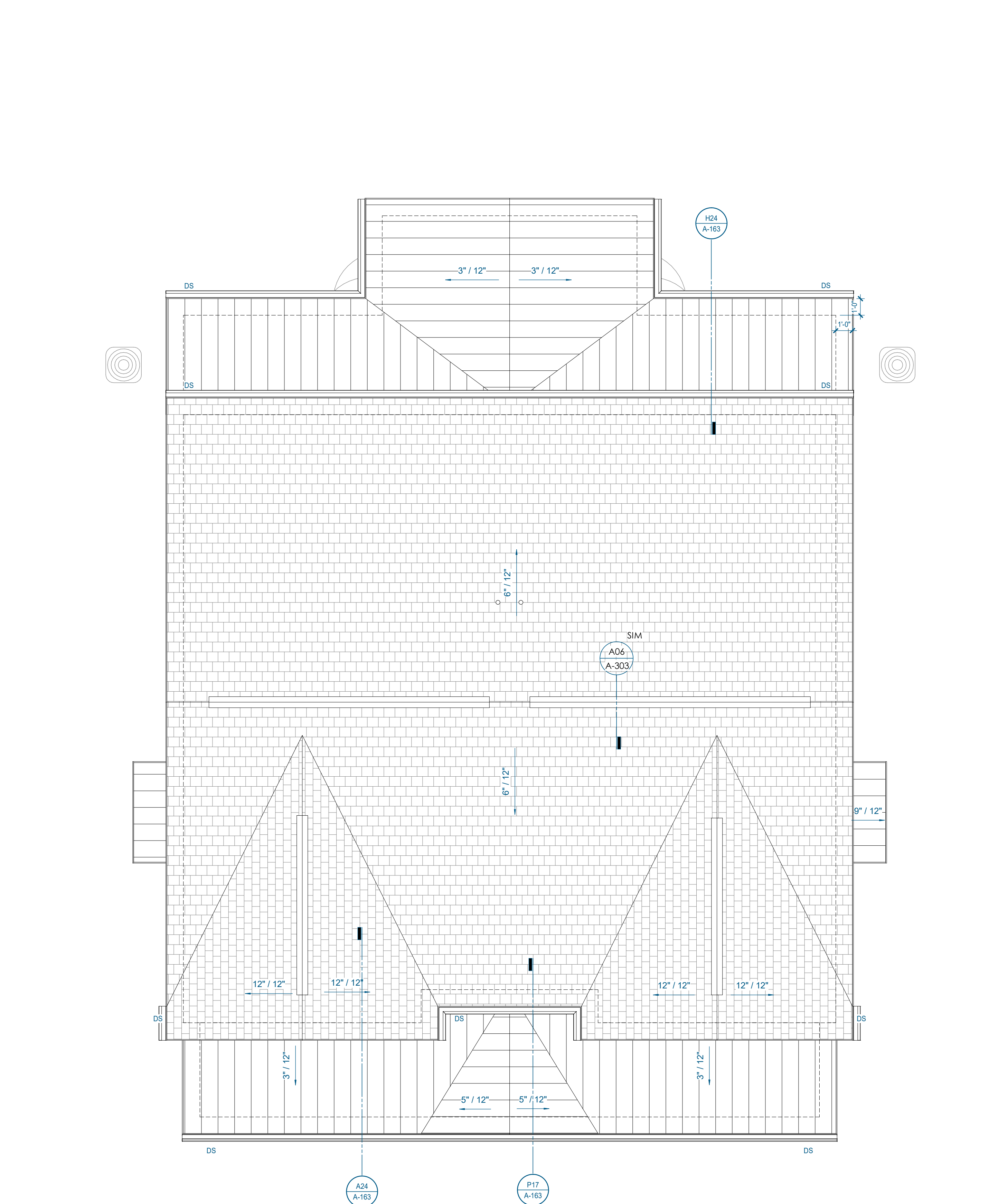
**P17** 3.2.C - FRONT PORCH DORMER DETAIL  
1/4" = 1'-0" | A-163



**H24** 3.2.C - REAR ROOF DETAIL  
1/4" = 1'-0" | A-163



**A24** 3.2.C - FRONT PORCH ROOF DETAIL  
1/4" = 1'-0" | A-163



**A13** 3.2.C - ROOF PLAN  
1/4" = 1'-0" | A-163

**ROOF PLAN GENERAL NOTES**

- ARROWS INDICATE DIRECTION OF DOWNWARD ROOF SLOPE.
- ICE AND WATER SHIELD:
  - 24" MINIMUM FROM INSIDE OF EXT. WALL AT ALL SHINGLE ROOFS OR 36" FROM ROOF EDGE, WHICHEVER IS GREATER.
  - FULL ROOF AREA UNDER ALL METAL ROOFS.
- SEE A5200 FOR ROOF MATERIAL AND COLOR.
- LOCATE DOWNSPOUTS PER PLANS. ALL DOWNSPOUTS TO BE 3"x4"
- ALL GUTTERS TO BE 6" SLOPE GUTTER TO DOWNSPOUTS @ 1/16" 12" MAX.
- REFER TO A3000 FOR TYPICAL ROOF DETAILS.
  - REFER TO A-301 FOR WALL ASSEMBLIES REFERENCED IN DETAILS.
  - REFER TO CIVIL DRAWINGS FOR CONTINUATION OF DOWNSPOUTS.
- COORDINATE ALL PENETRATIONS WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS. ALL PENETRATIONS TO BE ON REAR SIDE (DRAWING PLAN NORTH) UNLESS NOTED OTHERWISE ON DRAWINGS. ALL PIPE PENETRATIONS TO BE PAINTED BLACK.



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LANDSCAPE ARCHITECT:  
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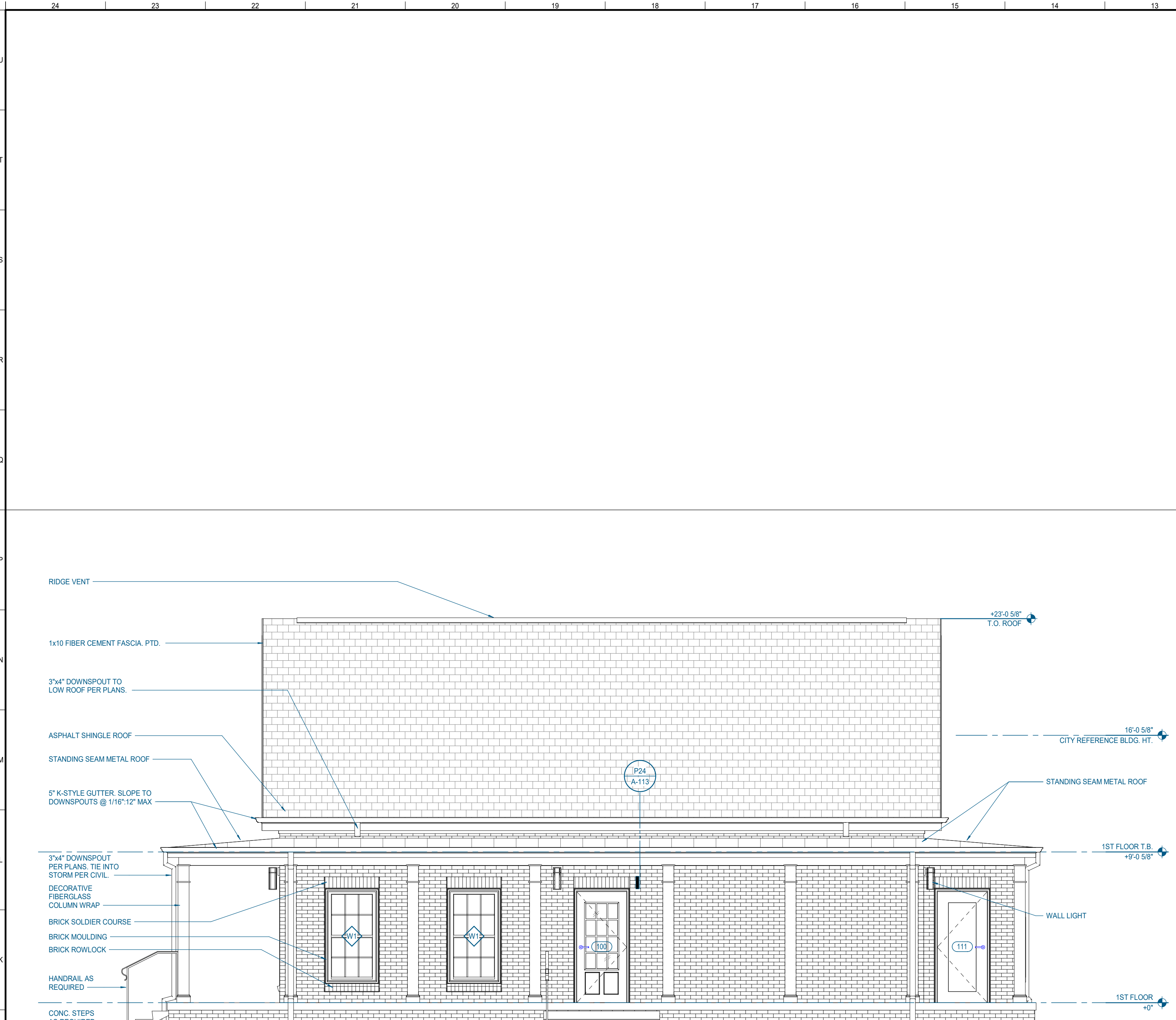
Consultant:

#	ISSUED BY:	DATE

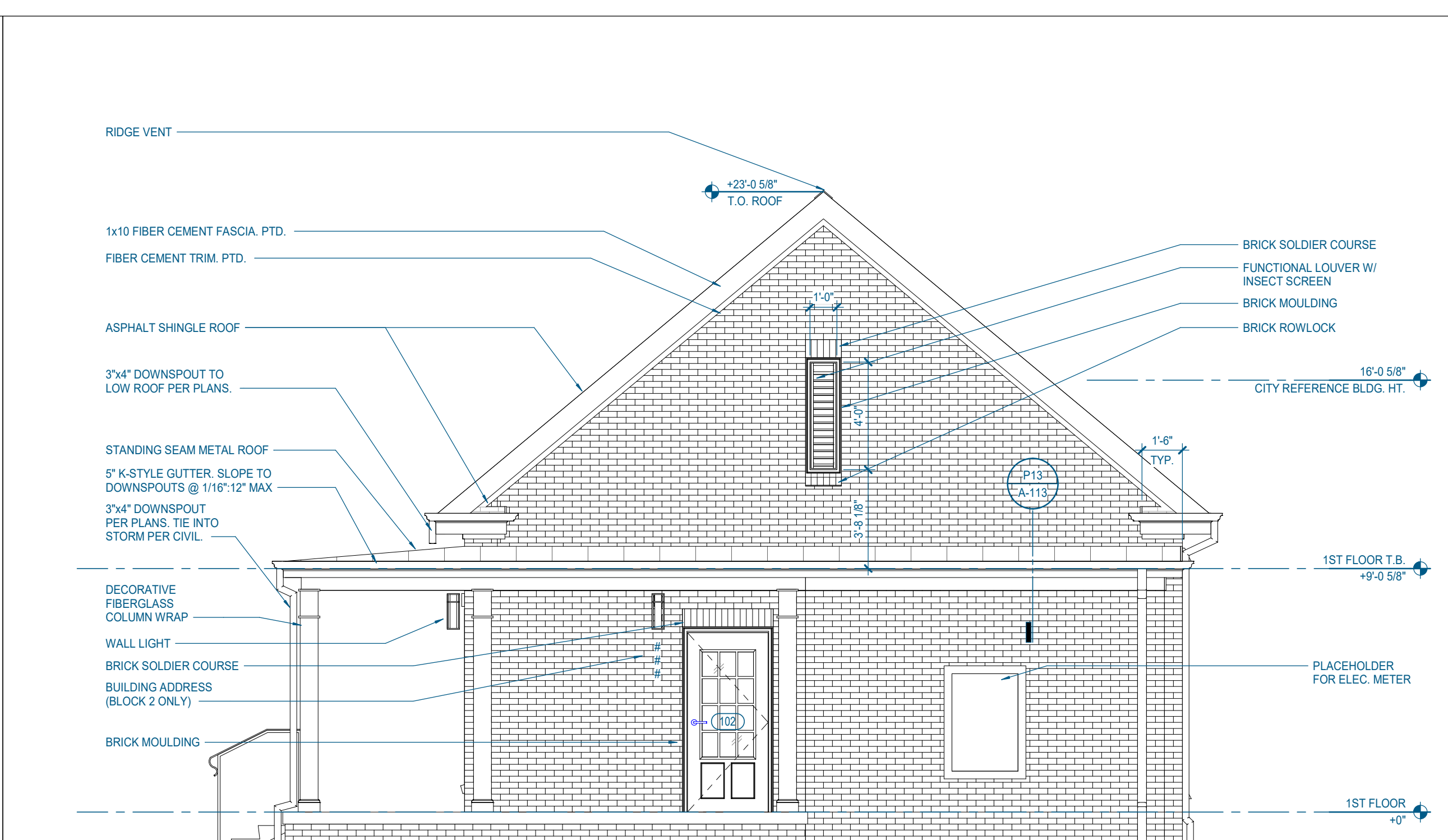
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Checked By: Project Checked By

Sheet Information:  
**A-163**

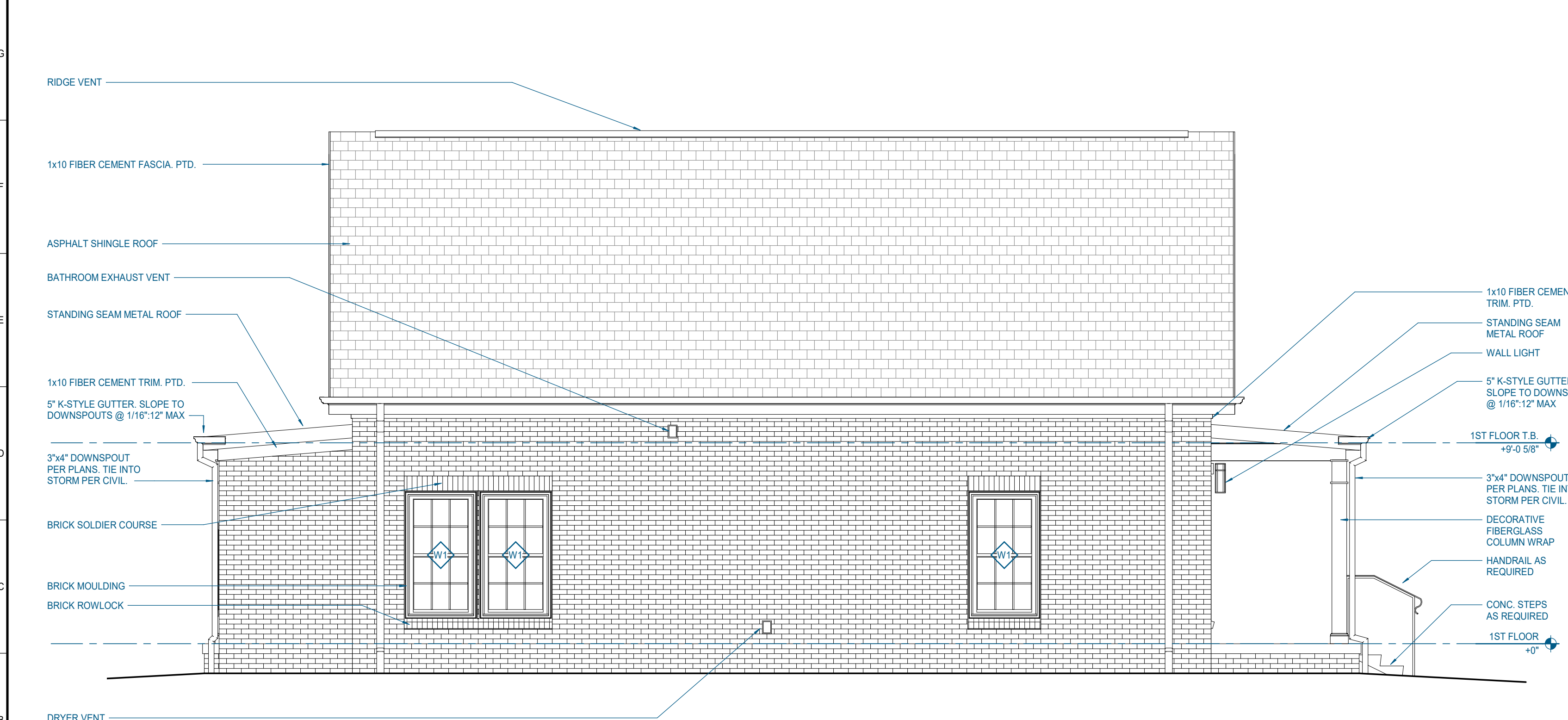
3.2.C - ROOF PLAN AND DETAILS  
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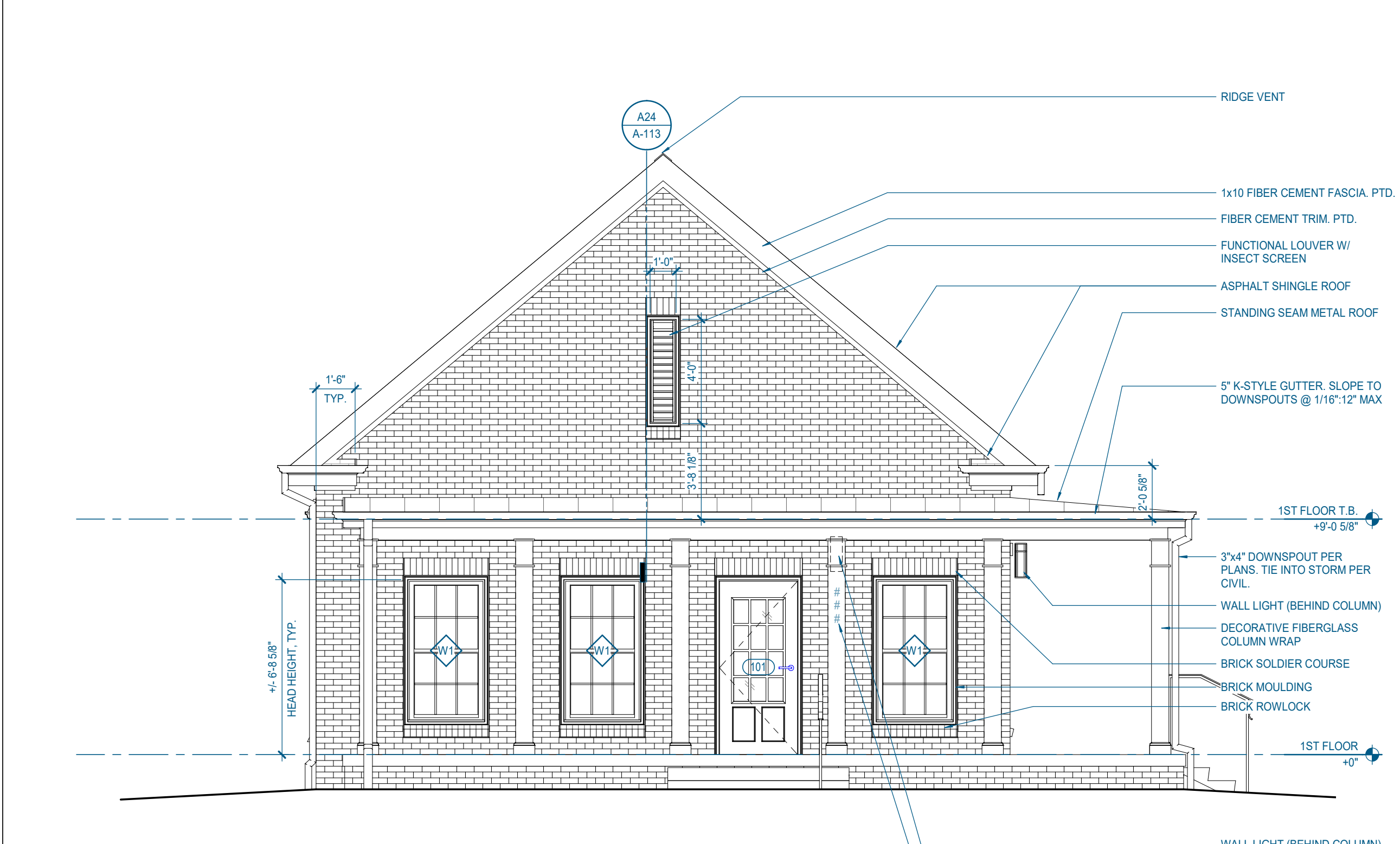
**H24 2.1.A - EAST ELEVATION**  
1/4" = 1'-0" | A-211



**H12 2.1.A - NORTH ELEVATION (REAR)**  
1/4" = 1'-0" | A-211



**A24 2.1.A - WEST ELEVATION**  
1/4" = 1'-0" | A-211



**A12 2.1.A - SOUTH ELEVATION (FRONT)**  
1/4" = 1'-0" | A-211

**ELEVATION GENERAL NOTES**

- REFER TO CIVIL DRAWINGS FOR NUMBER OF STEPS AT PORCHES.
- ALL DOWNSPOUTS TO THE INTO STORM SYSTEM. SEE CIVIL DRAWINGS FOR CONTINUATION DRAWINGS.
- SLOPE GRADE AWAY FROM BUILDINGS TO DRAIN. TYPICAL  
A. SLOPE AT 5% AT PERVIOUS SURFACES FOR 10'-0" MN  
B. SLOPE AT 2% MN AT IMPERVIOUS SURFACES
- SEE A200 FOR COLOR SCHEMES.
- ALL LINTELS TO BE PRIMED AND PAINTED.
- WHERE REQUIRED ALL BRICK TO BE SAW CUT.



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PM	M. BUTLER
PA	G. TAYLOR C. MYERS
Drawn By:	Author
Checked By:	Project Checked By

ELEVATION GENERAL NOTES

- REFER TO CIVIL DRAWINGS FOR NUMBER OF STEPS AT PORCHES.
- ALL DOWNSPOUTS TO TIE INTO STORM SYSTEM. SEE CIVIL DRAWINGS FOR CONTINUATION DRAWINGS.
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Project Information:  
**22054**

**MHA - MERCURY HOUSING PHASE I**  
415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

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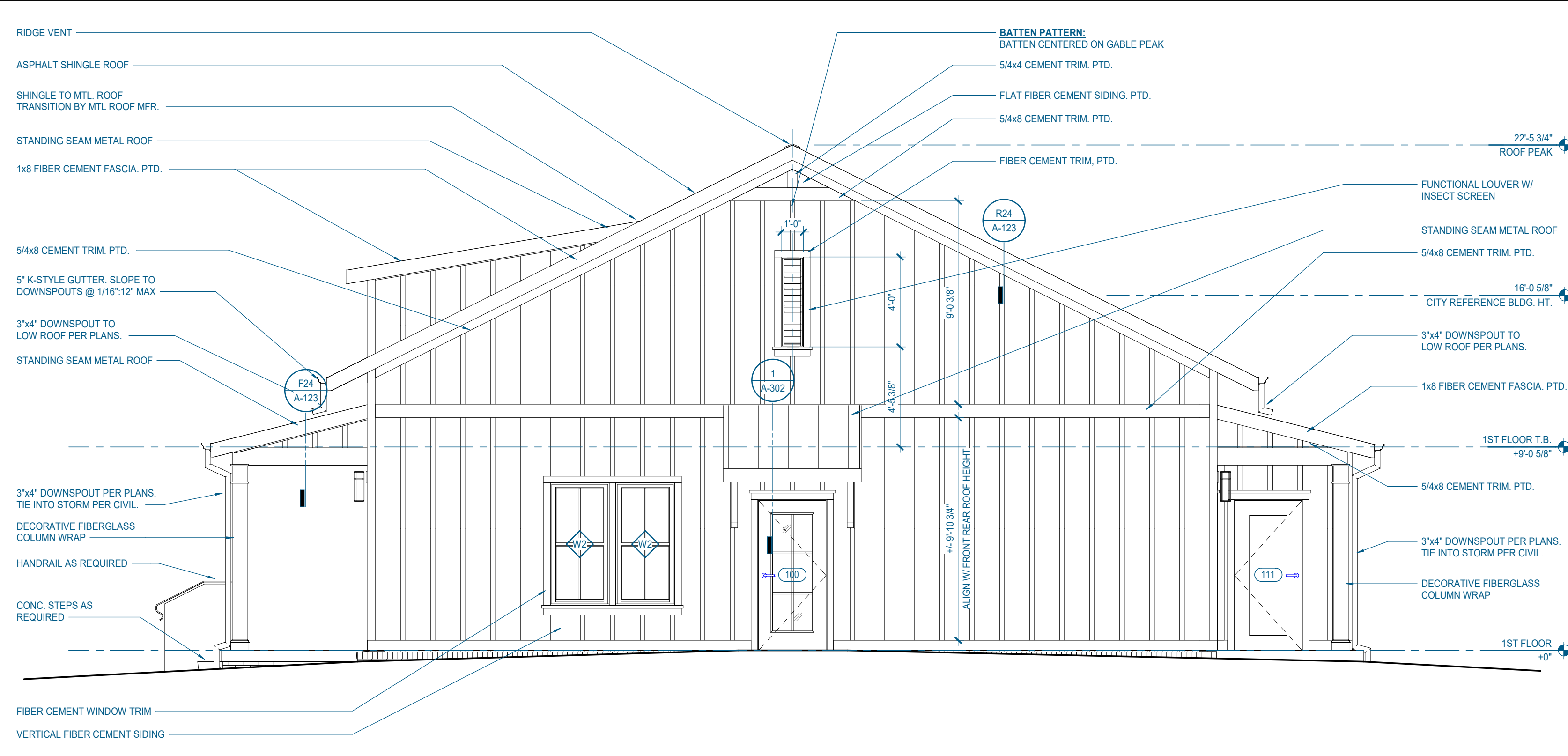
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PA	G. TAYLOR C. MYERS
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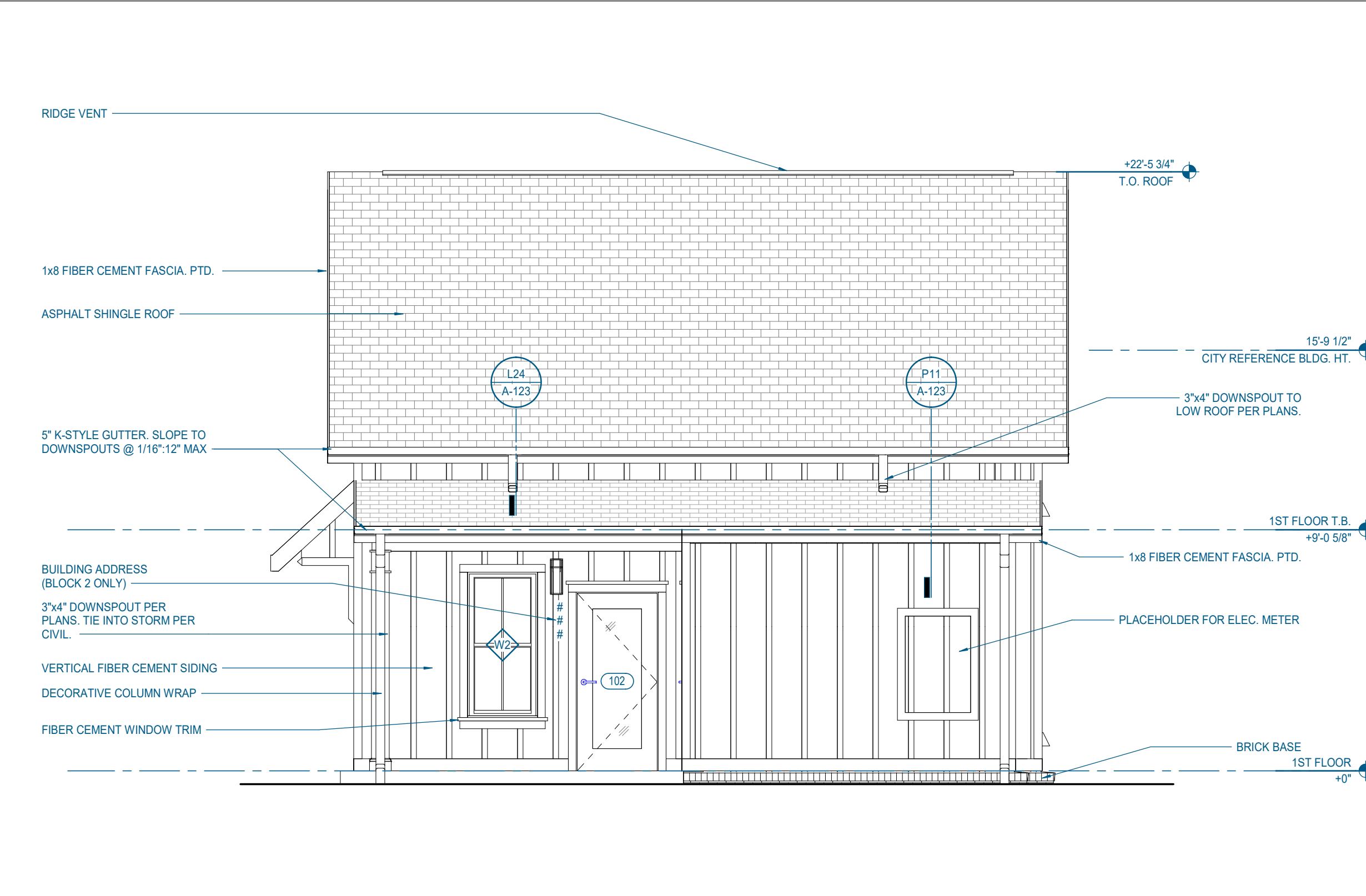
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2.1.B/2.1.B(u) - BUILDING ELEVATIONS

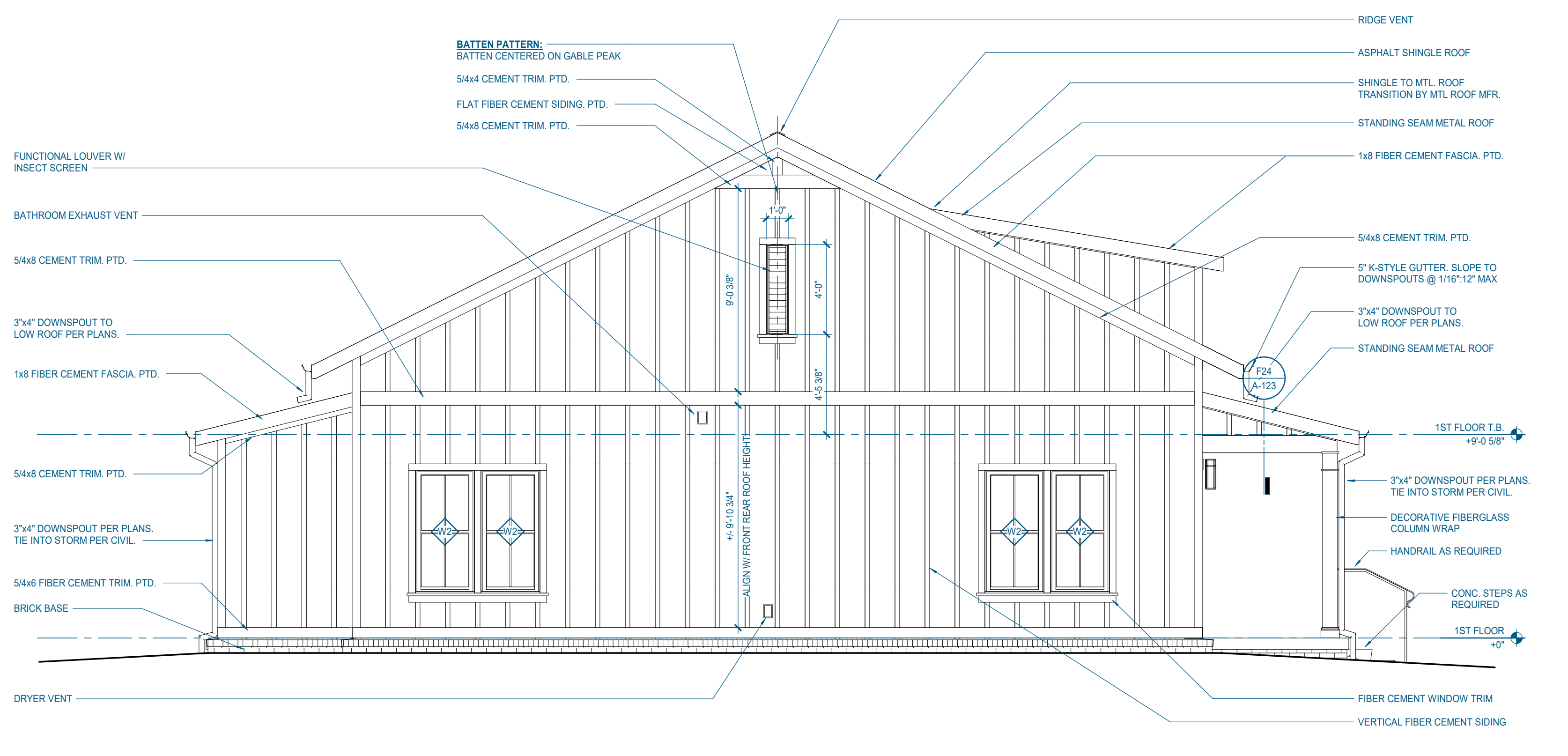
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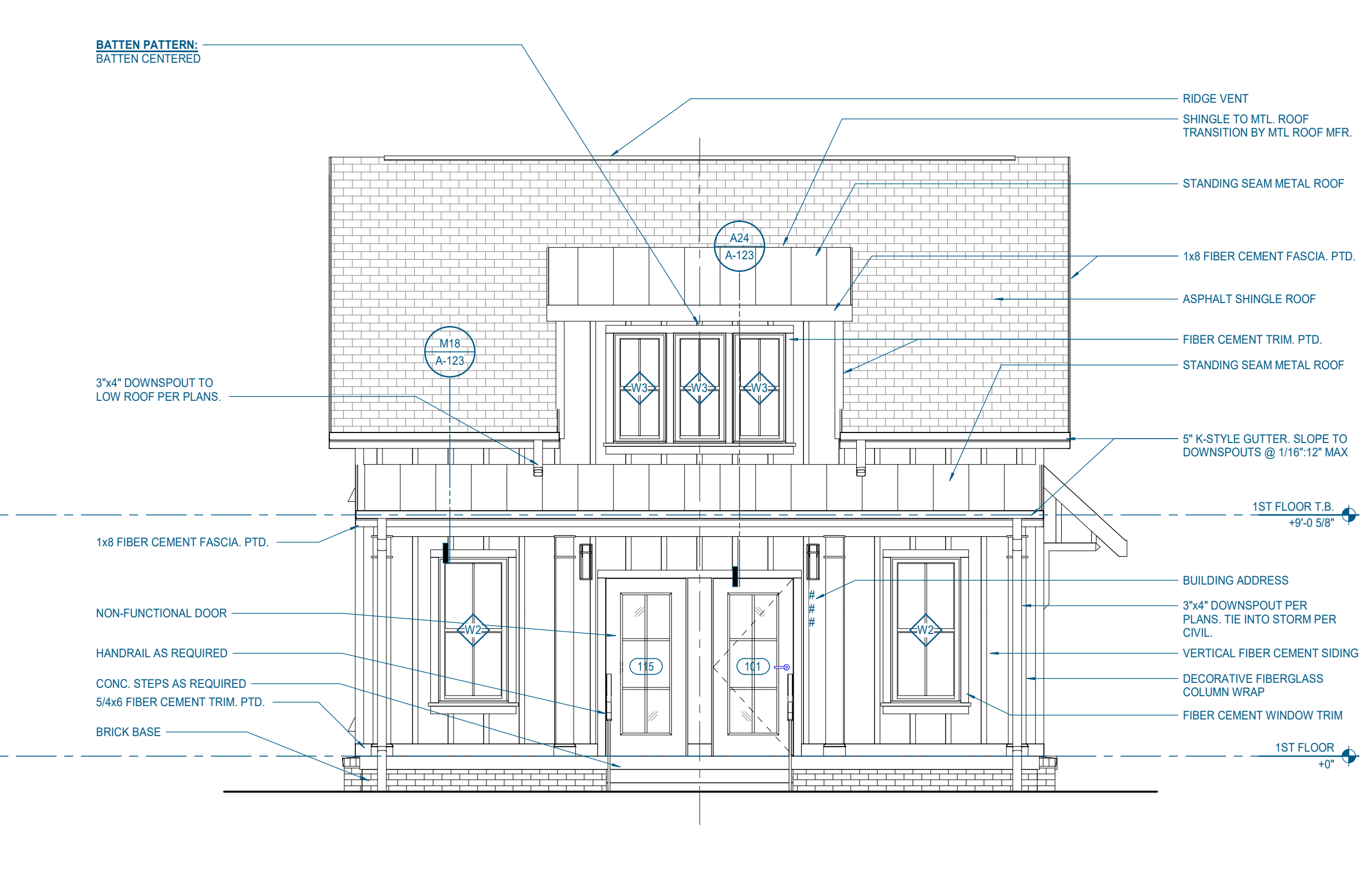
**H24 2.1.B - EAST ELEVATION**  
1/4" = 1'-0" | A-221



**H12 2.1.B - NORTH ELEVATION (REAR)**  
1/4" = 1'-0" | A-221



**A24 2.1.B - WEST ELEVATION**  
1/4" = 1'-0" | A-221



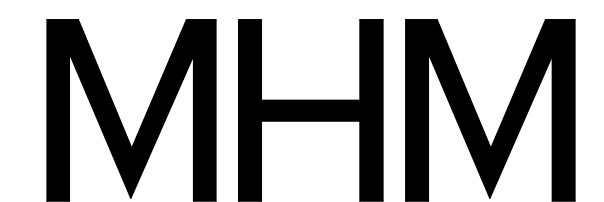
**A12 2.1.B - SOUTH ELEVATION (FRONT)**  
1/4" = 1'-0" | A-221

6/30/2023 2:01:02 PM



ELEVATION GENERAL NOTES

- REFER TO CIVIL DRAWINGS FOR NUMBER OF STEPS AT PORCHES.
- ALL DOWNSPOUTS TO TIE INTO STORM SYSTEM. SEE CIVIL DRAWINGS FOR CONTINUATION DRAWINGS.
- SLOPE GRADE AWAY FROM BUILDINGS TO DRAIN, TYPICAL.
  - A SLOPE AT 5% AT PERVIOUS SURFACES FOR 10'0" MIN
  - B SLOPE AT 2% MN AT IMPERVIOUS SURFACES
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ELECTRICAL ENGINEER:  
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Project Information:  
**22054**

**MHA - MERCURY HOUSING PHASE I**  
 415 NORTH MAPLE ST.  
 MURFREESBORO, TN 37130



Consultant:

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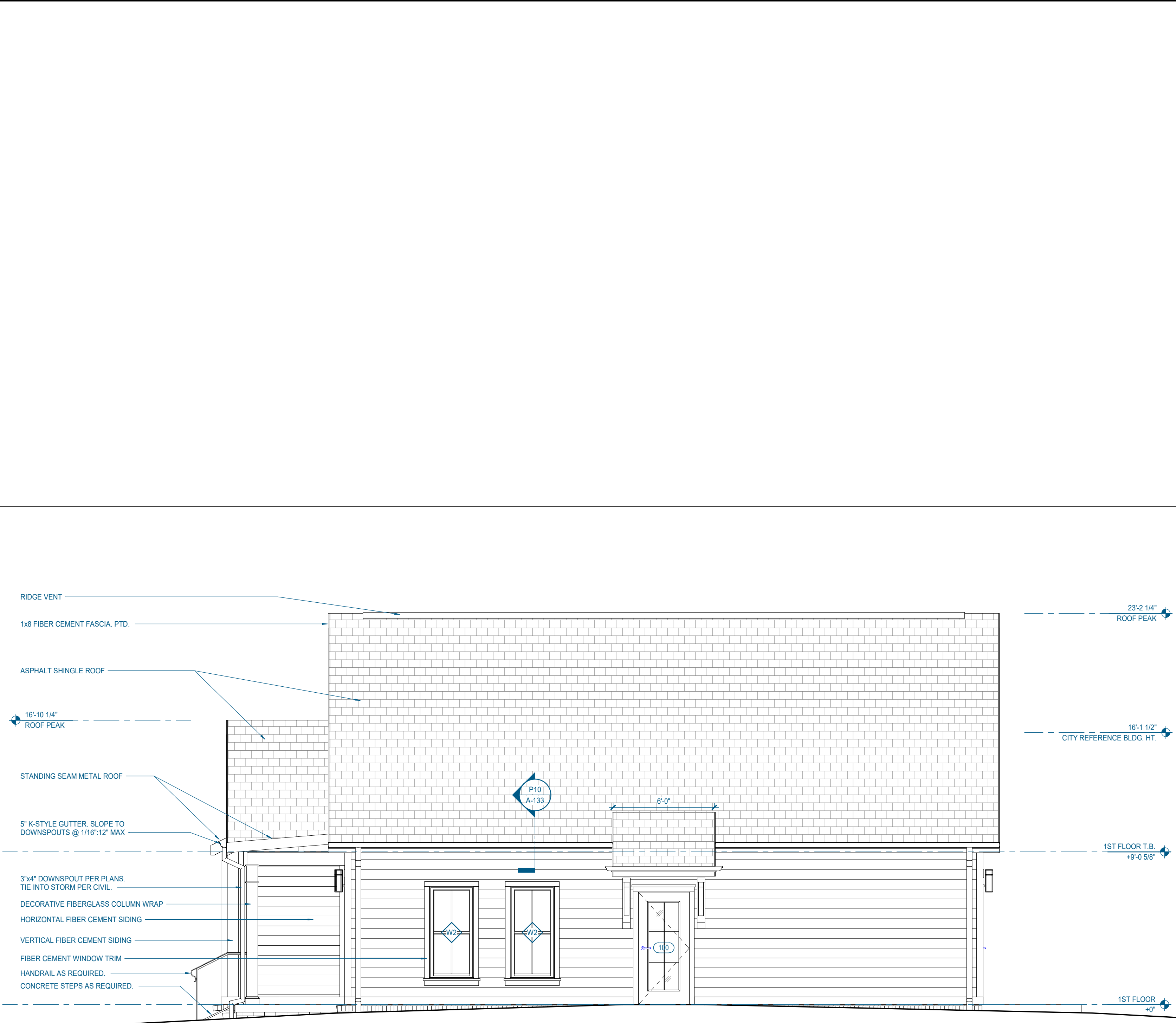
  

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PA	G. TAYLOR C. MYERS
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Checked By:	Project Checked By

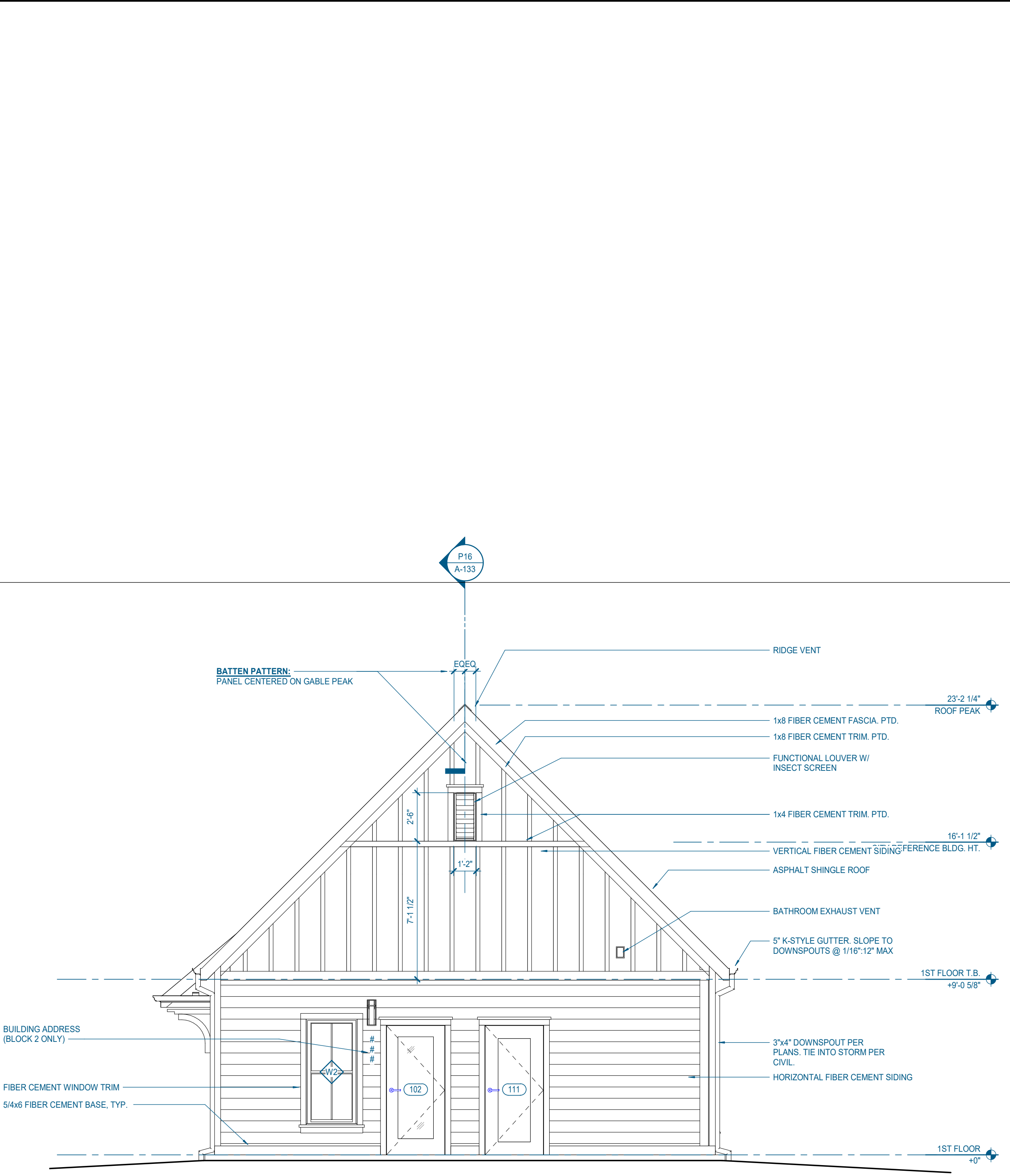
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2.1.C - BUILDING ELEVATIONS

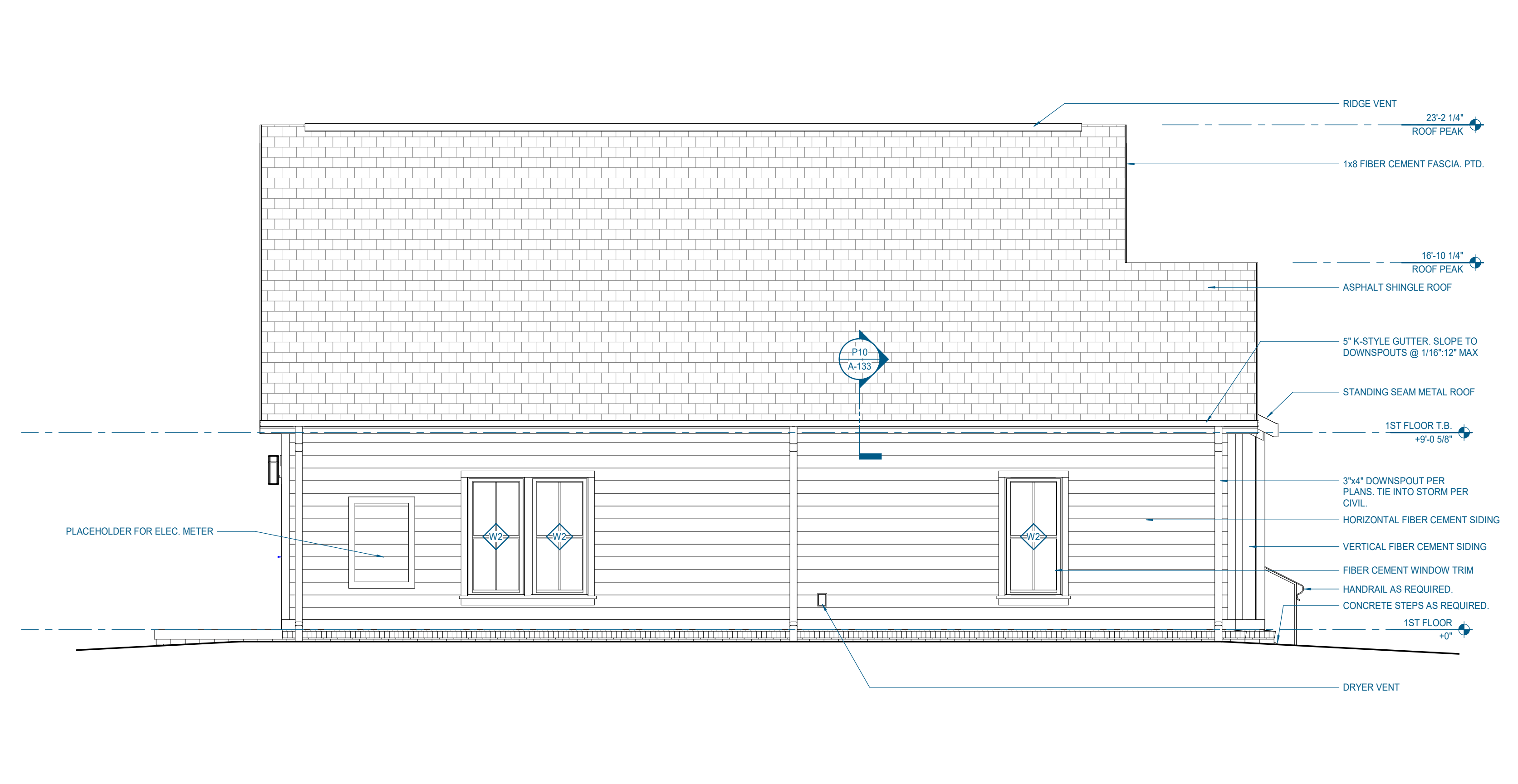
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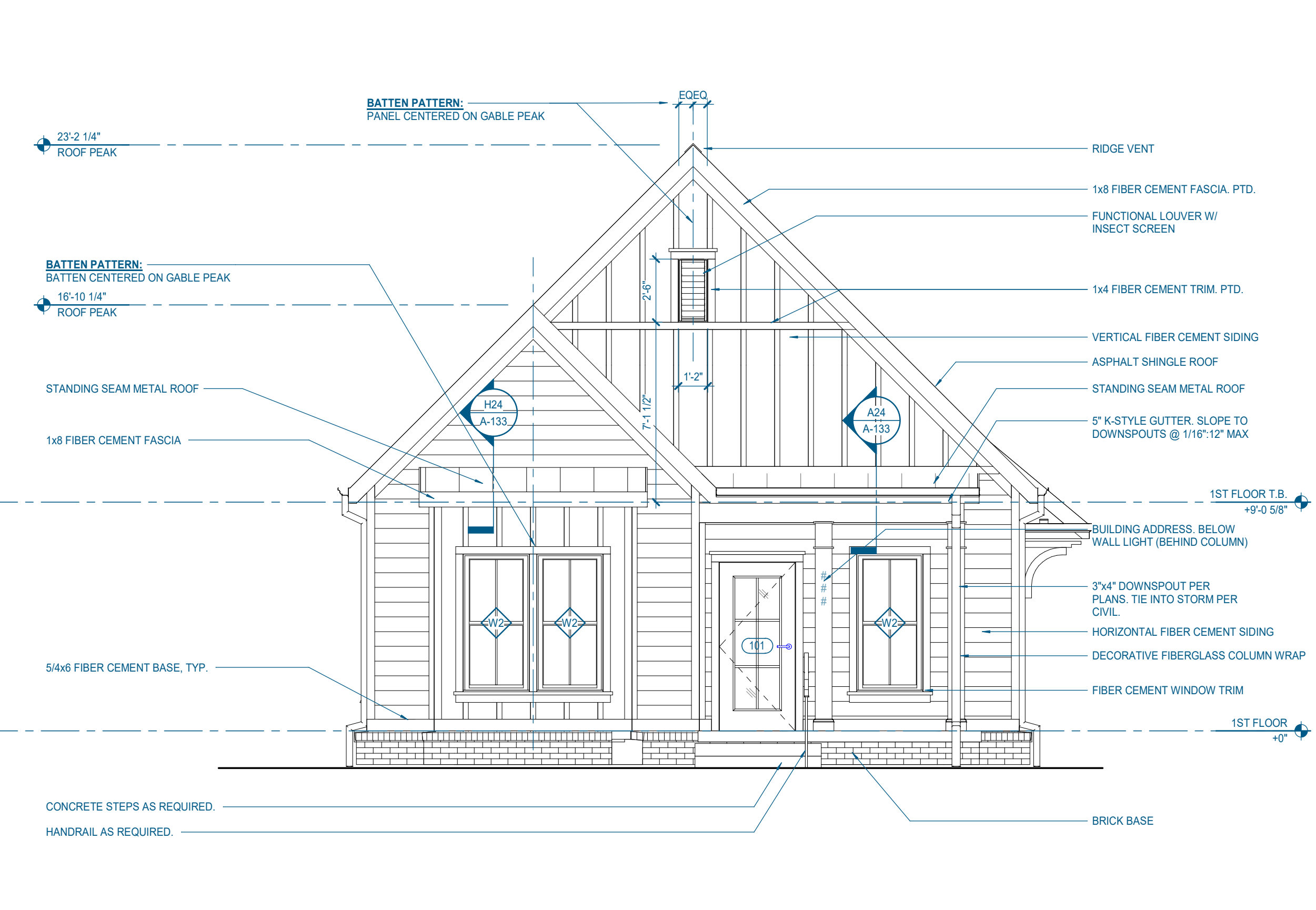
**H24 2.1.C - EAST ELEVATION**  
 1/4" = 1'-0" | A-231



**H12 2.1.C - NORTH ELEVATION (REAR)**  
 1/4" = 1'-0" | A-231



**A24 2.1.C - WEST ELEVATION**  
 1/4" = 1'-0" | A-231

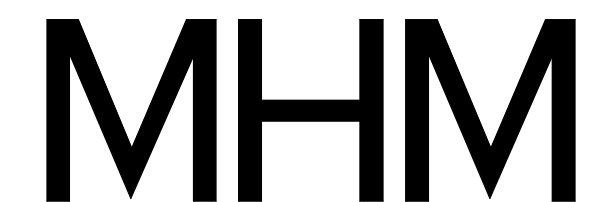


**A12 2.1.C - SOUTH ELEVATION (FRONT)**  
 1/4" = 1'-0" | A-231

6/30/2023 2:01:04 PM

ELEVATION GENERAL NOTES

- REFER TO CIVIL DRAWINGS FOR NUMBER OF STEPS AT PORCHES.
- ALL DOWNSPOUTS TO TIE INTO STORM SYSTEM. SEE CIVIL DRAWINGS FOR CONTINUATION DRAWINGS.
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  - A. SLOPE AT 5% AT PERVIOUS SURFACES FOR 10'0" MIN
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Project Information:

22054

**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

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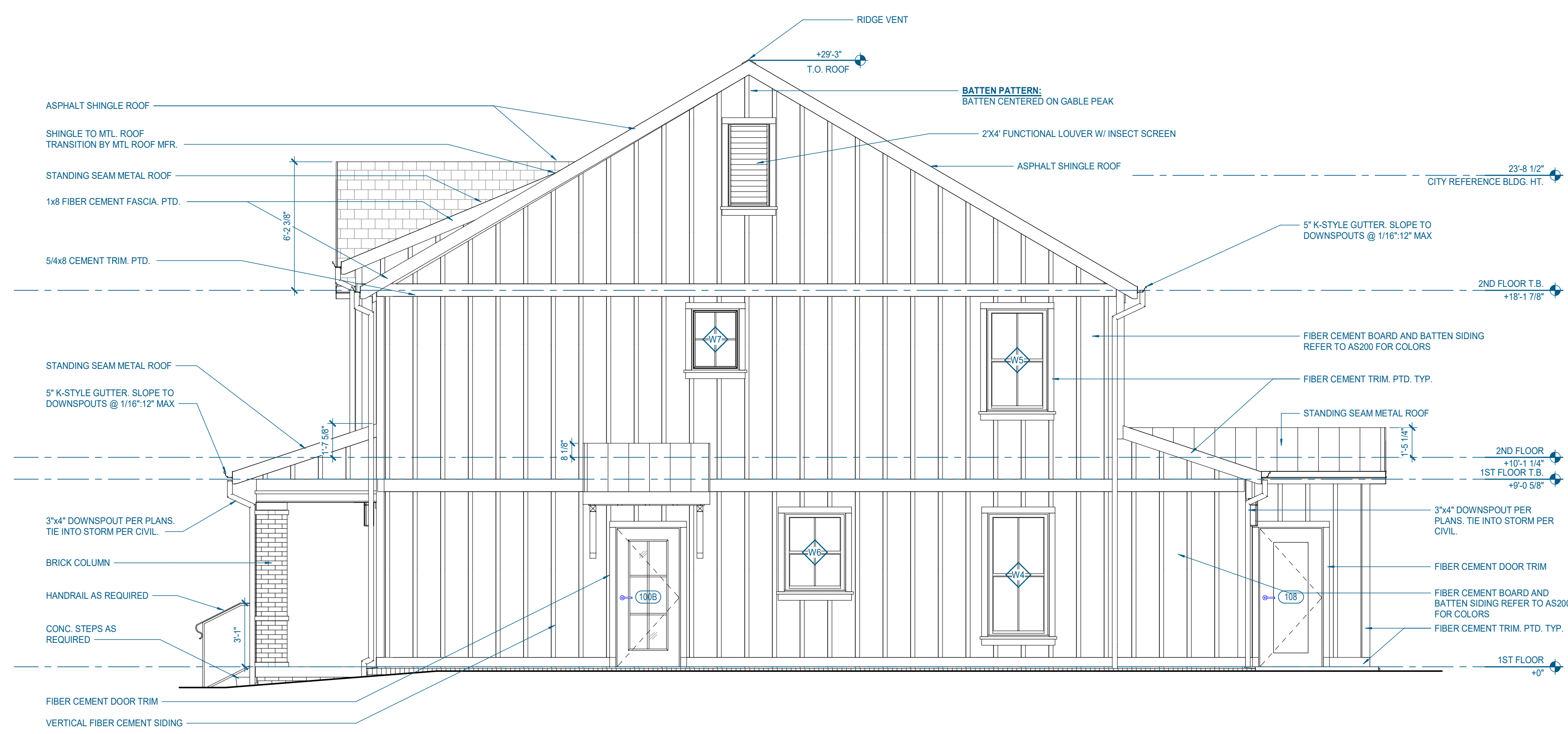
Issue Date:	MAY 11, 2023
PMC:	M. BUTLER
PM:	M. BUTLER
PA:	G. TAYLOR C. MYERS
Drawn By:	Author
Checked By:	Project Checked By

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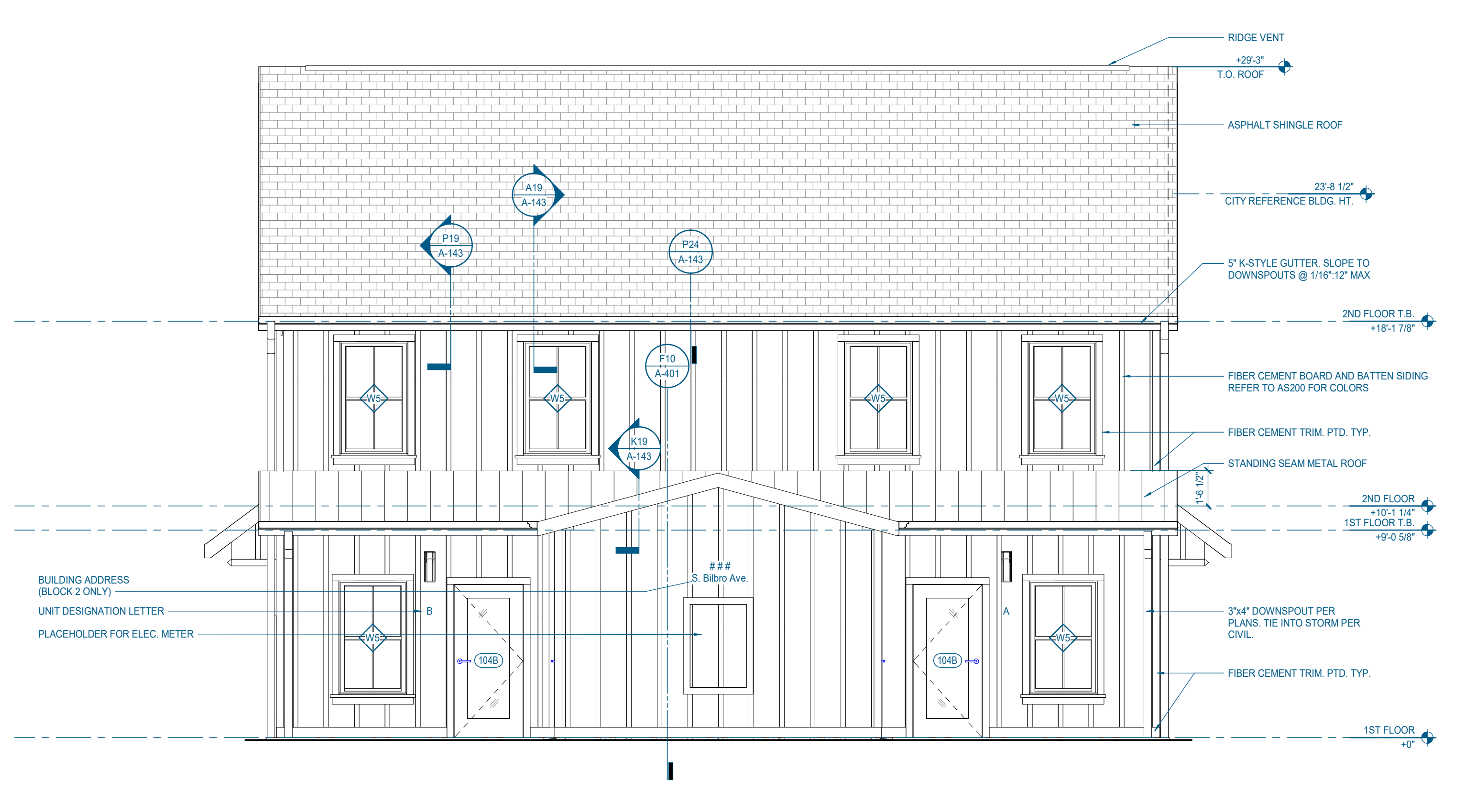
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3.2.A /3.2.A(u)-  
BUILDING ELEVATIONS

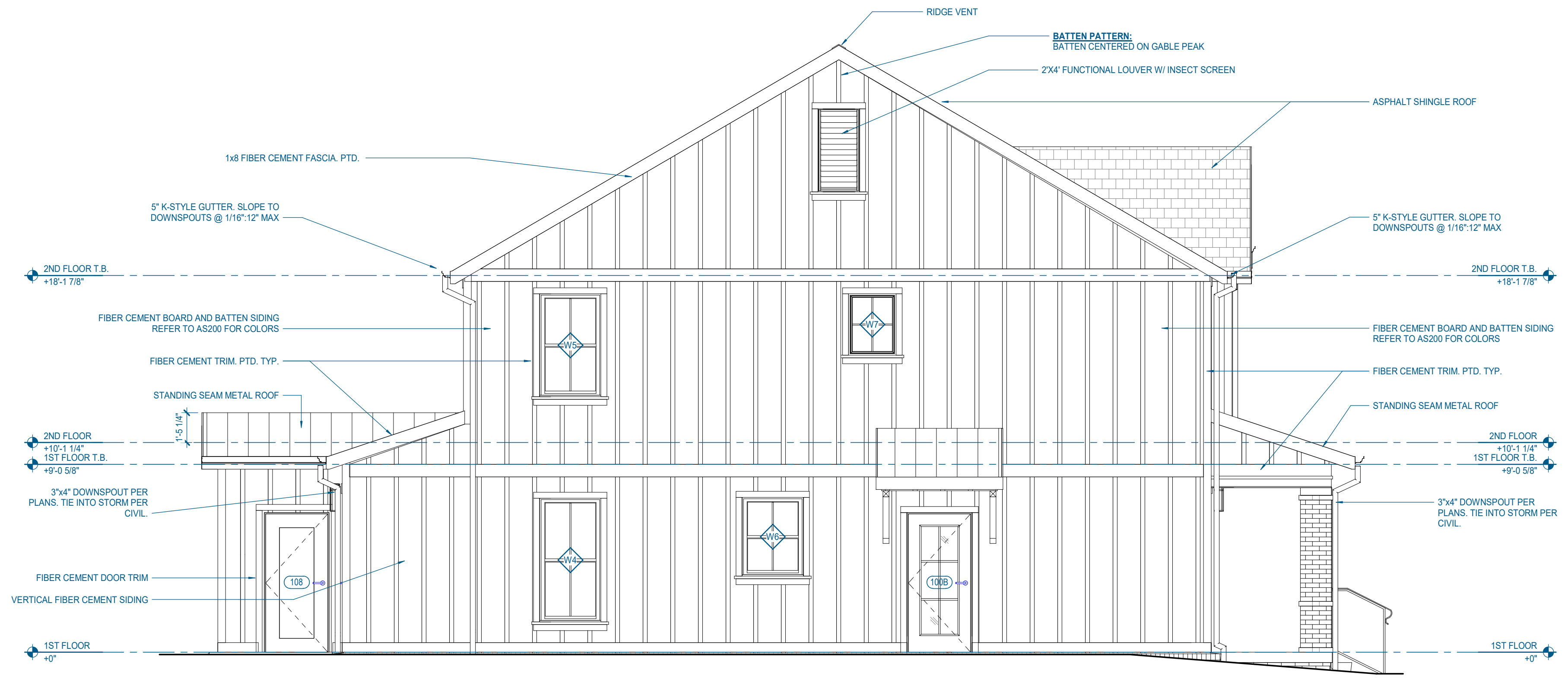
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**H24 3.2.A - EAST ELEVATION**  
1/4" = 1'-0" | A-241



**H11 3.2.A - NORTH ELEVATION (REAR)**  
1/4" = 1'-0" | A-241



**A24 3.2.A - WEST ELEVATION**  
1/4" = 1'-0" | A-241



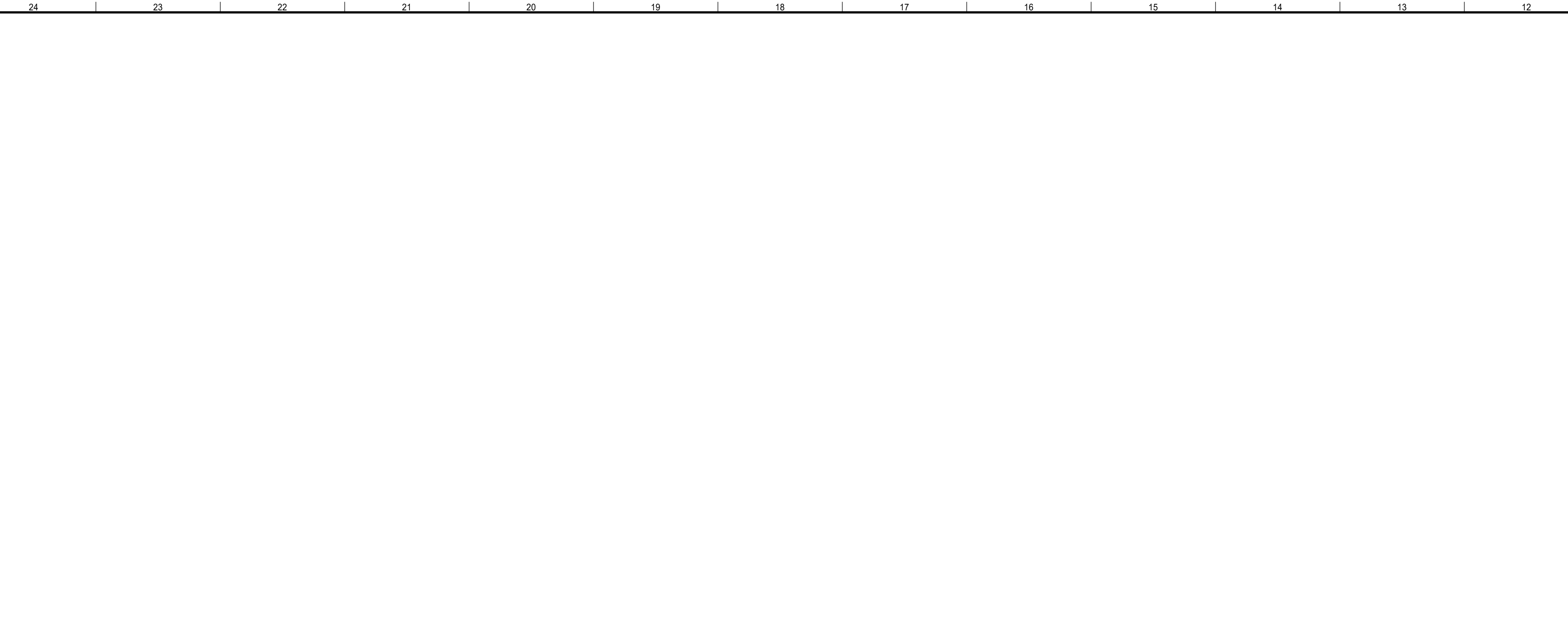
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1/4" = 1'-0" | A-241

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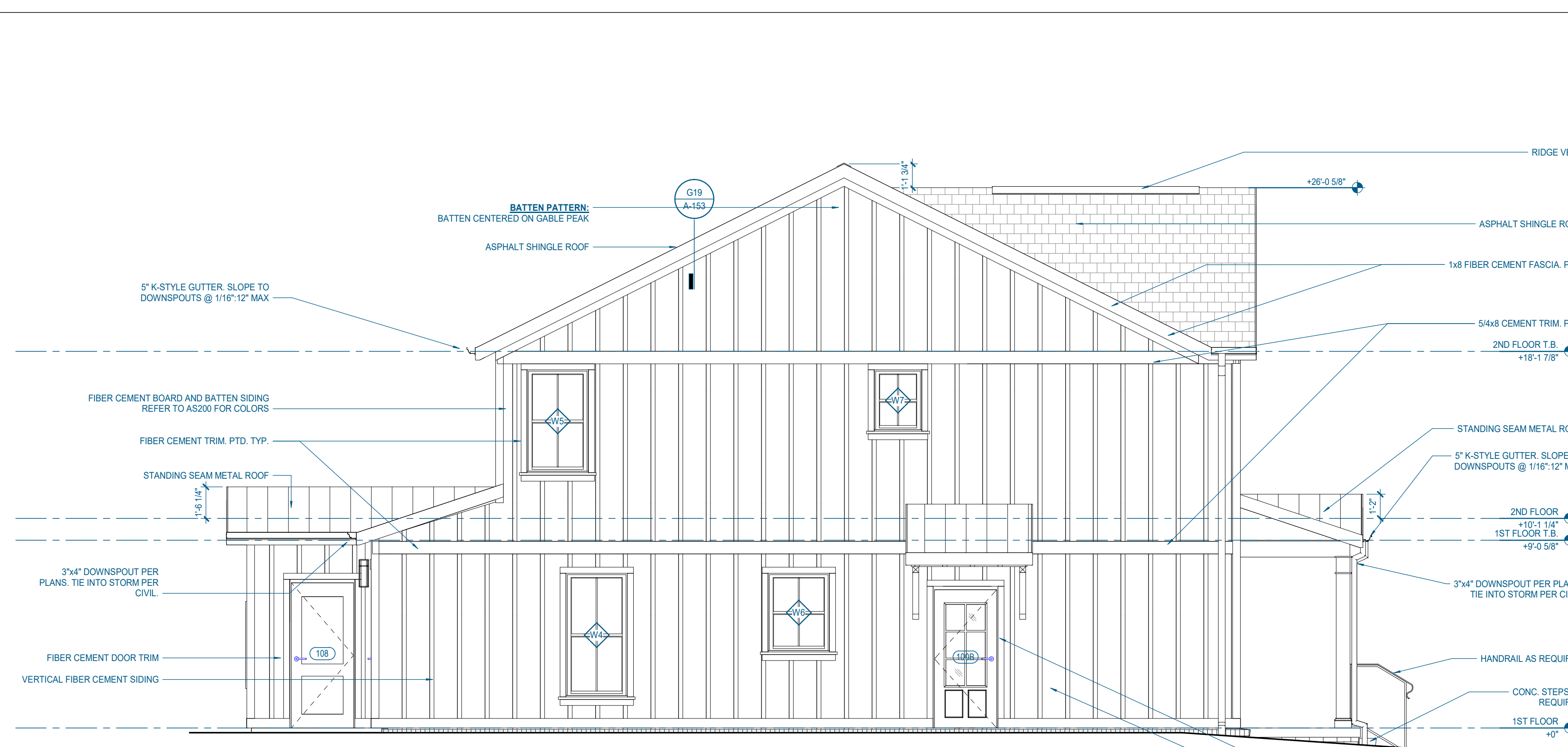


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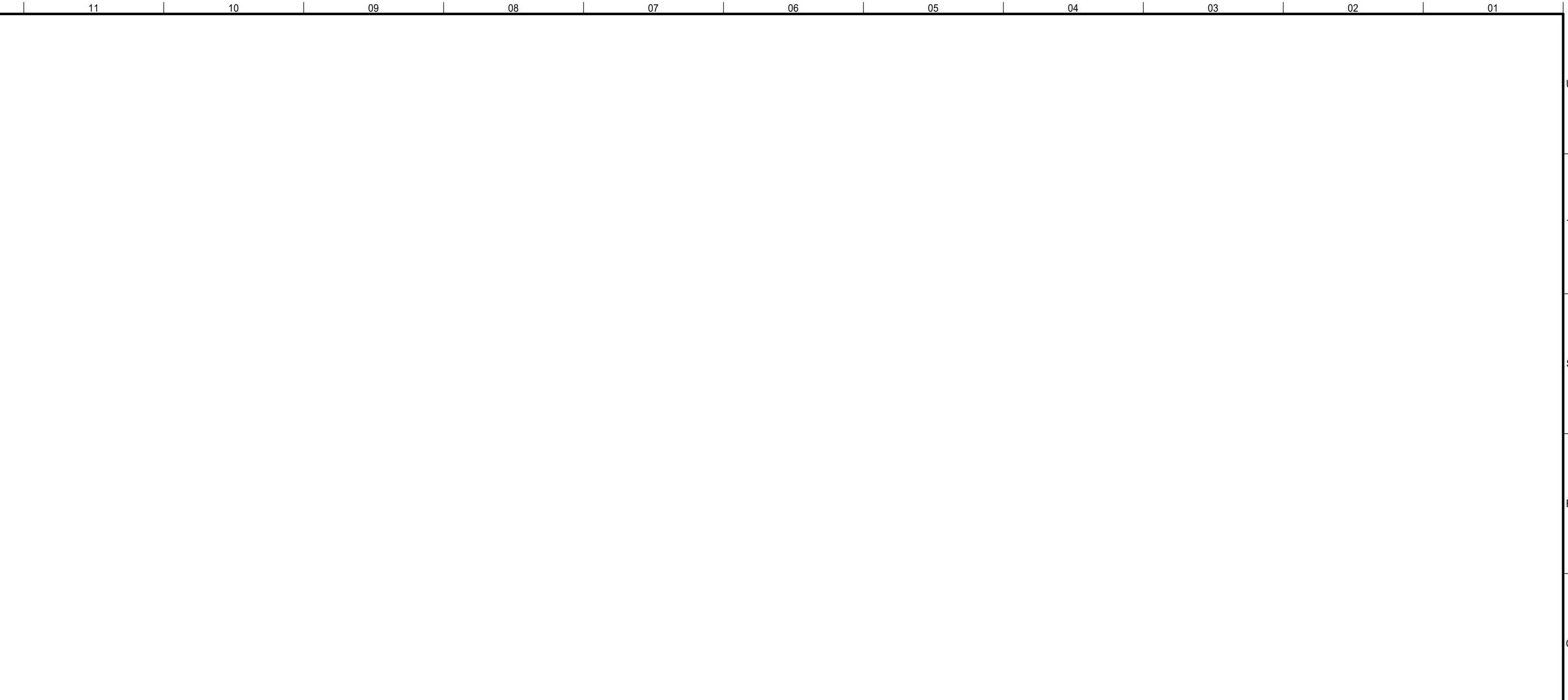
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PA	G. TAYLOR C. MYERS
Drawn By:	Author
Checked By:	Project Checked By



**H24 3.2.B - EAST ELEVATION**  
1/4" = 1'-0" | A-251



**A24 3.2.B - WEST ELEVATION**  
1/4" = 1'-0" | A-251



**H11 3.2.B - NORTH ELEVATION (REAR)**  
1/4" = 1'-0" | A-251



**A11 3.2.B - SOUTH ELEVATION (FRONT)**  
1/4" = 1'-0" | A-251

ELEVATION GENERAL NOTES

- REFER TO CIVIL DRAWINGS FOR NUMBER OF STEPS AT PORCHES.
- ALL DOWNSPOUTS TO TIE INTO STORM SYSTEM. SEE CIVIL DRAWINGS FOR CONTINUATION DRAWINGS.
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STRUCTURAL ENGINEER:  
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Project Information:

22054

**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

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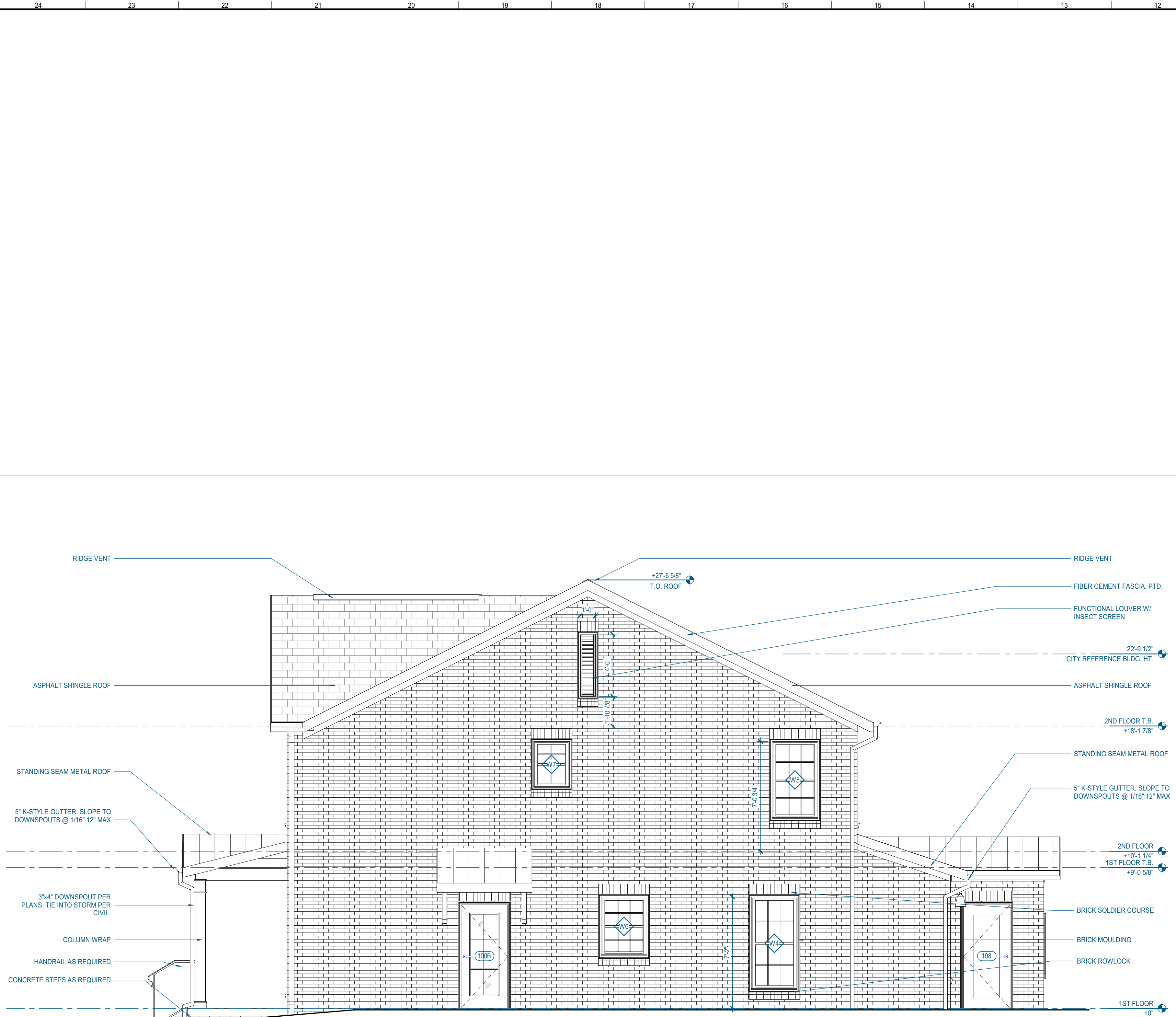
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PIC	M. BUTLER
PM	M. BUTLER
PA	G. TAYLOR C. MYERS
Drawn By:	Author
Checked By:	Project Checked By

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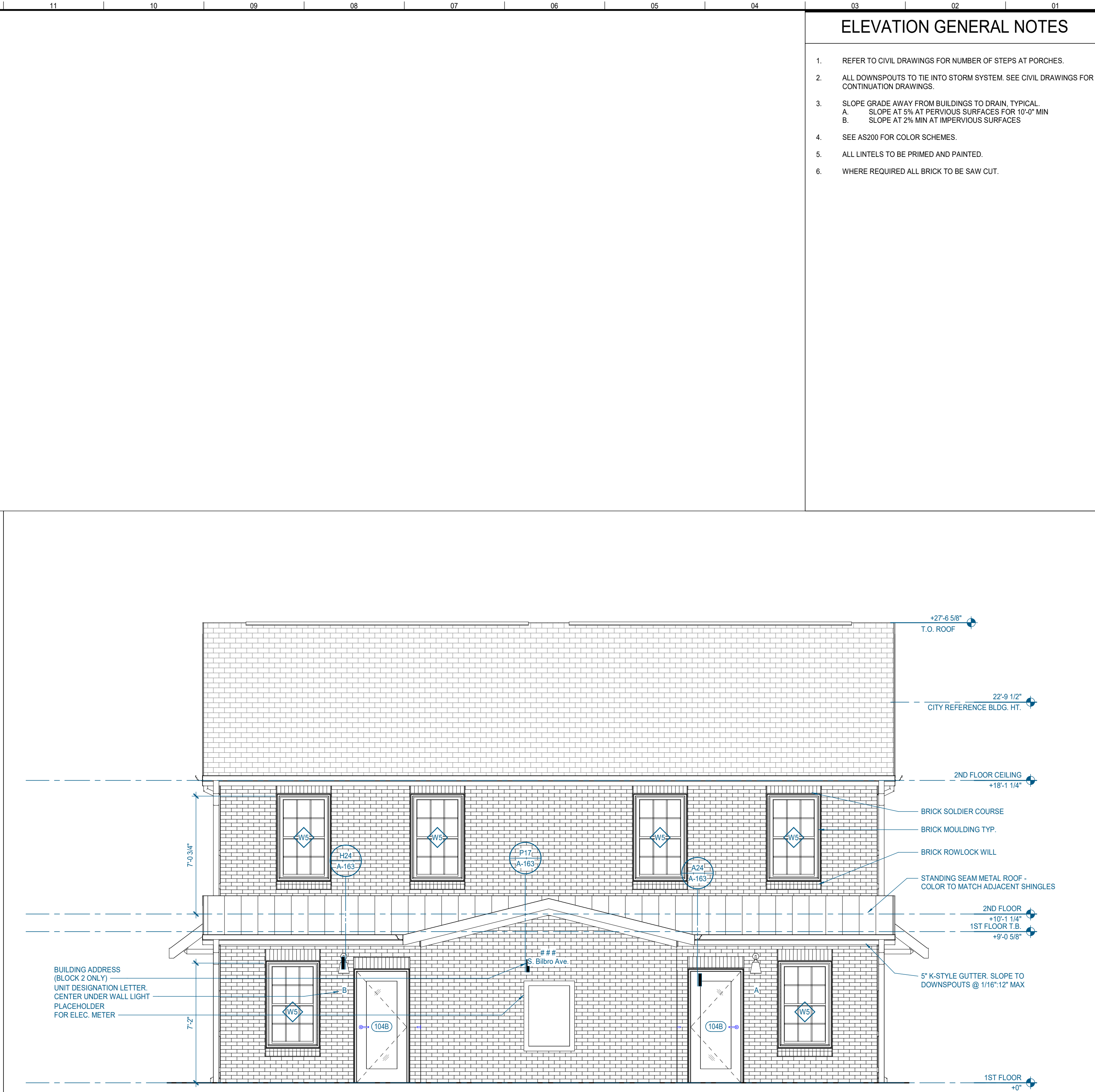
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3.2.C - BUILDING ELEVATIONS

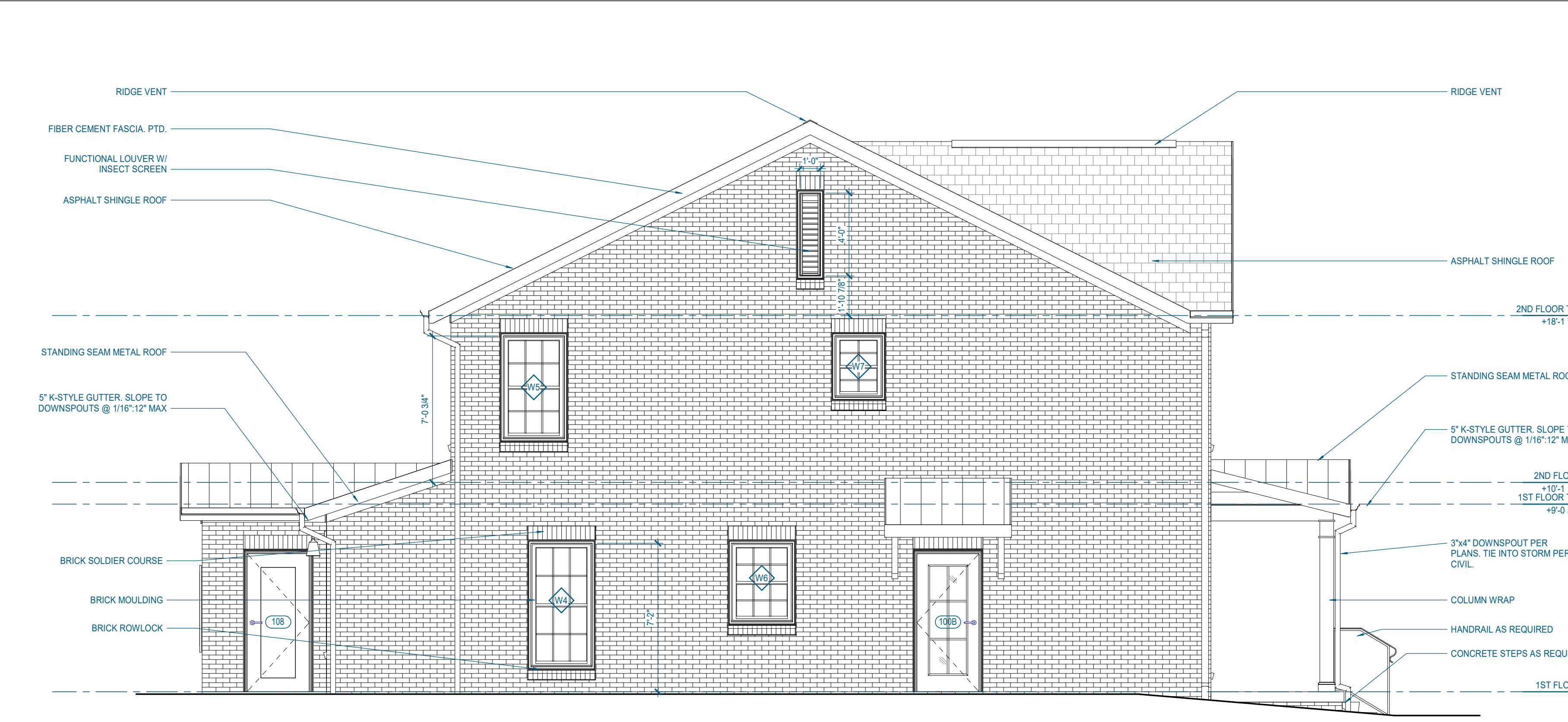
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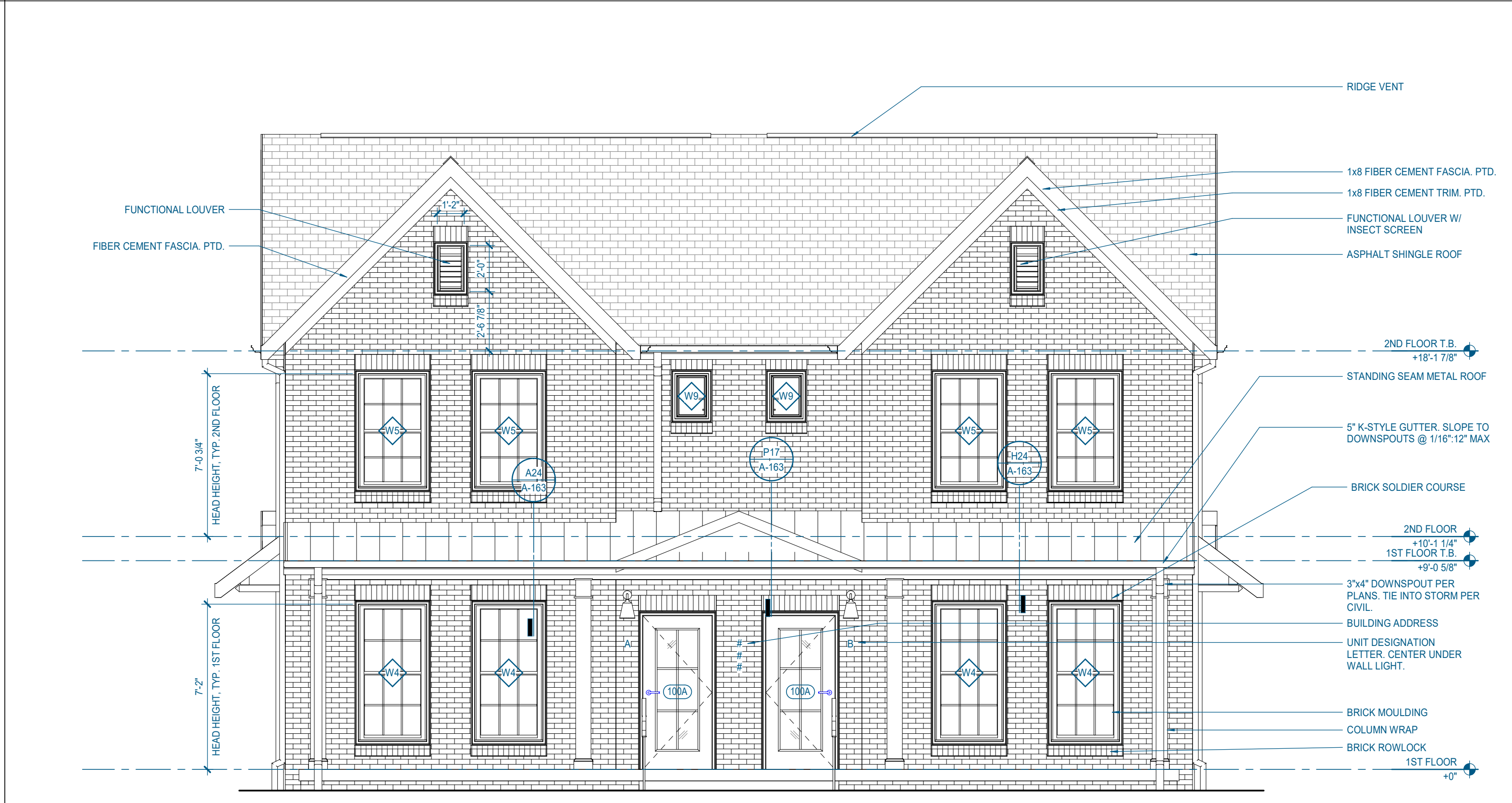
**H24 3.2.C - EAST ELEVATION**  
1/4" = 1'-0" | A-261



**H11 3.2.C - NORTH ELEVATION (REAR)**  
1/4" = 1'-0" | A-261



**A24 3.2.C - WEST ELEVATION**  
1/4" = 1'-0" | A-261



**A11 3.2.C - SOUTH ELEVATION (FRONT)**  
1/4" = 1'-0" | A-261

6/30/2023 2:01:12 PM



Consultants:

CIVIL ENGINEER:  
**SITE ENGINEERING CONSULTANTS, INC.**  
850 MIDDLE TN BLVD.  
MURFREESBORO, TN 37129  
1.615.890.7901

LANDSCAPE ARCHITECT:  
**RAGAN SMITH**

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1.615.548.6050

STRUCTURAL ENGINEER:  
**HAINES STRUCTURAL GROUP**

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Project Information:

**22054**

**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

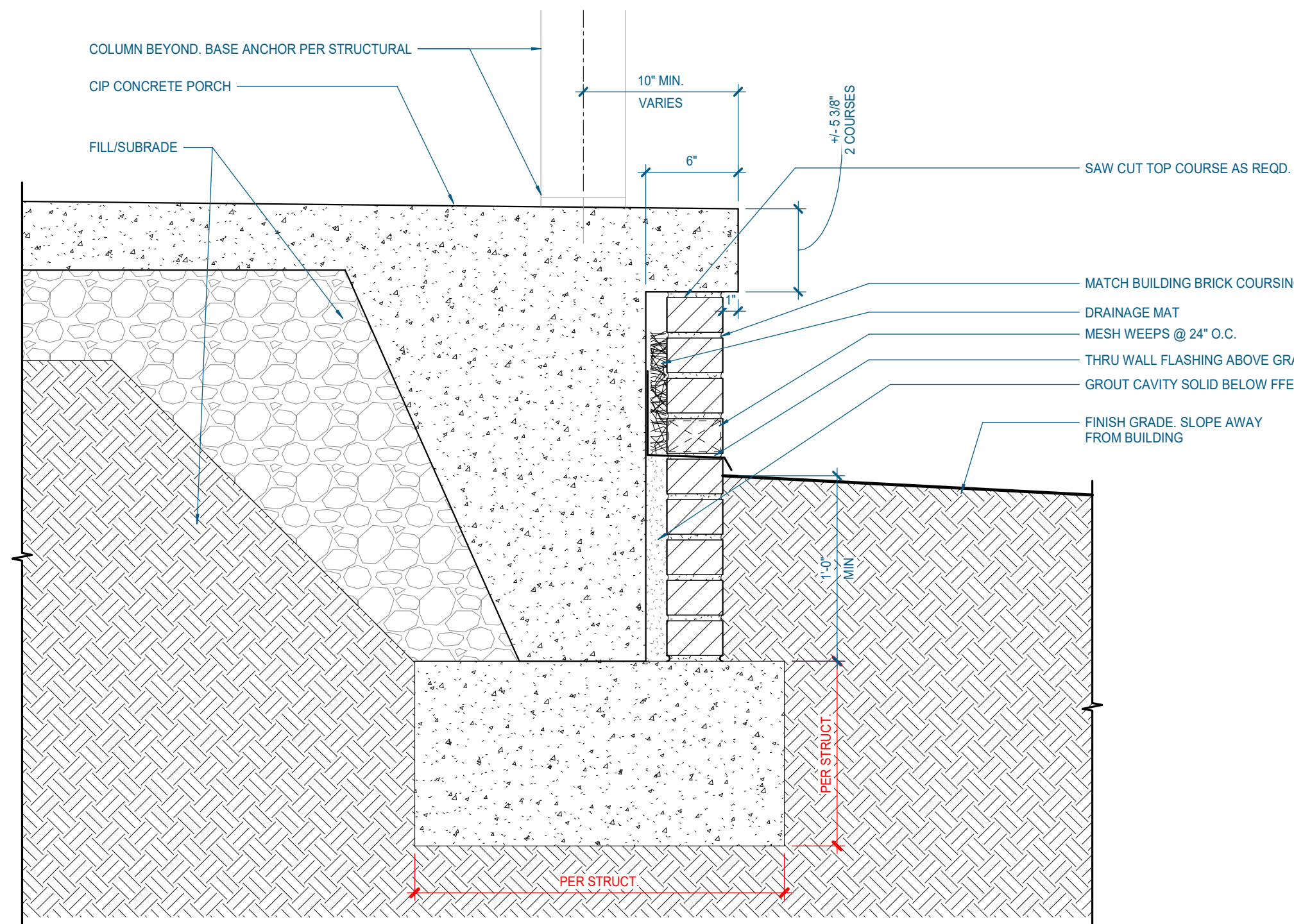
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PA	G. TAYLOR C. MYERS
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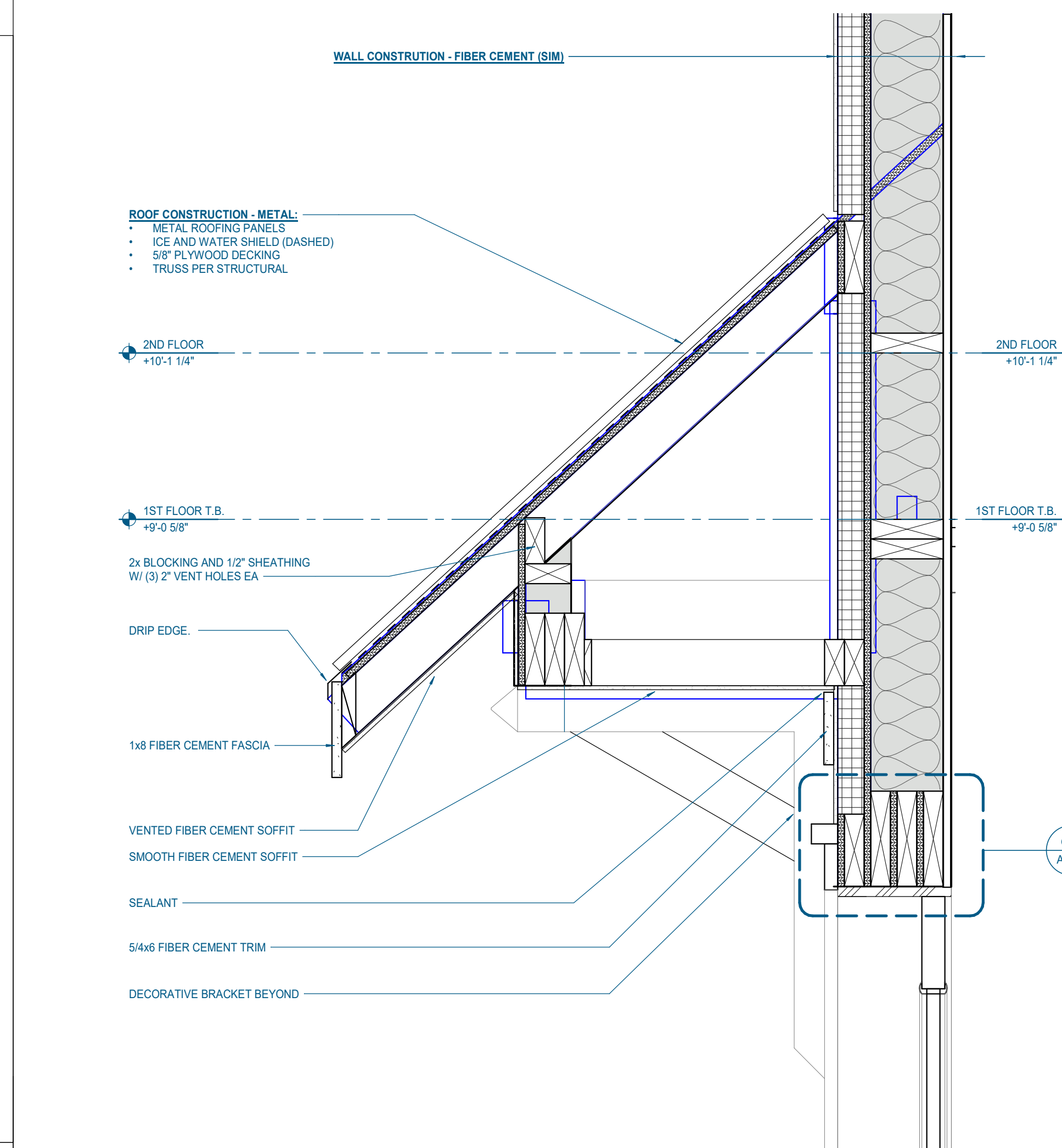
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TYP. EXTERIOR DETAILS



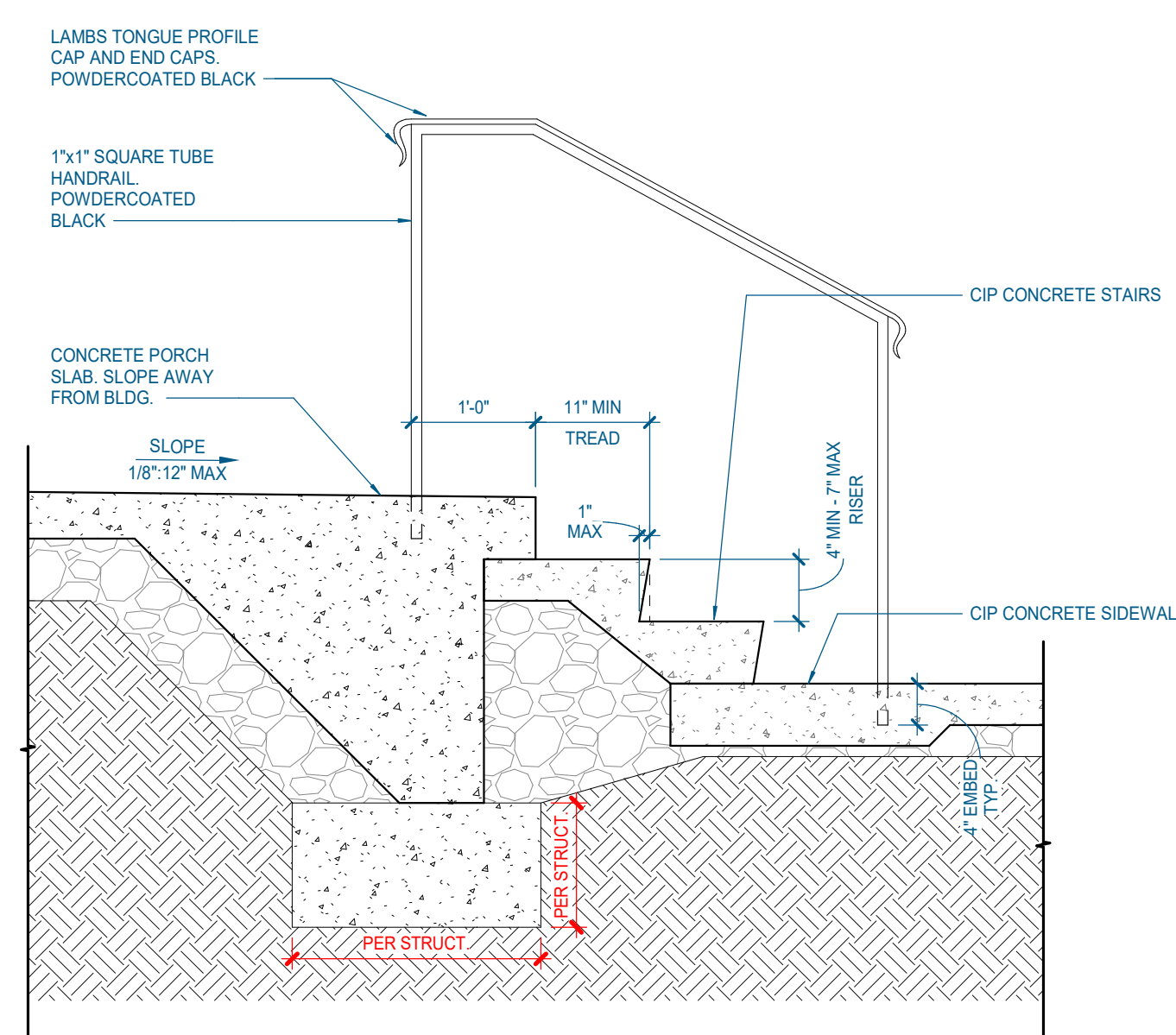
**H17** PORCH WALL DETAIL

1 1/2" = 1'-0" | A-302



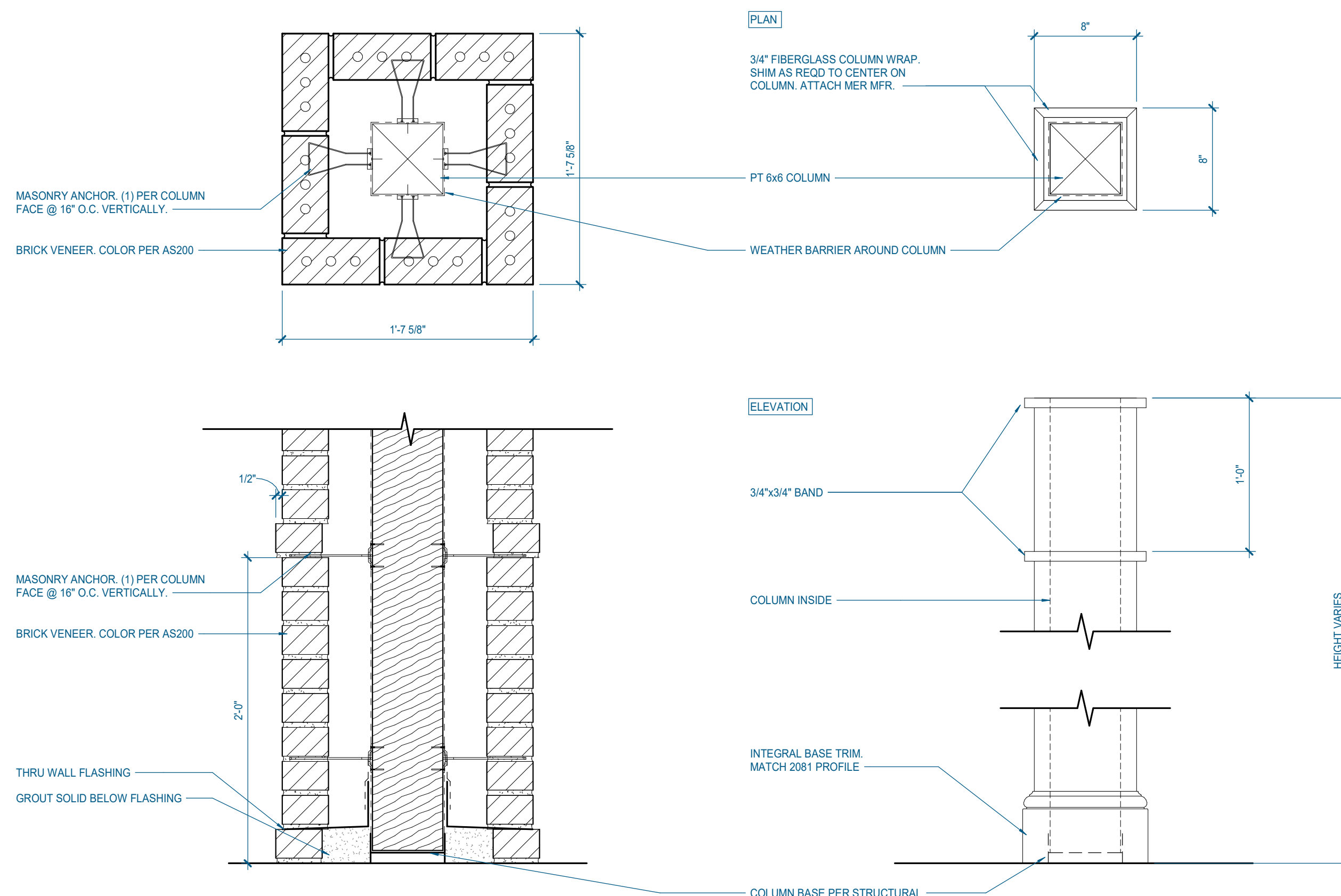
**1** EXTERIOR ENTRY AWNING SECTION

1 1/2" = 1'-0" | A-302



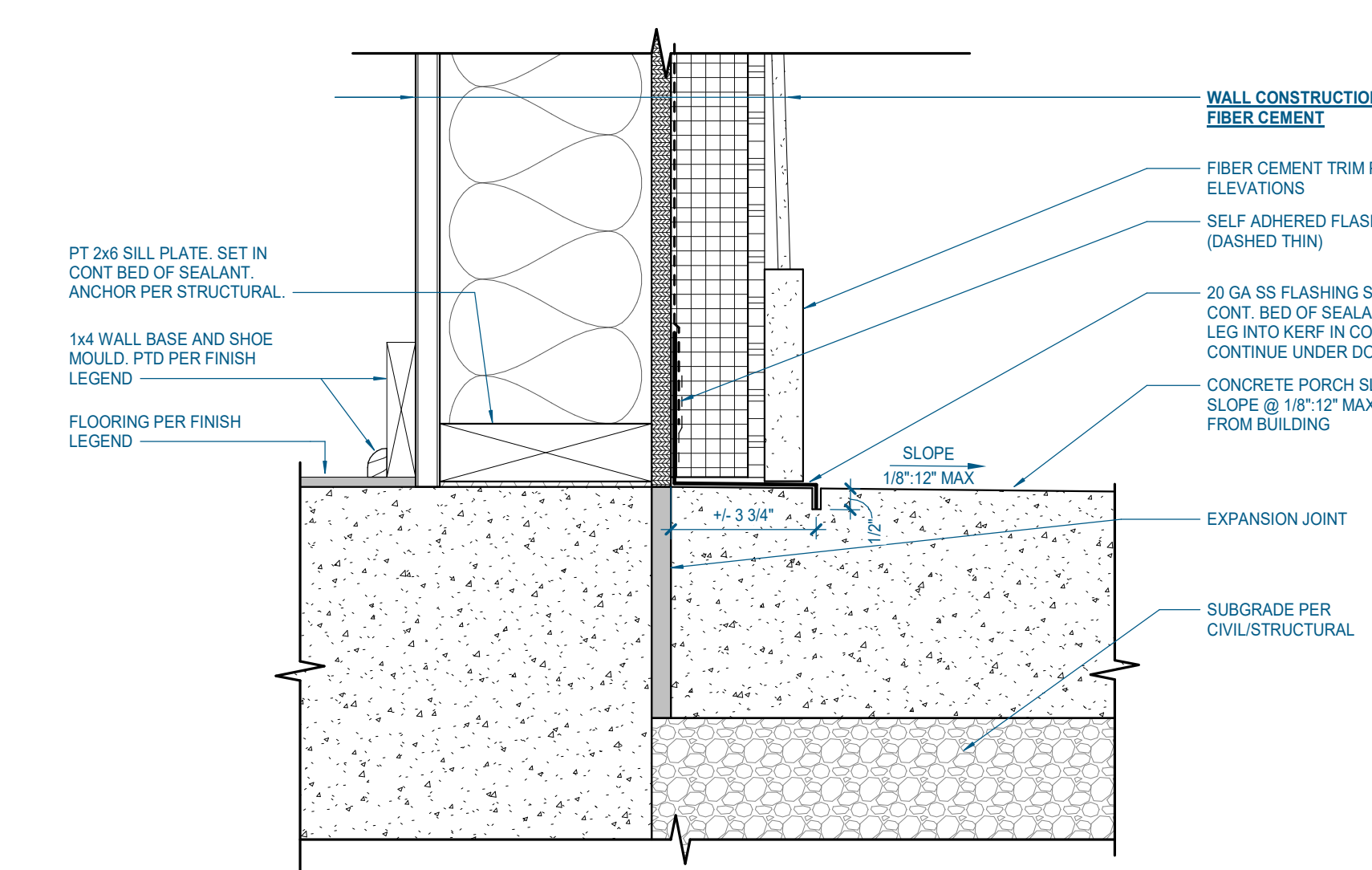
**A24** EXTERIOR STAIR AND HANDRAIL - PERFORMANCE CRITERIA

3/4\"/>



**A17** COLUMN DETAILS

1 1/2" = 1'-0" | A-302



**A07** TYPICAL SIDING FLASHING DETAIL @ REAR PORCHES/DRIVEWAYS

3\"/>

Consultants:

CIVIL ENGINEER:  
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Project Information:

**22054**

**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

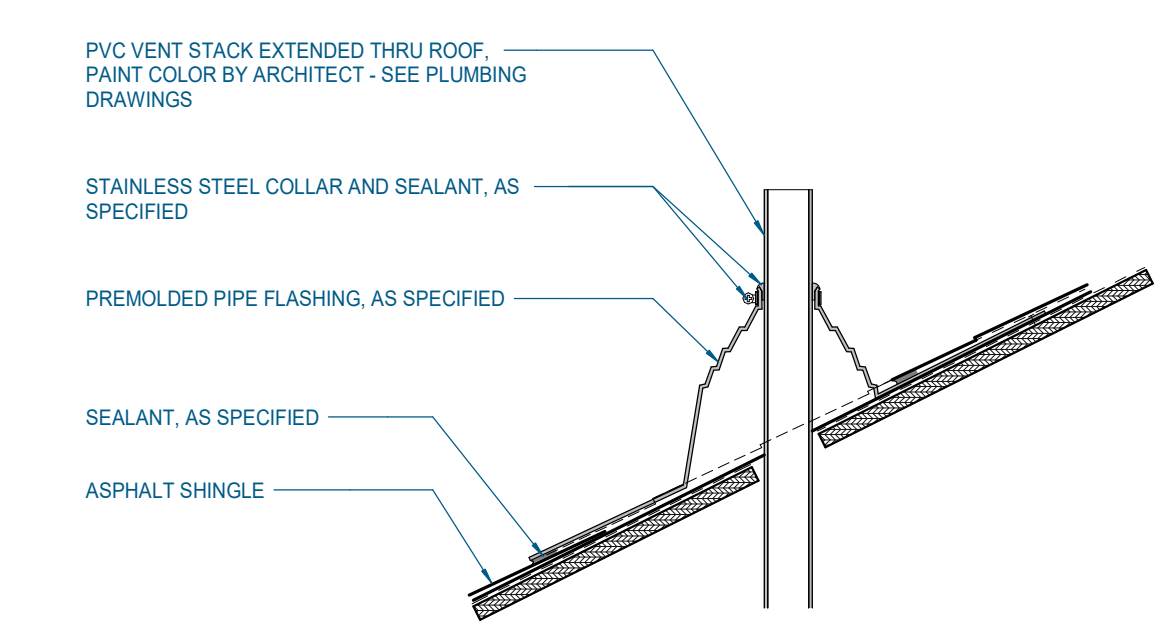
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 PIC: M. BUTLER  
 PM: M. BUTLER  
 PA: G. TAYLOR C. MYERS  
 Drawn By: Author  
 Checked By: Project Checked By

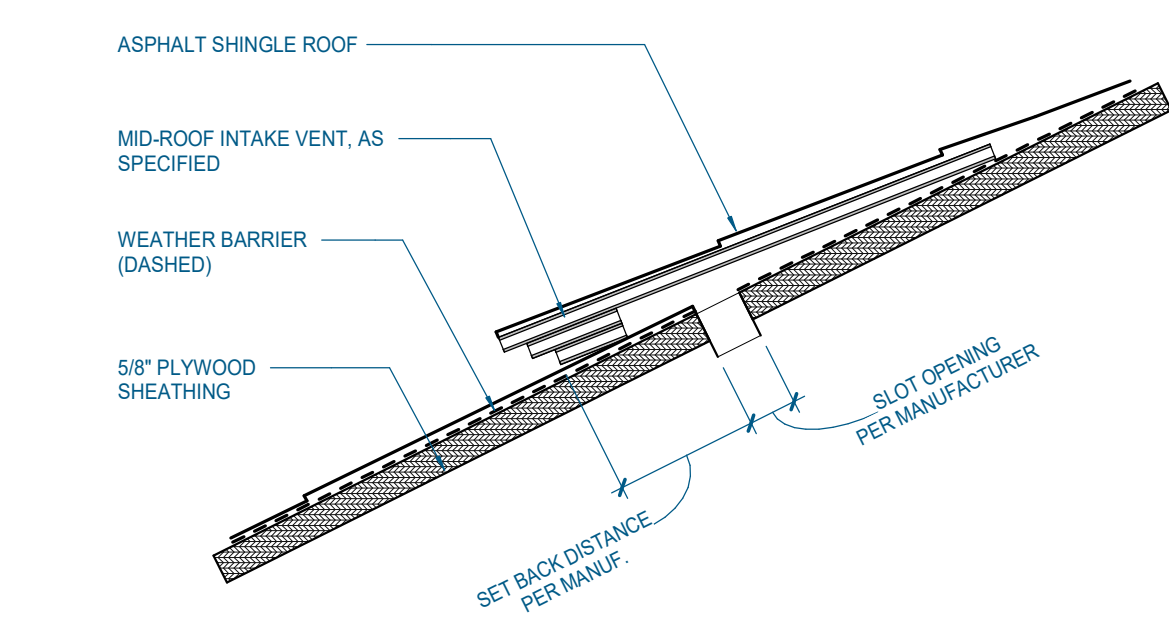
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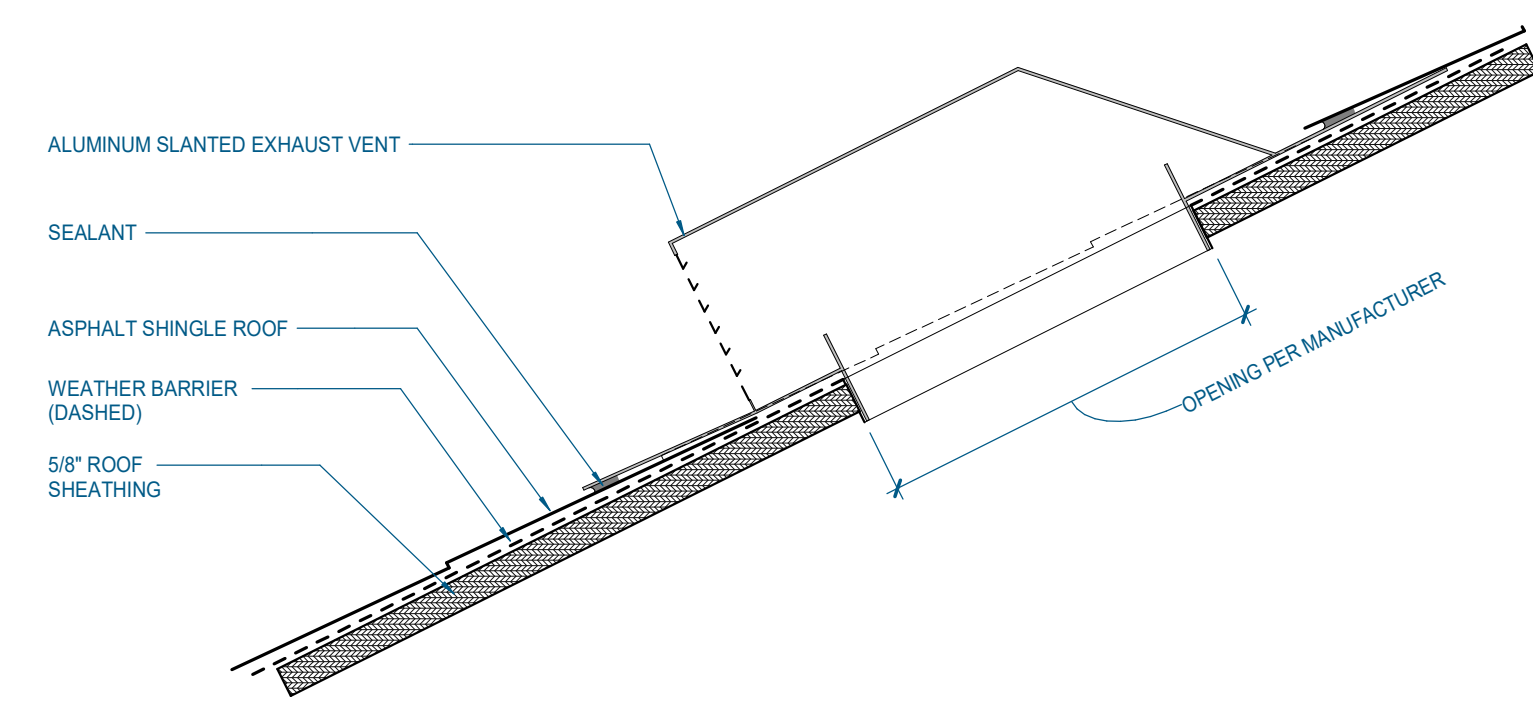
TYP. EXTERIOR DETAILS



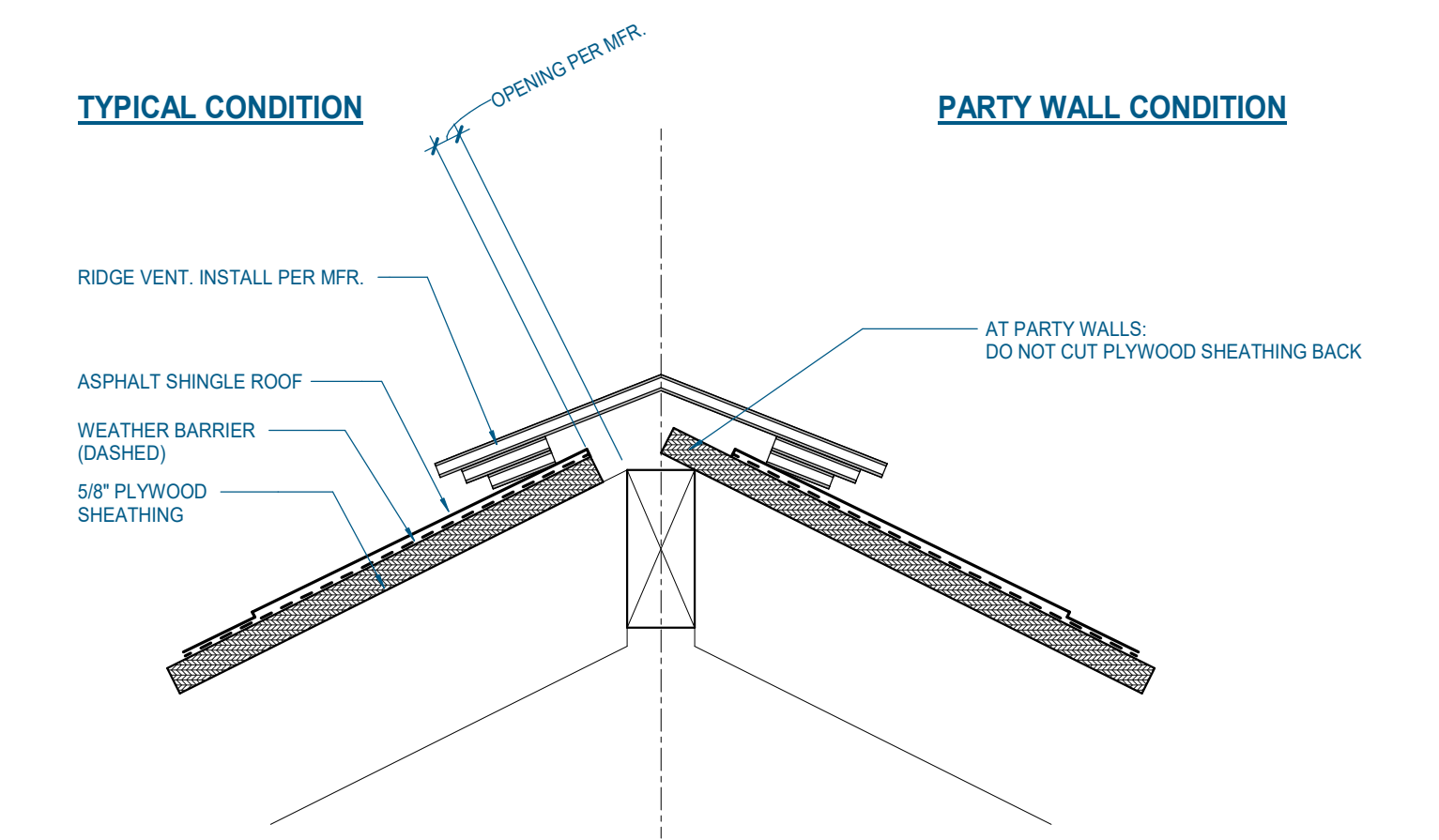
**R06** ROOF PENETRATION DETAIL  
1 1/2" = 1'-0" | A-303



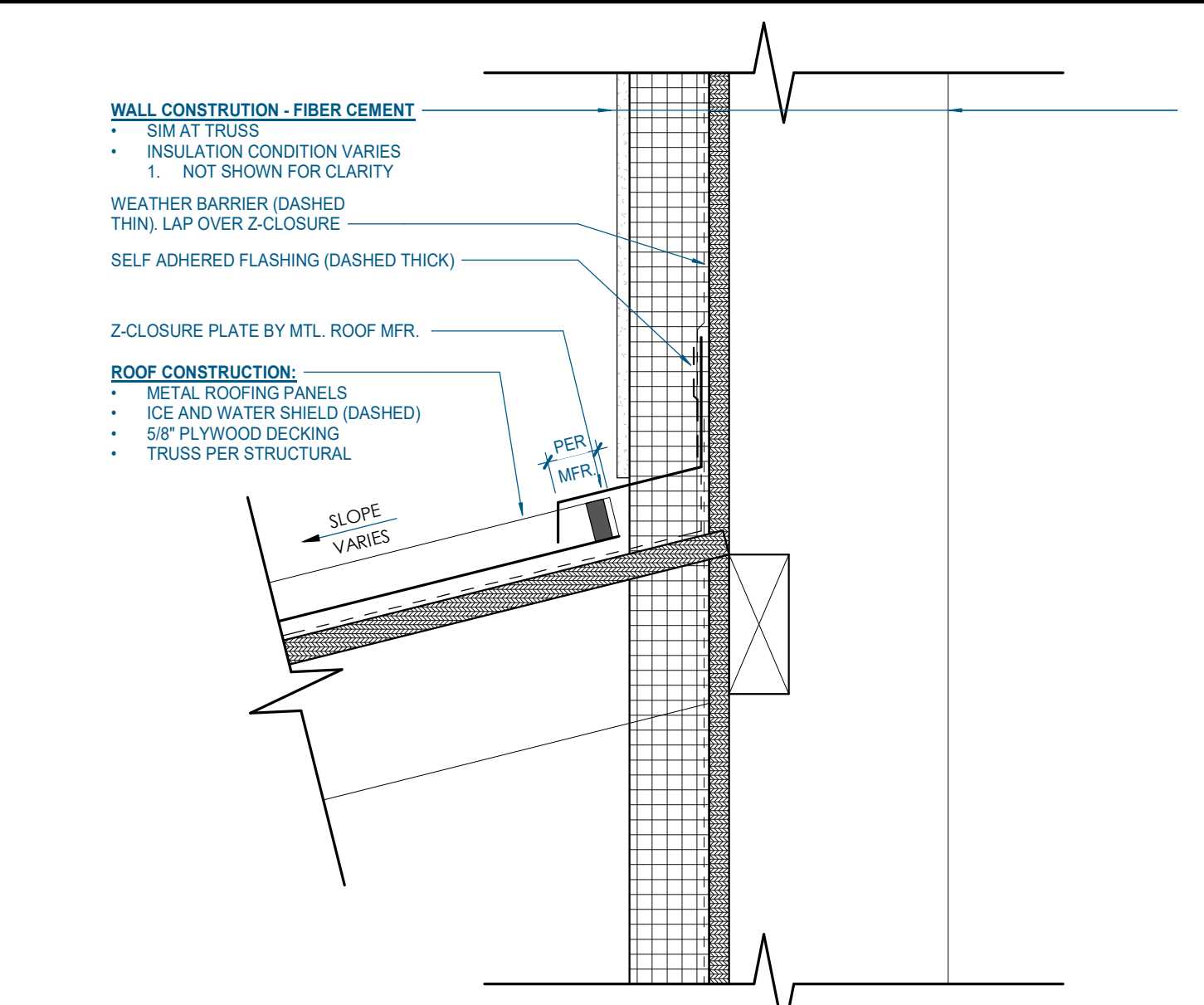
**L06** MID ROOF INTAKE VENT  
3" = 1'-0" | A-303



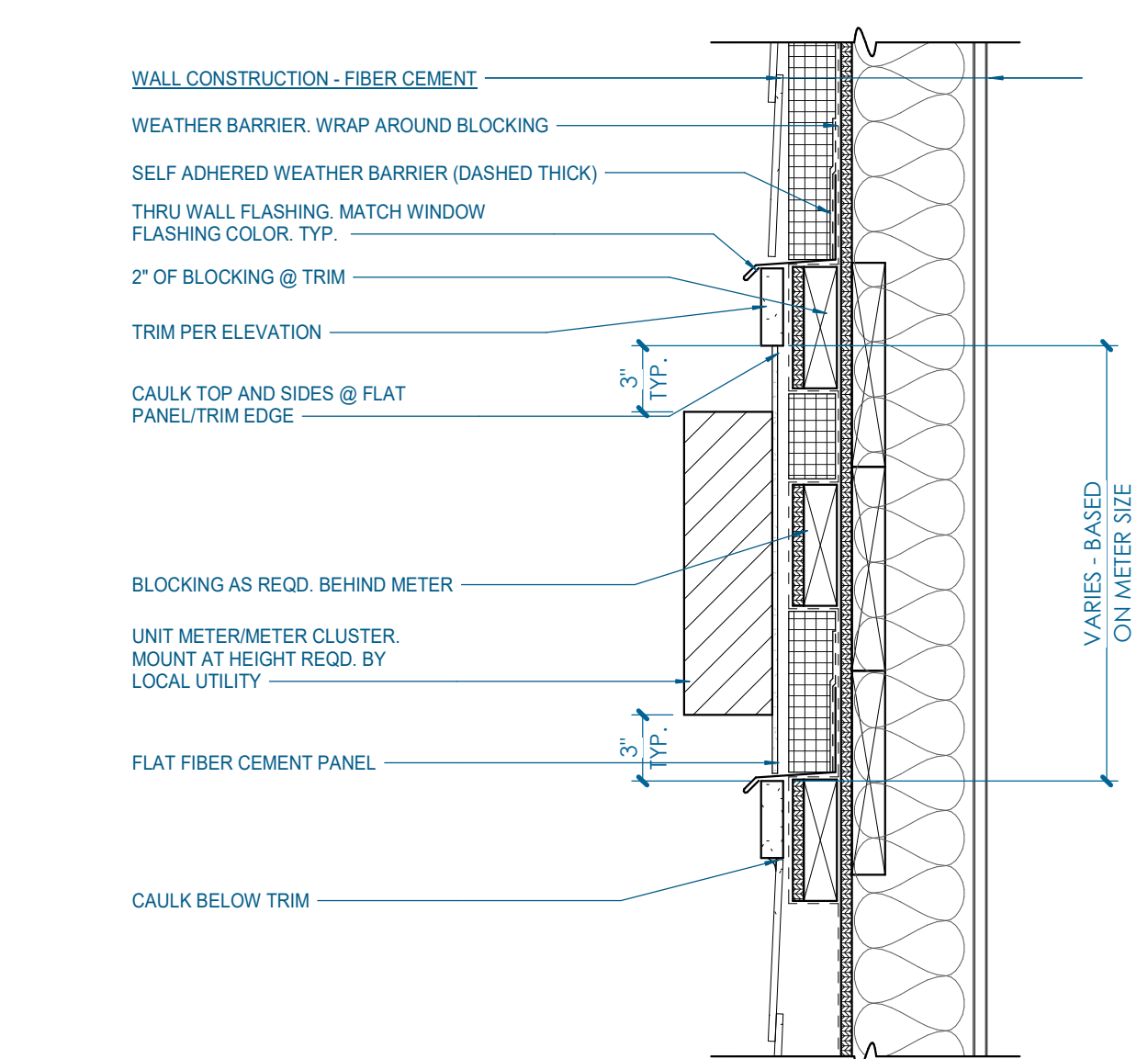
**F06** ROOF EXHAUST VENT  
3" = 1'-0" | A-303



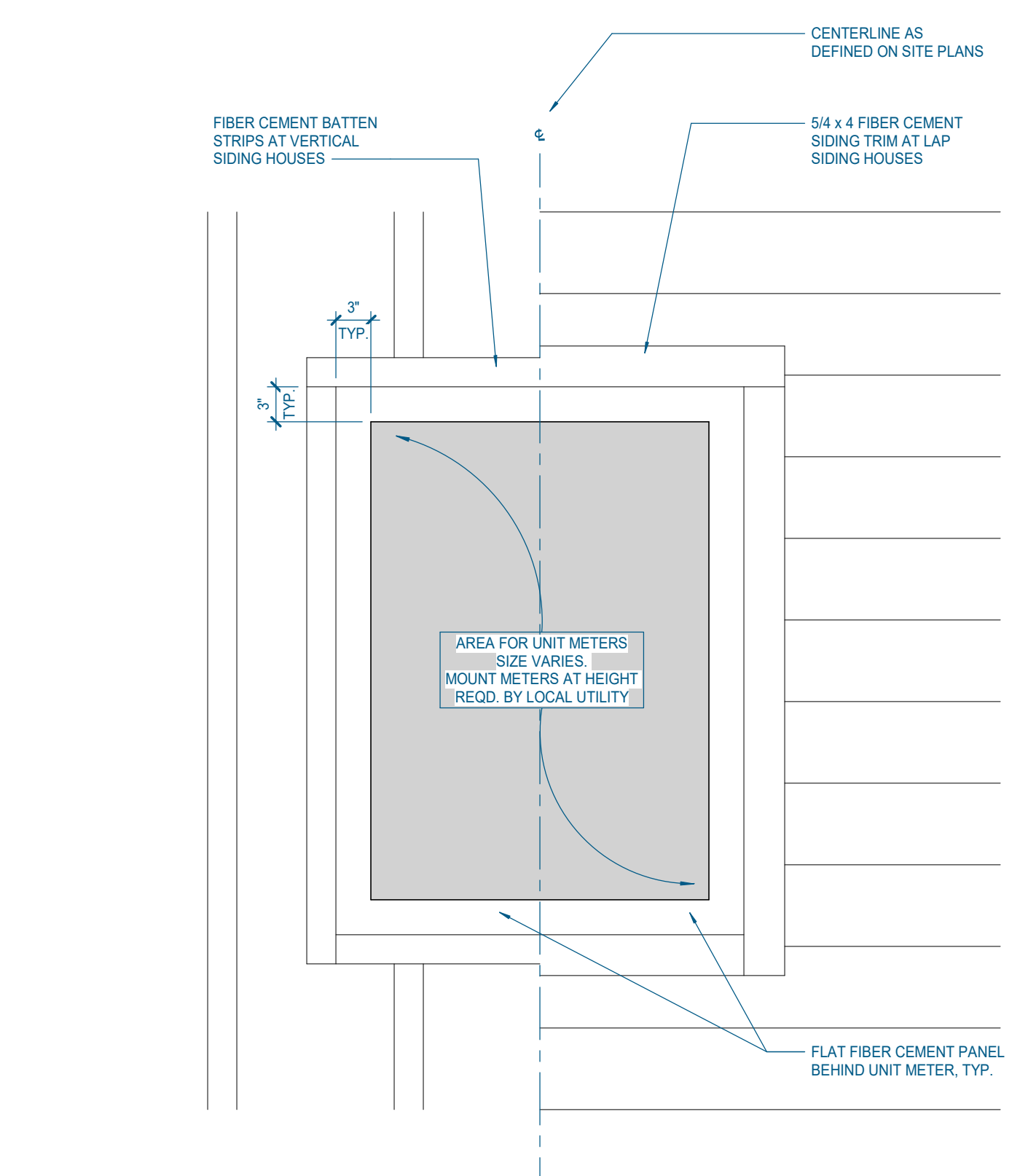
**A06** RIDGE VENT  
3" = 1'-0" | A-303



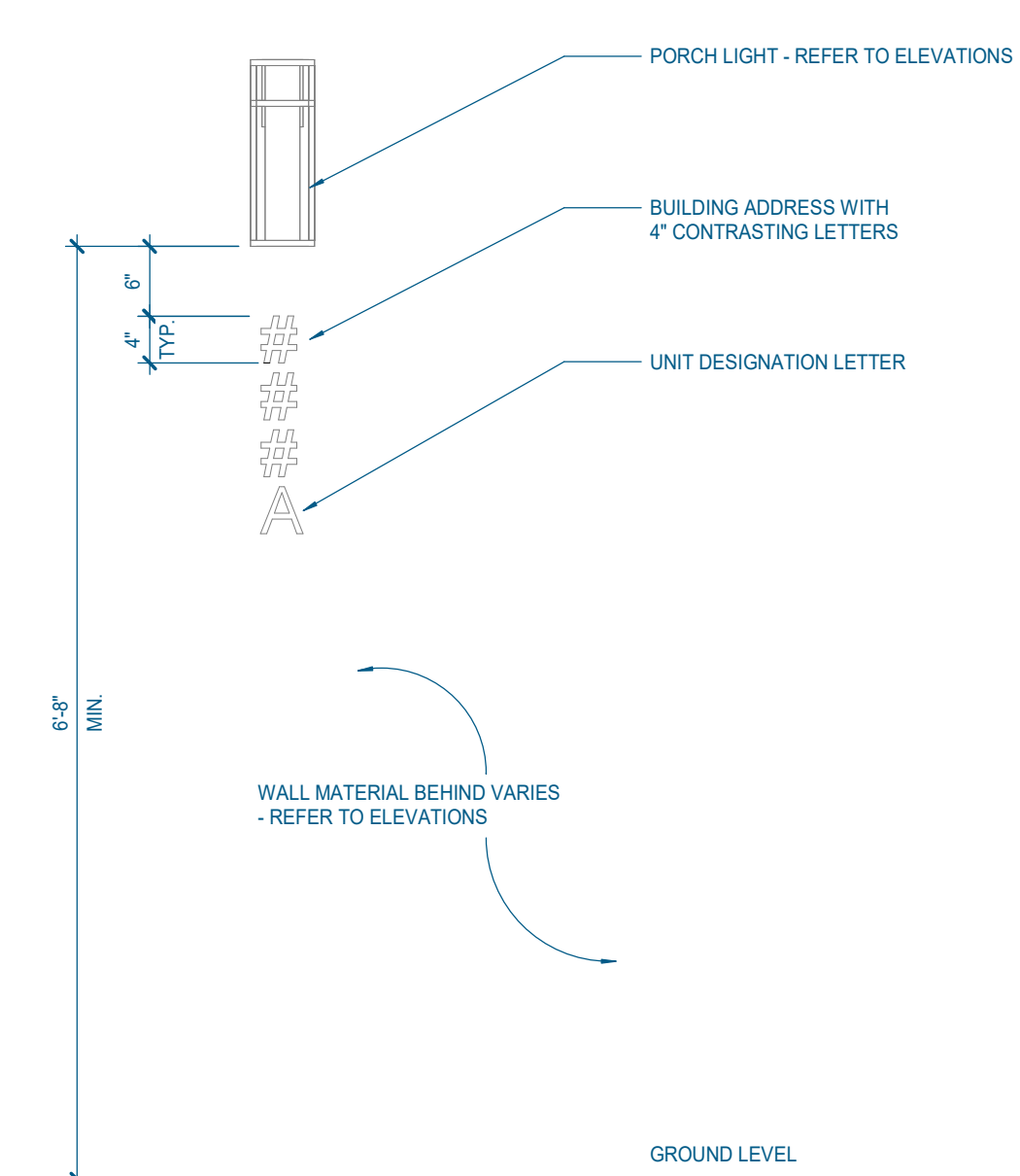
**Q24** METAL ROOF TO WALL DETAIL @ SIDING  
3" = 1'-0" | A-303



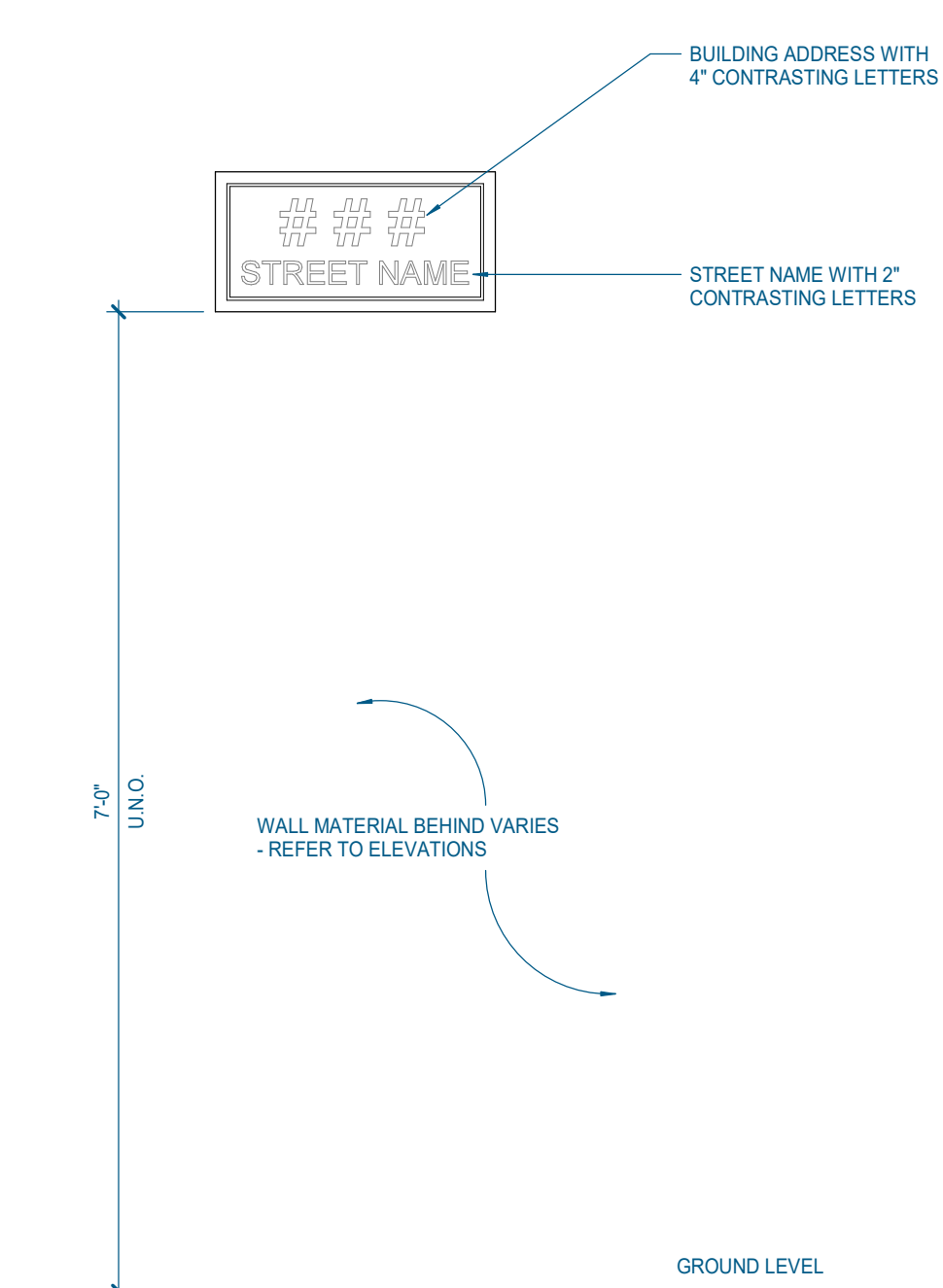
**H24** SECTION DETAIL THRU UNIT METER BACKUP PANEL  
1 1/2" = 1'-0" | A-303



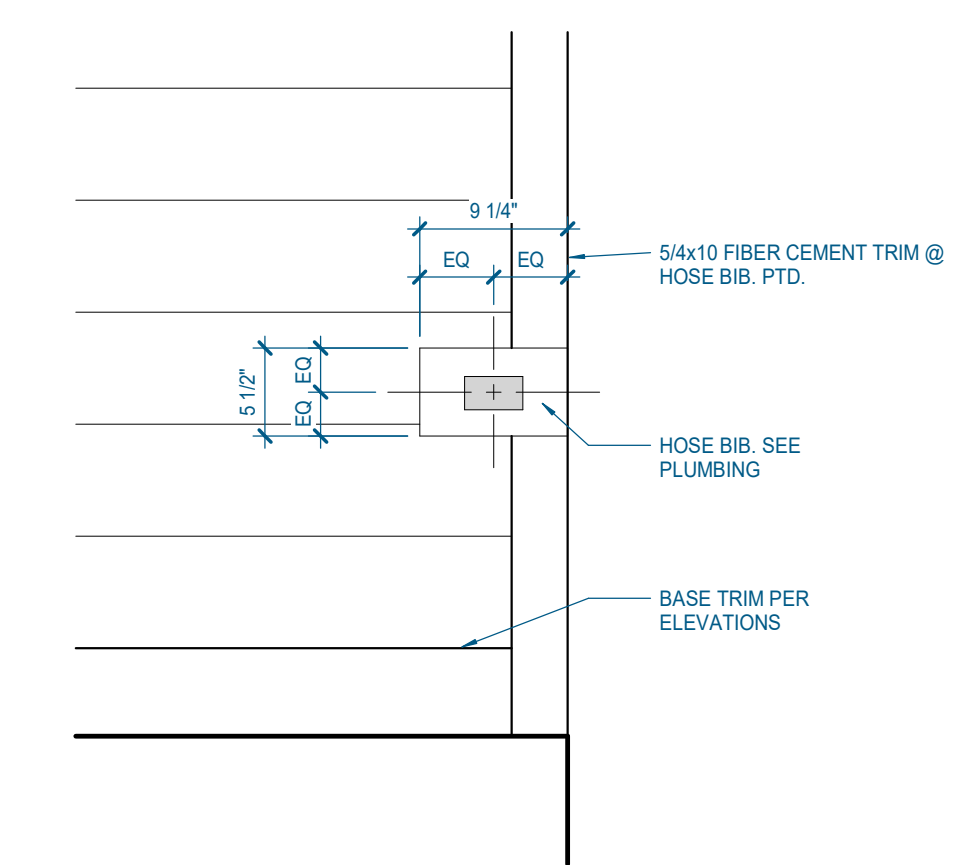
**A24** UNIT METER BACKUP PANEL @ SIDING HOUSES - ELEVATION  
1" = 1'-0" | A-303



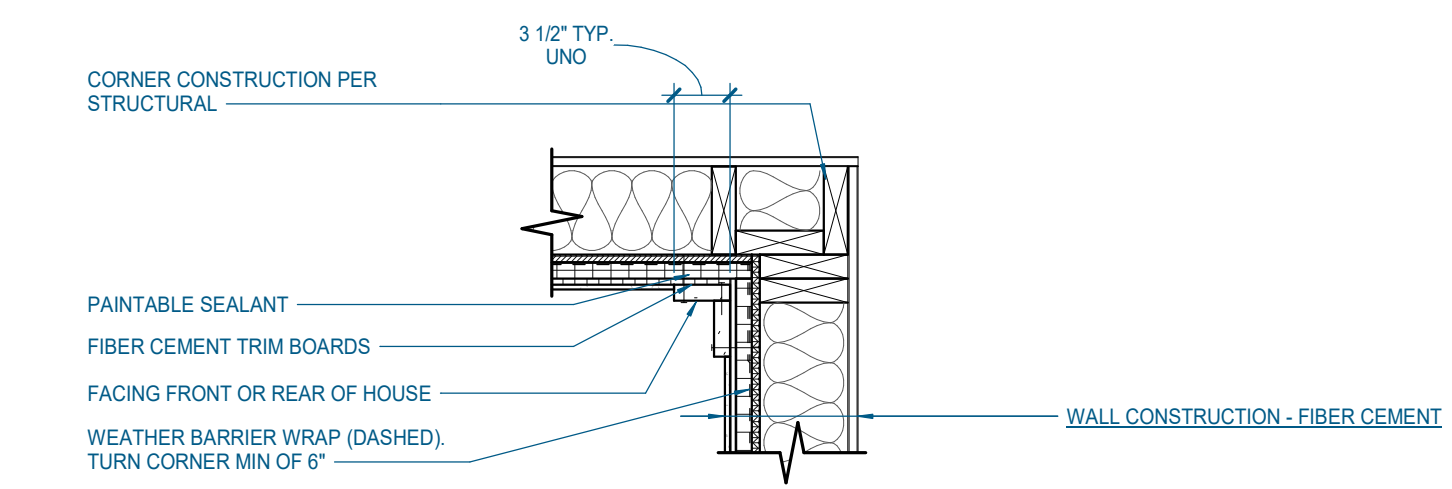
**L18** BUILDING NUMBERING  
3/4" = 1'-0" | A-303



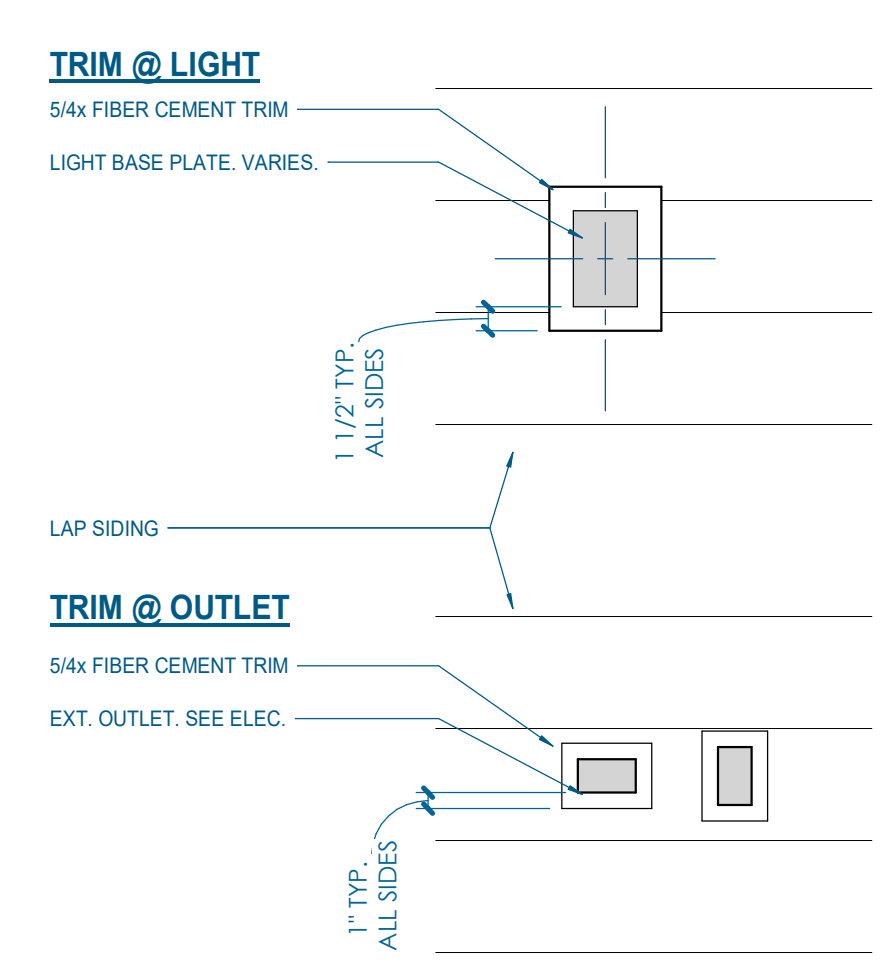
**F12** FIBER CEMENT - INSIDE CORNERS  
1" = 1'-0" | A-303



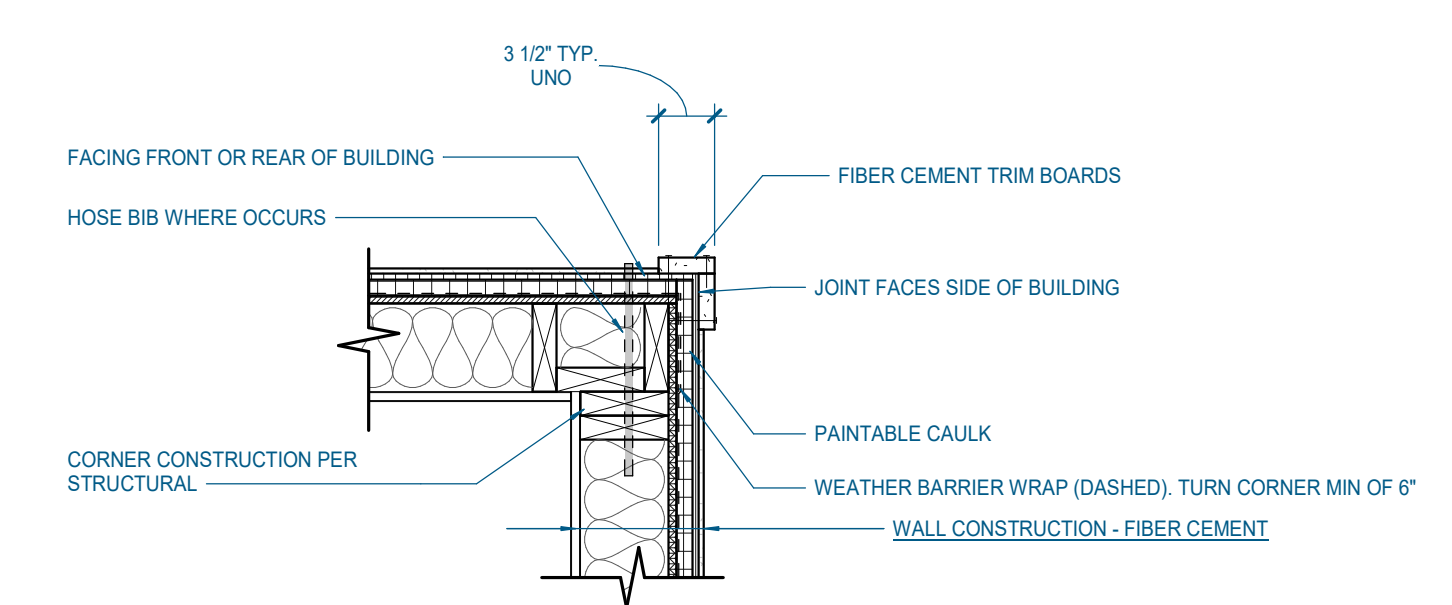
**F18** HOSE BIB - ELEVATION DETAIL  
1" = 1'-0" | A-303

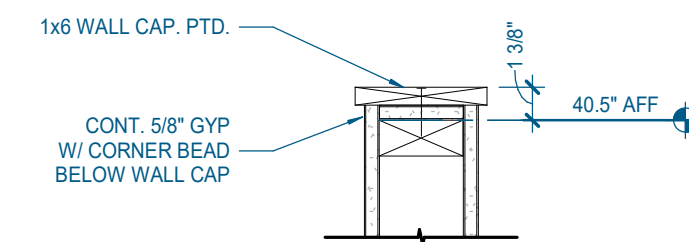


**A12** FIBER CEMENT - OUTSIDE CORNERS  
1" = 1'-0" | A-303

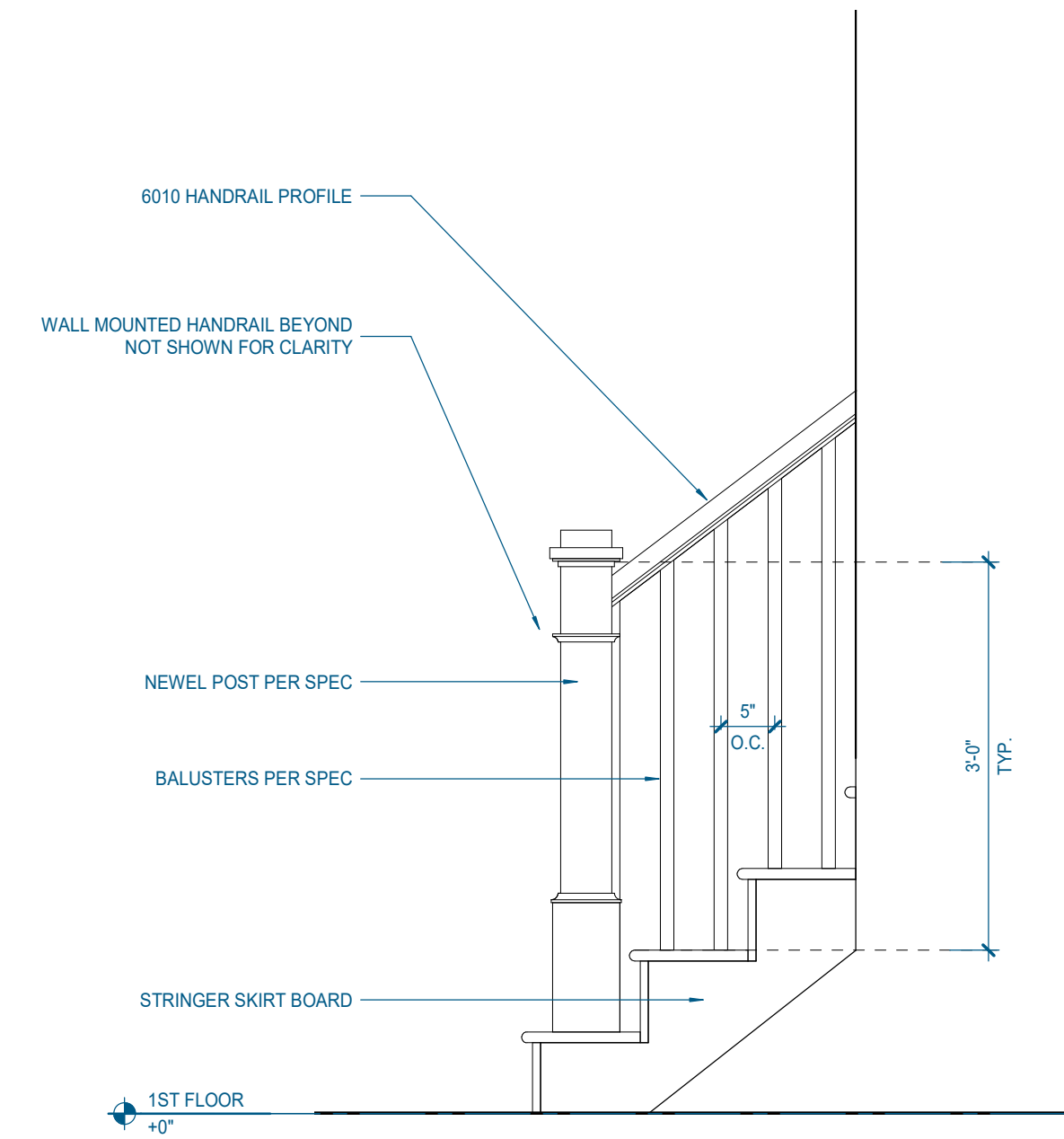


**A18** TYP. EXTERIOR TRIM DETAILS  
1" = 1'-0" | A-303

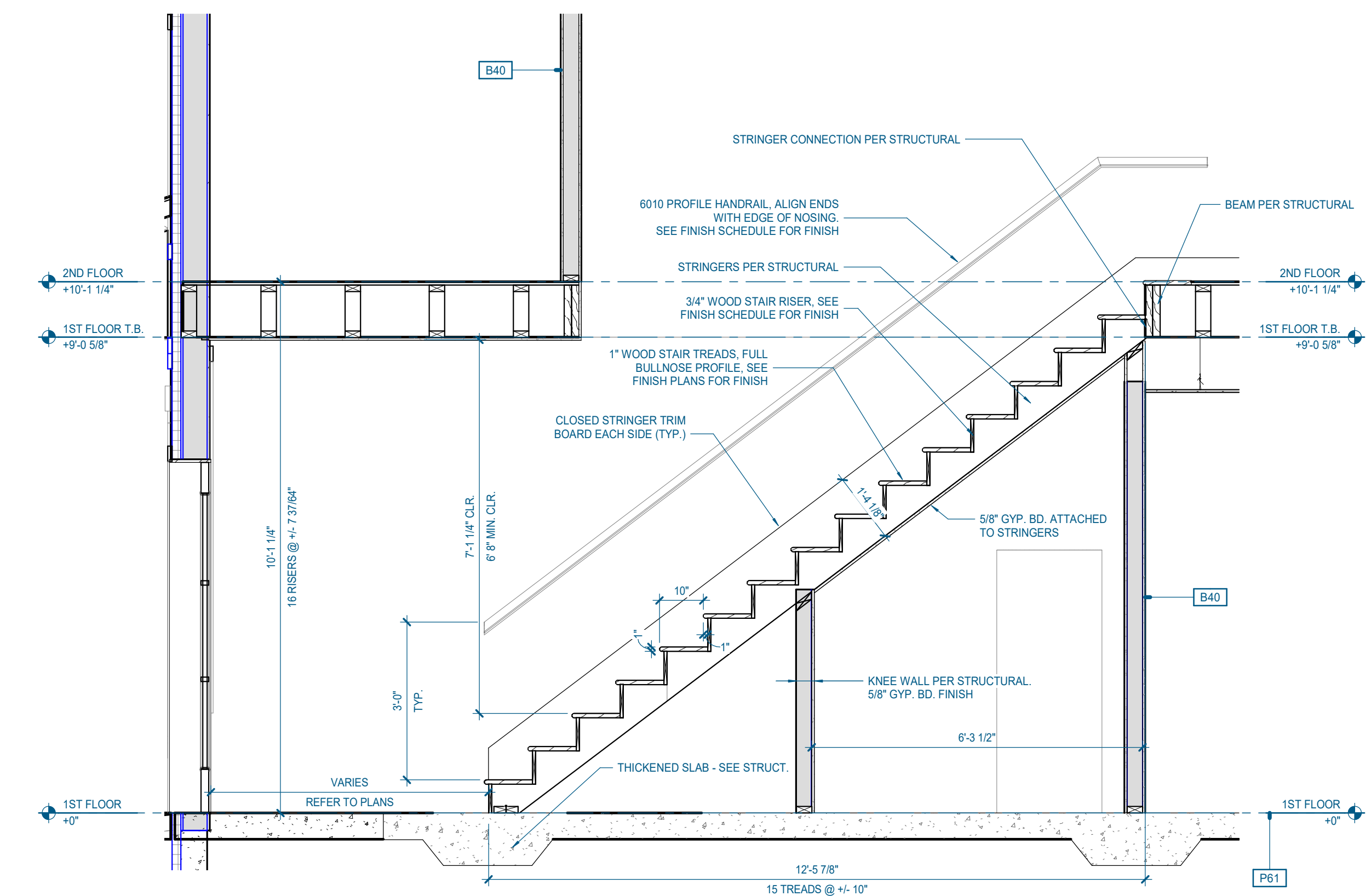




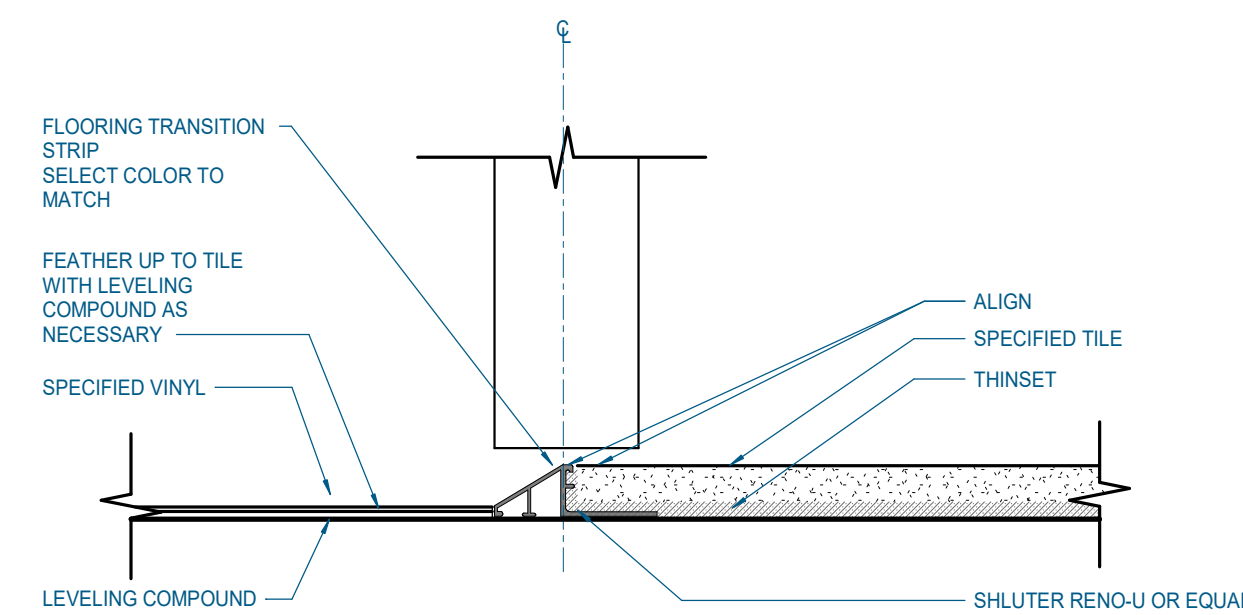
**P10** GUARD WALL CAP DETAIL  
1 1/2\"/>



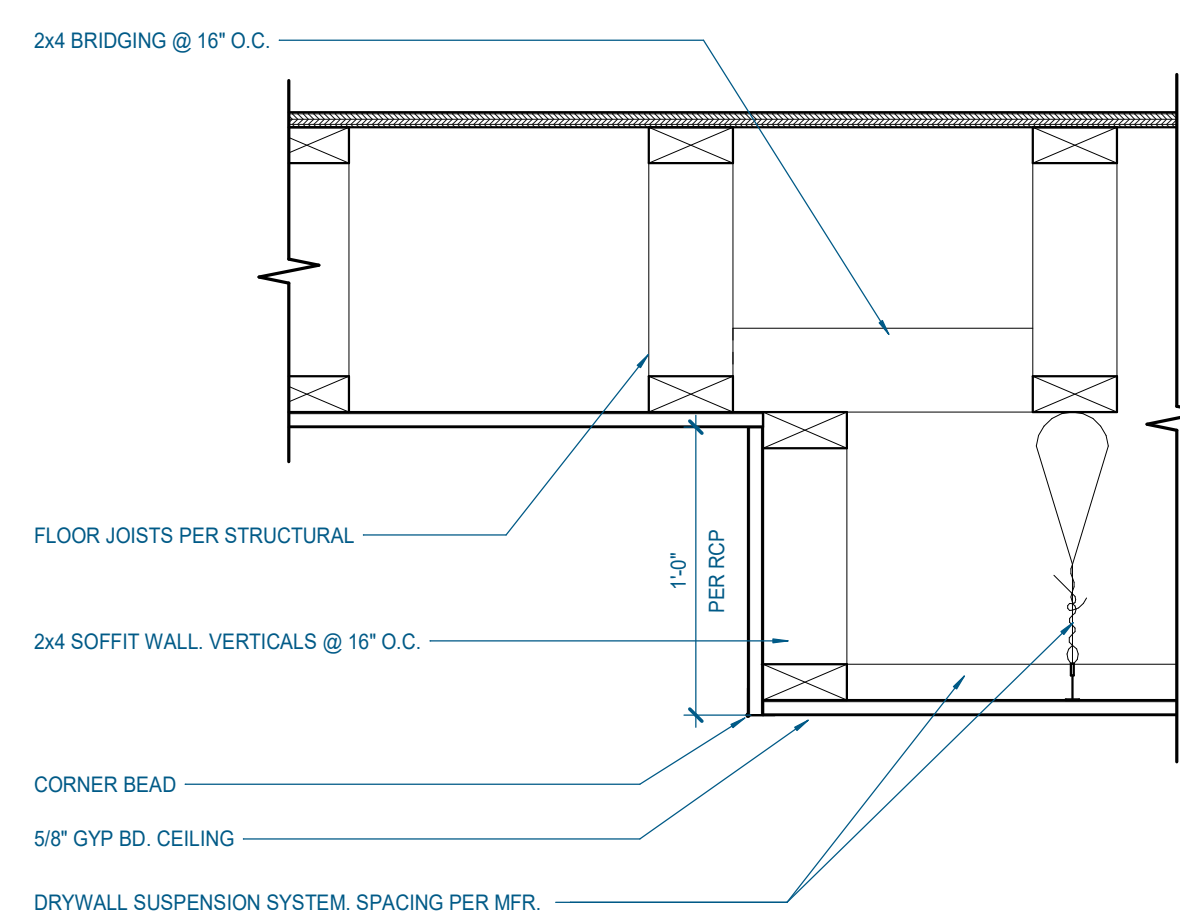
**P06** TYP. STAIR ELEVATION (HANDRAIL)  
3/4\"/>



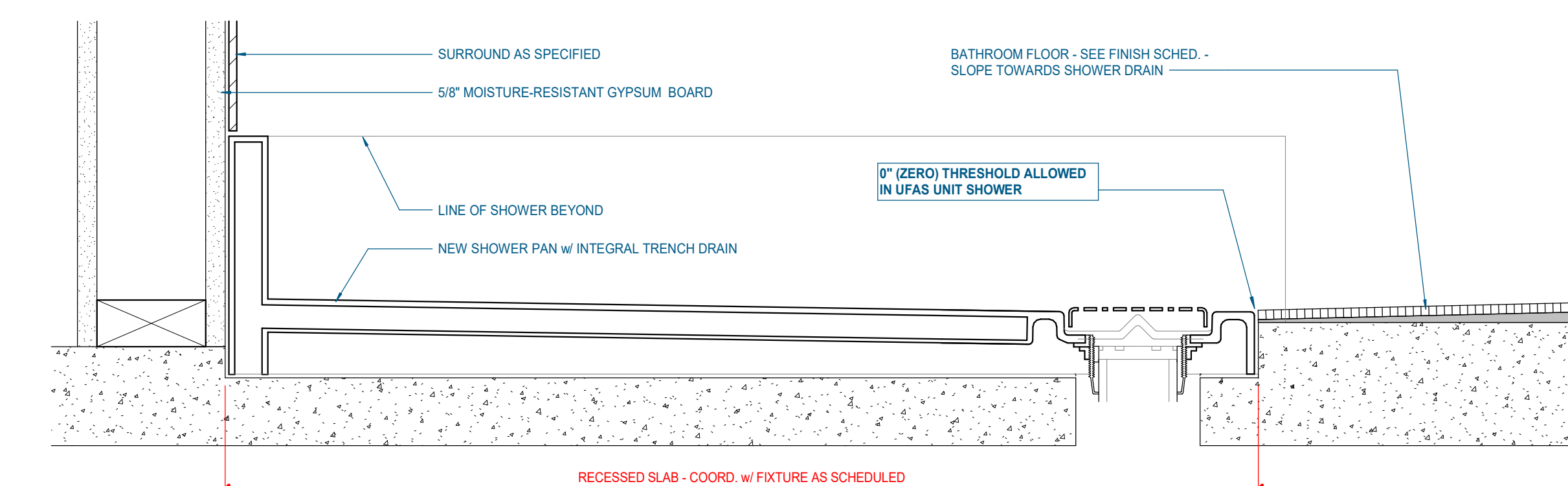
**F10** TYP. DUPLEX STAIR SECTION  
1/2\"/>



**F16** FINISH FLOOR TRANSITION DETAIL  
6\"/>



**A16** DROP CEILING DETAIL  
1 1/2\"/>



**A10** UFAS SHOWER DETAIL  
3\"/>



Consultants:

CIVIL ENGINEER:  
**SITE ENGINEERING CONSULTANTS, INC.**  
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Project Information:

**22054**

**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
 MURFREESBORO, TN 37130



Consultant:

#	ISSUED BY:	DATE

Issue Date: MAY 11, 2023

PIC: M. BUTLER

PM: M. BUTLER

PA: G. TAYLOR C. MYERS

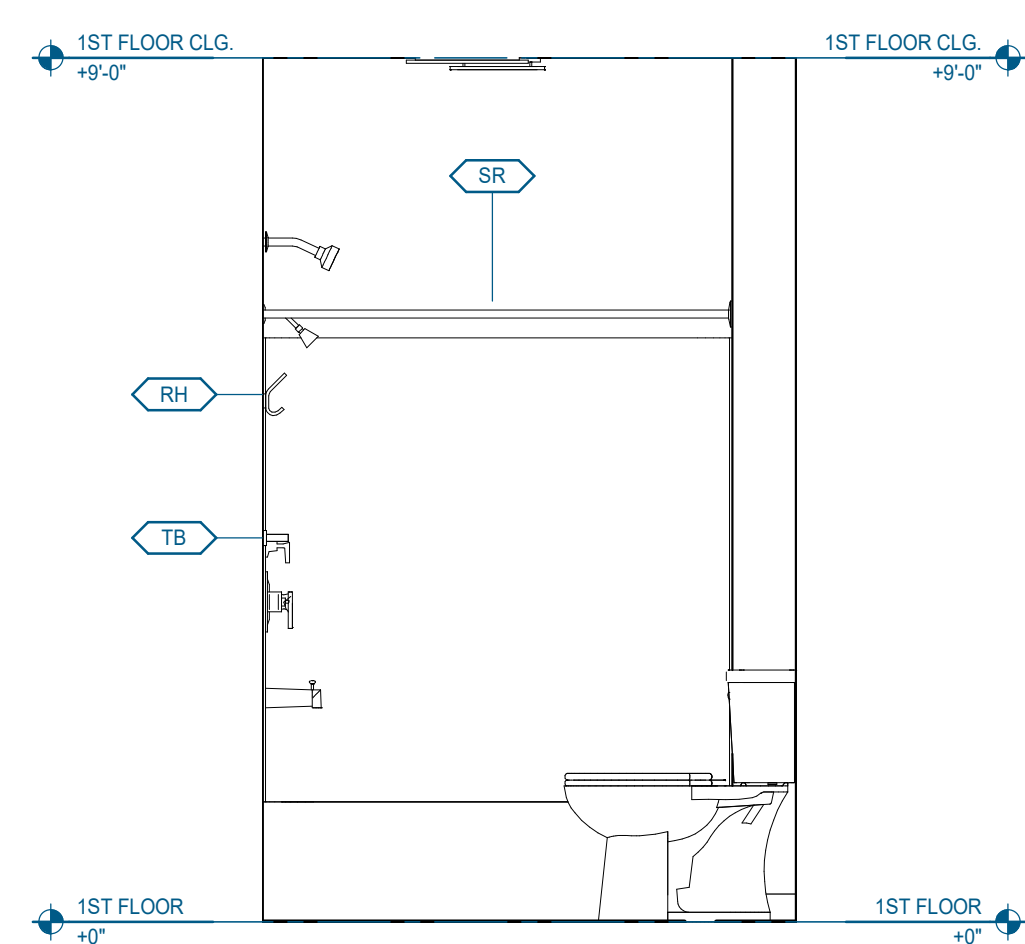
Drawn By: Author

Checked By: Project Checked By

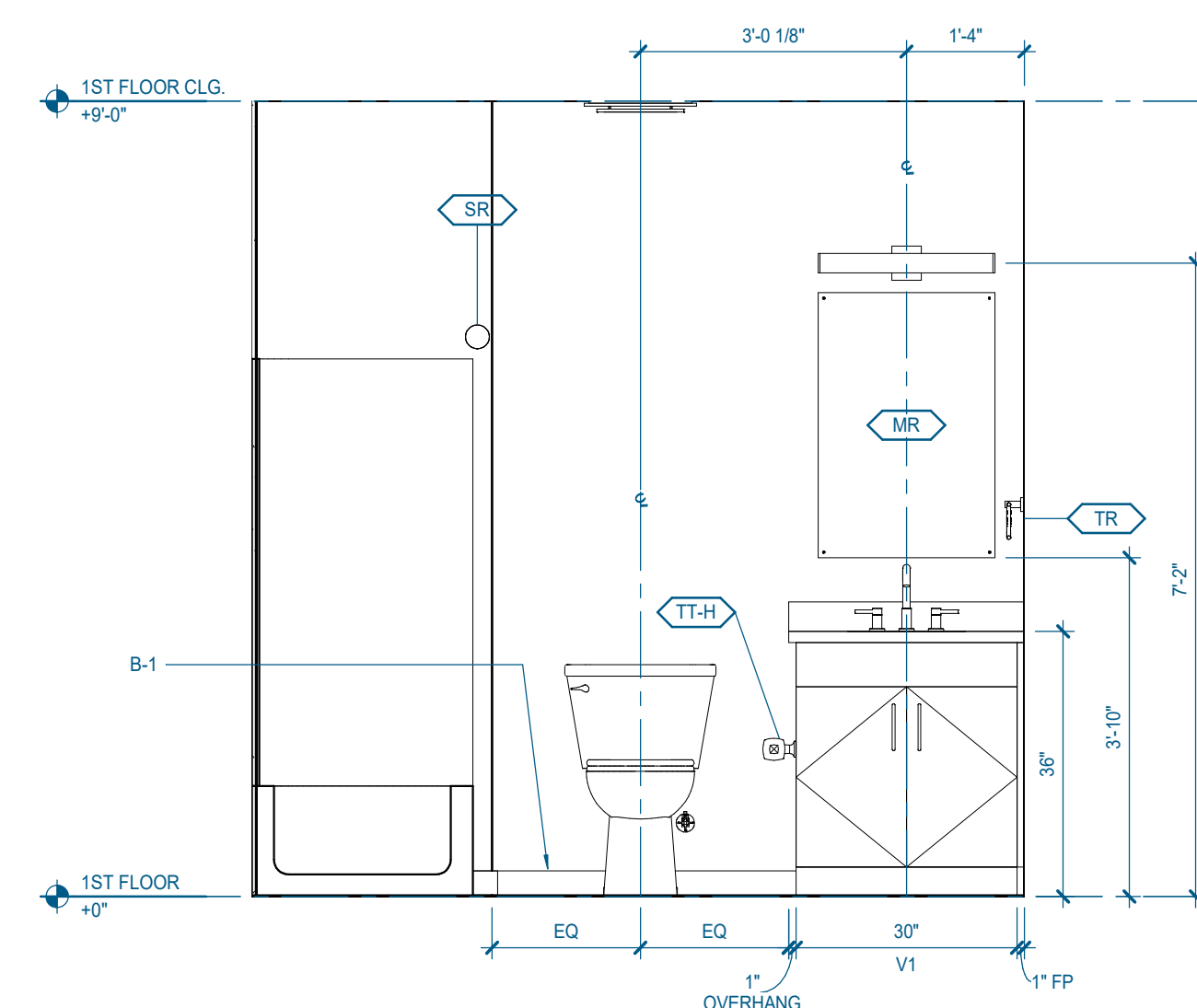
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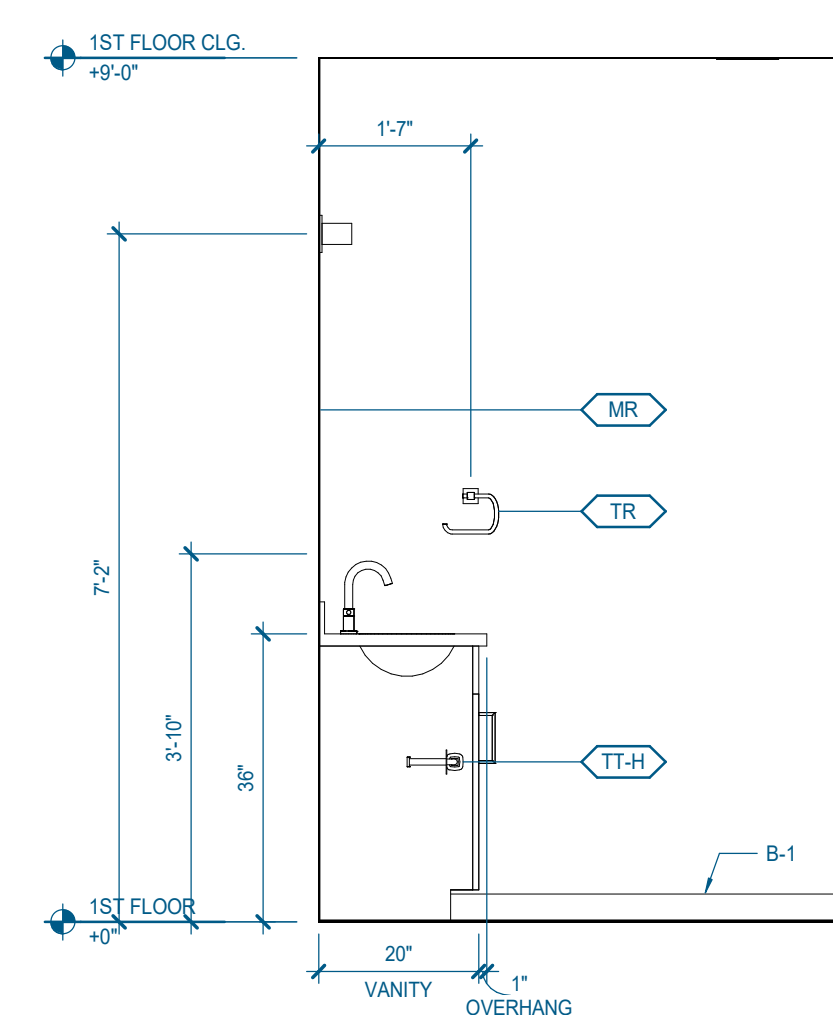
**2.1.A - ENLARGED PLANS & ELEVATIONS**



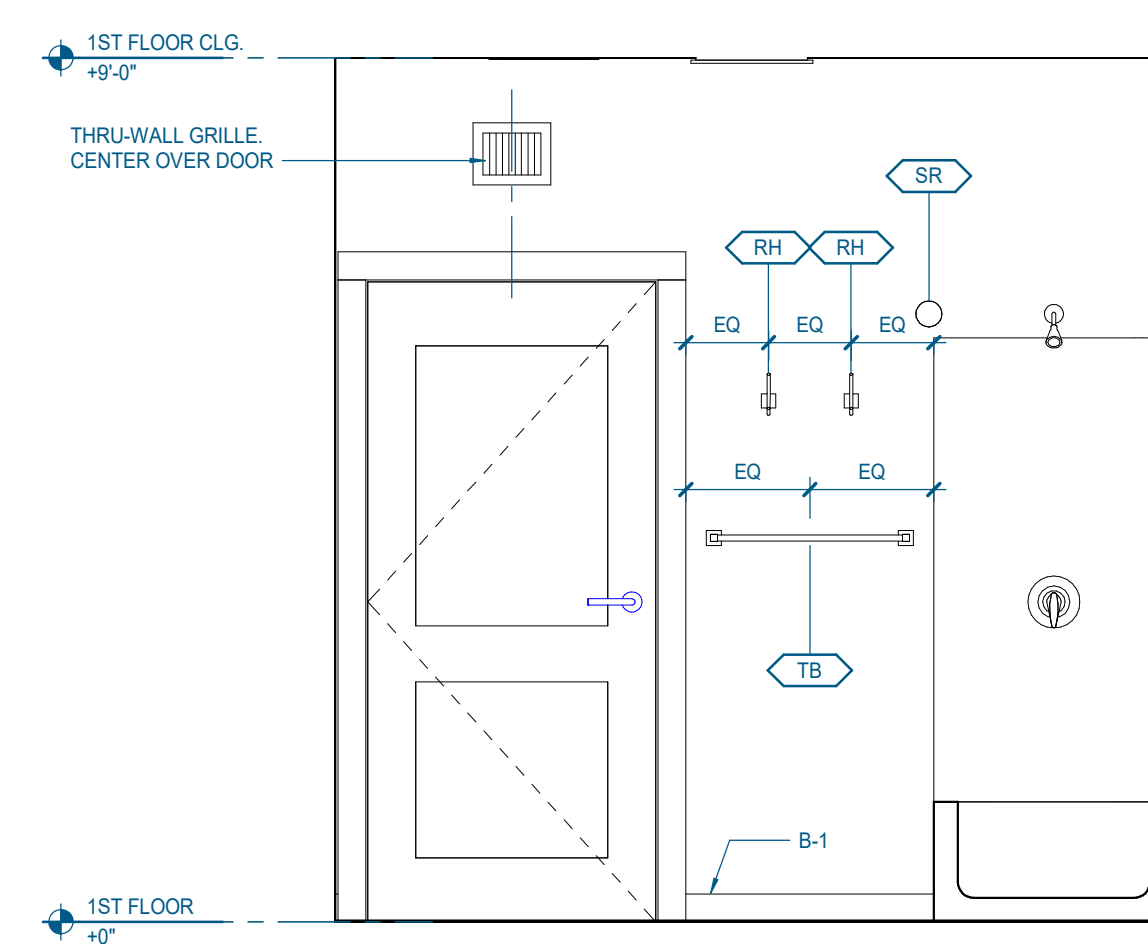
**J24** 2.1.A - BATHROOM ELEVATION 4  
 1/2" = 1'-0" | A-411



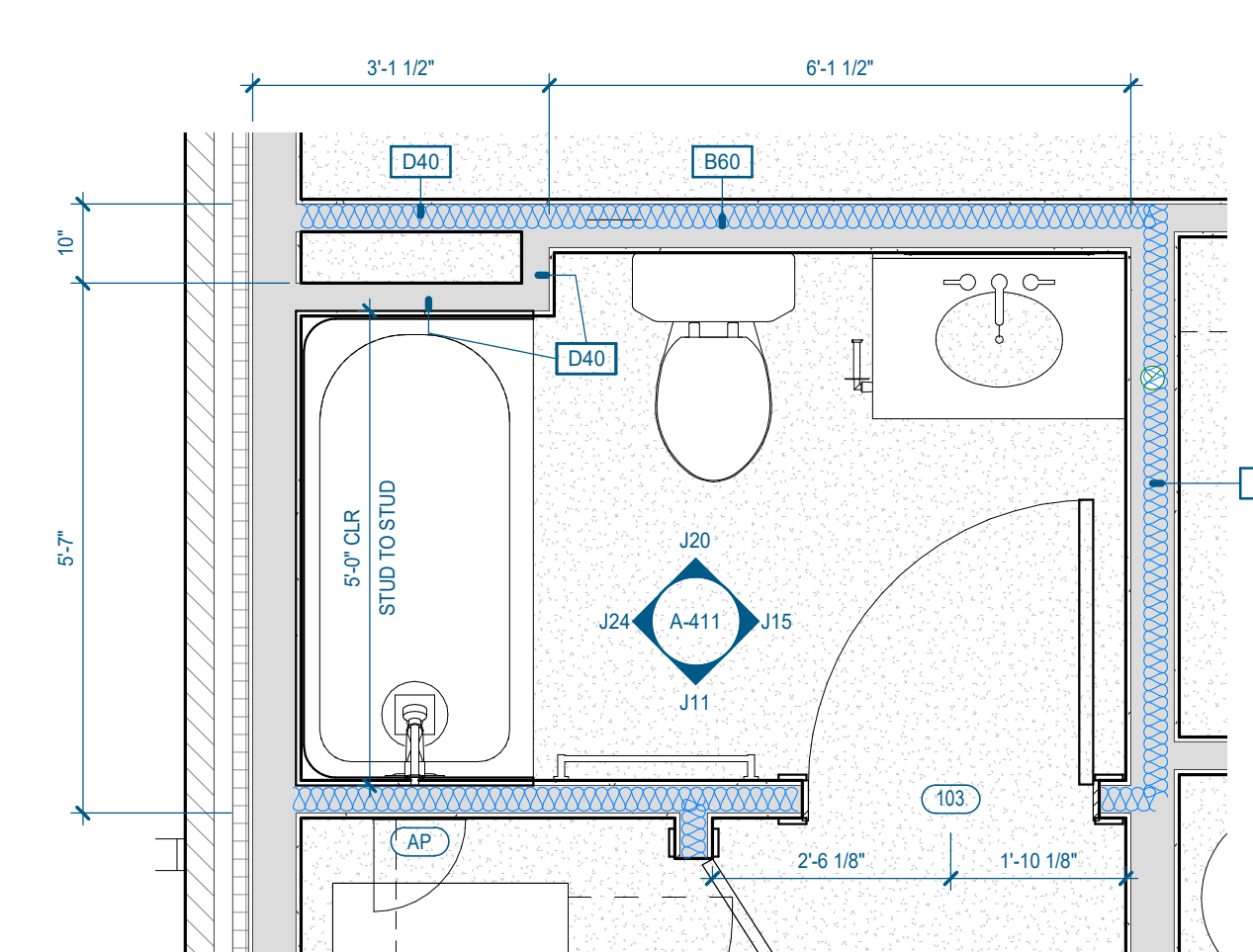
**J20** 2.1.A - BATHROOM ELEVATION 3  
 1/2" = 1'-0" | A-411



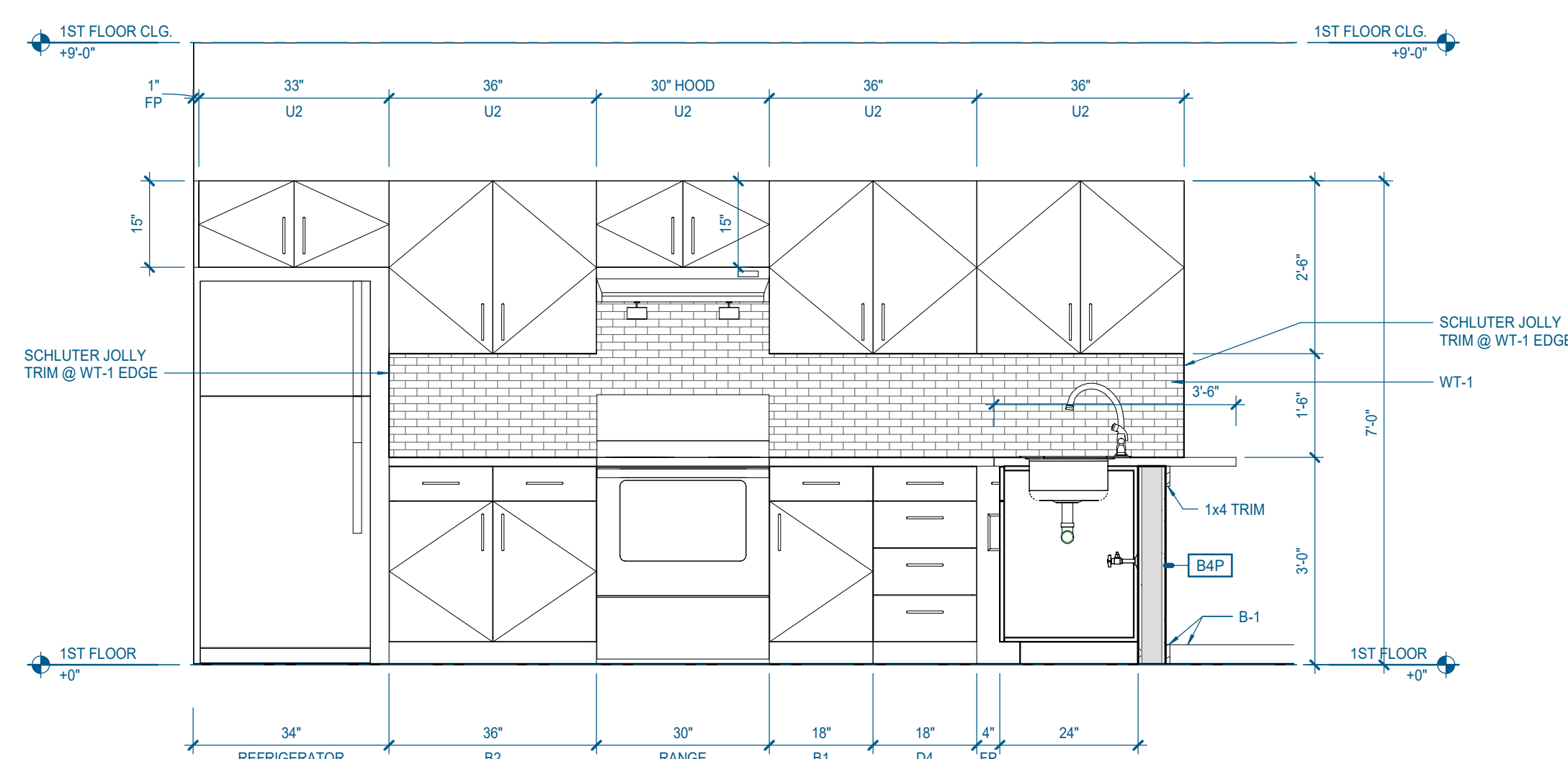
**J15** 2.1.A - BATHROOM ELEVATION 2  
 1/2" = 1'-0" | A-411



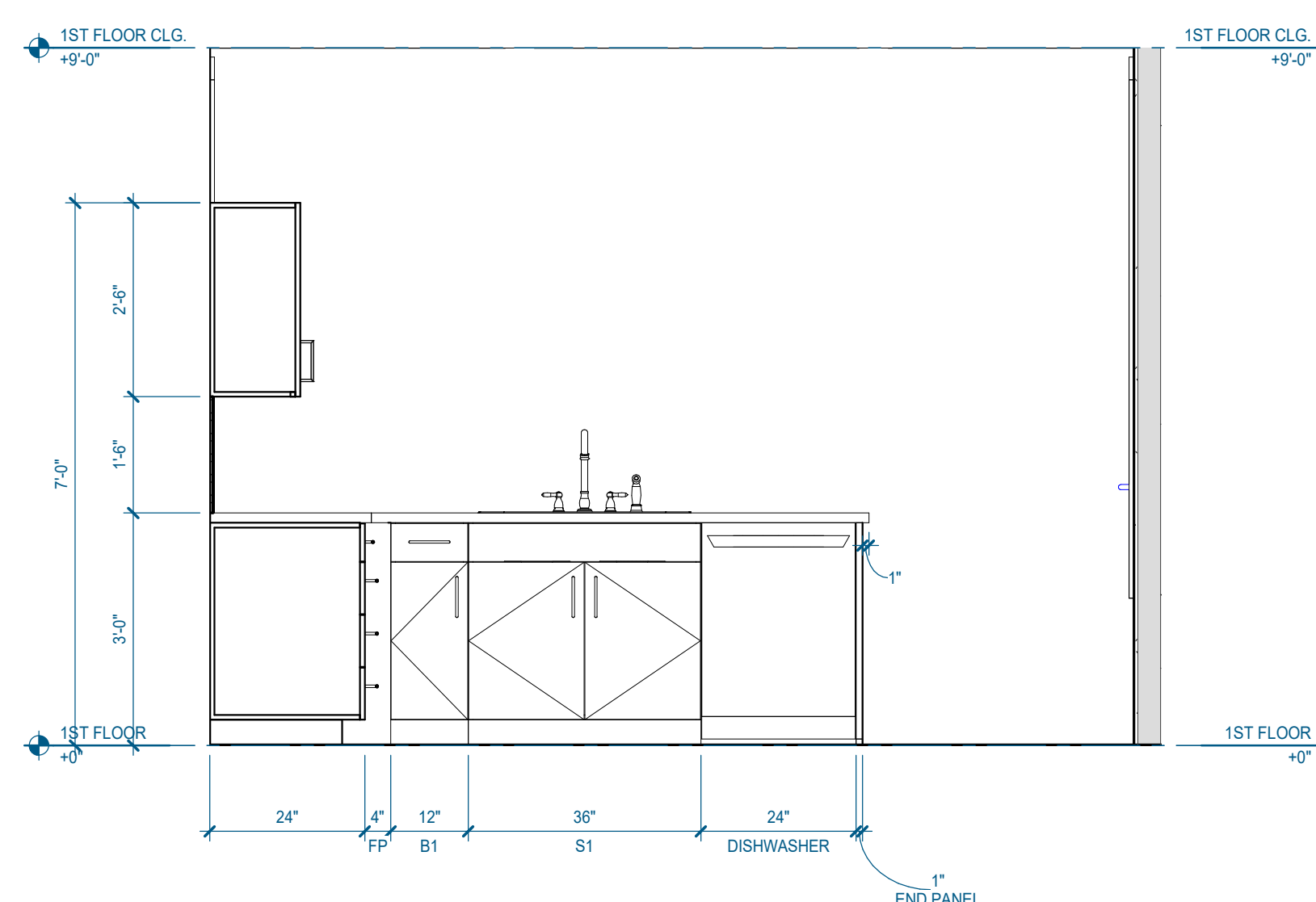
**J11** 2.1.A - BATHROOM ELEVATION 1  
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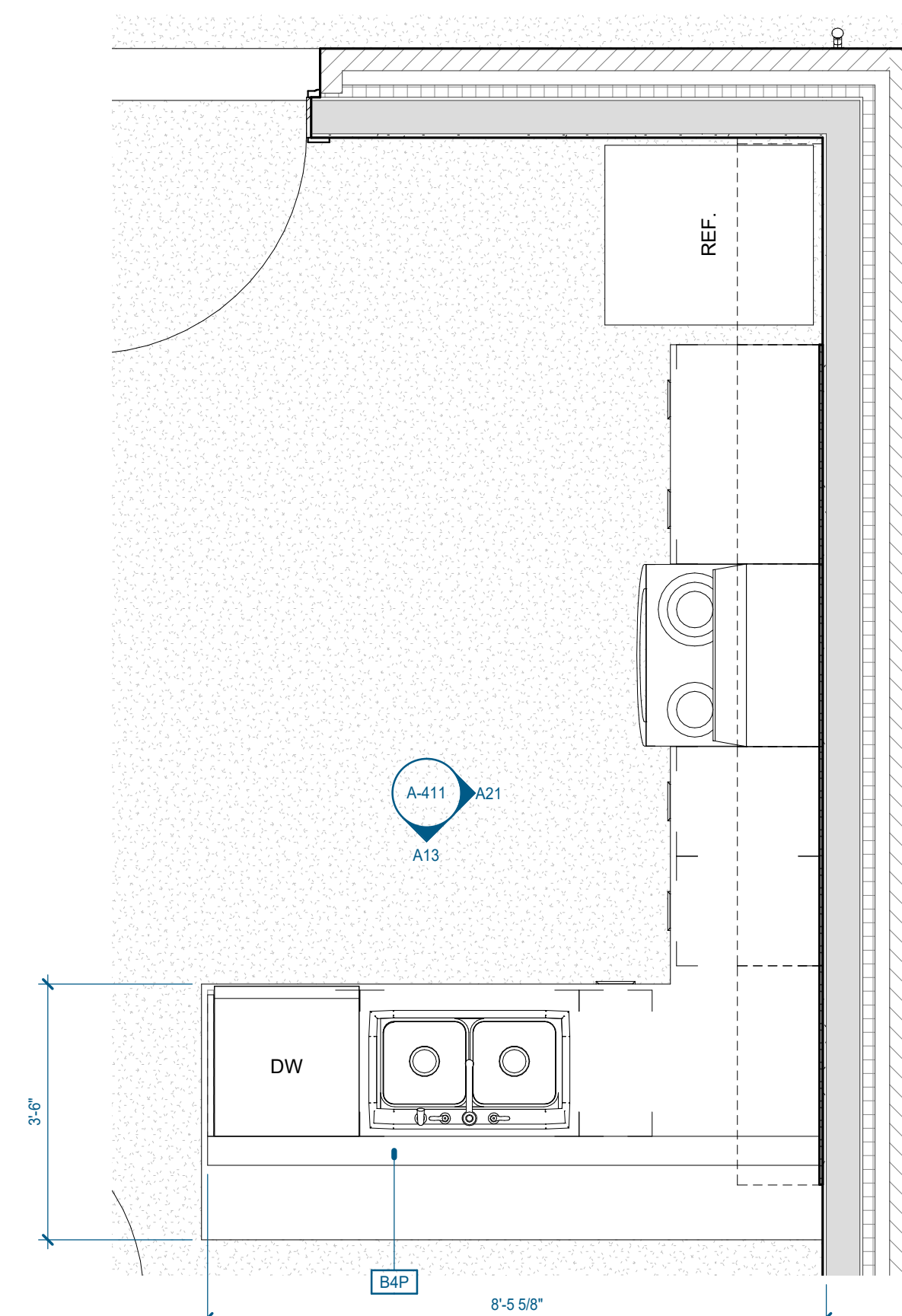
**J06** 2.1.A - ENLARGED BATHROOM PLAN  
 1/2" = 1'-0" | A-411



**A21** 2.1.A - KITCHEN ELEVATION 2  
 1/2" = 1'-0" | A-411



**A13** 2.1.A - KITCHEN ELEVATION 1  
 1/2" = 1'-0" | A-411



**A06** 2.1.A - ENLARGED KITCHEN PLAN  
 1/2" = 1'-0" | A-411

Consultants:

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Project Information:

22054

**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

#	ISSUED BY:	DATE

Issue Date: MAY 11, 2023

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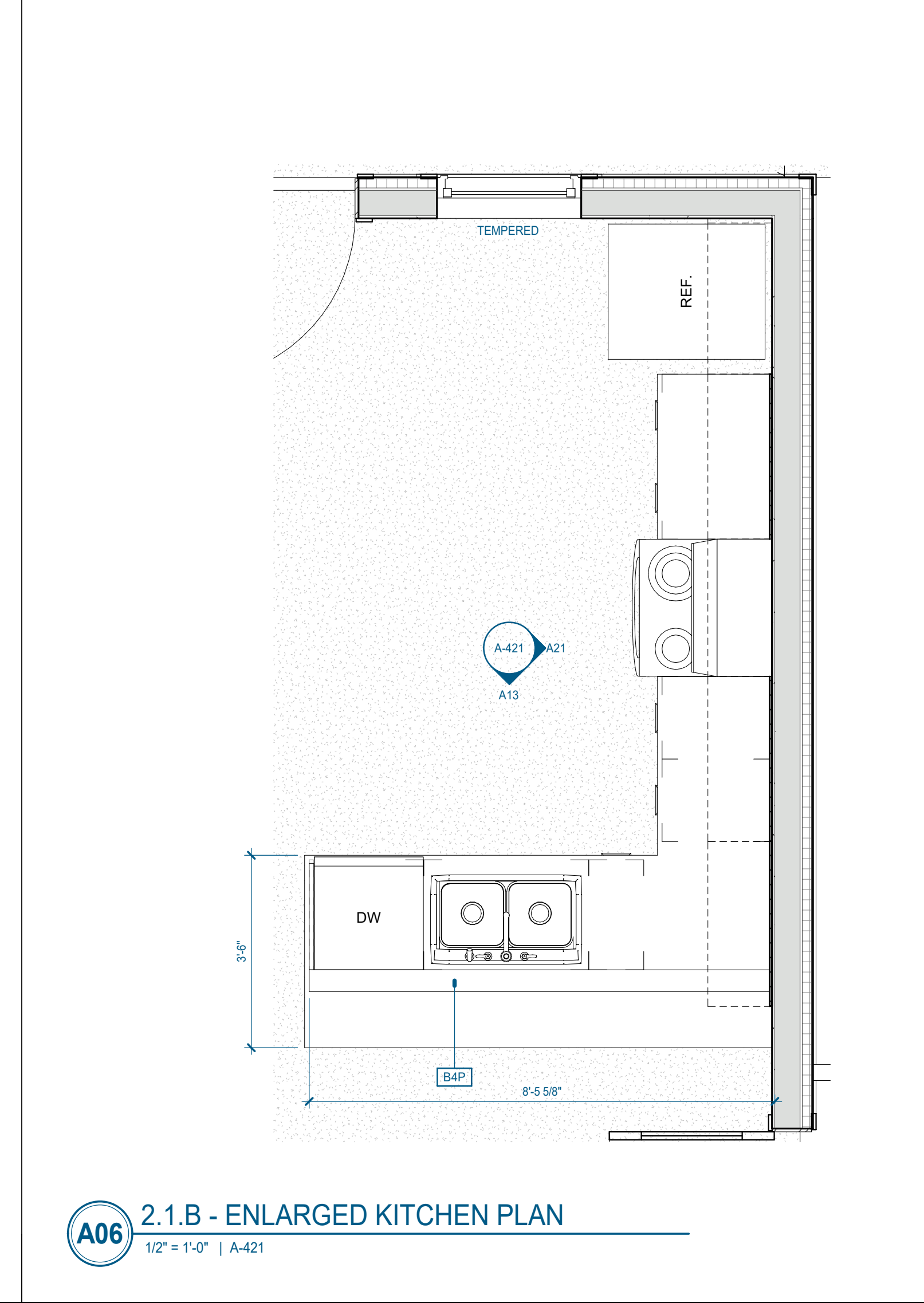
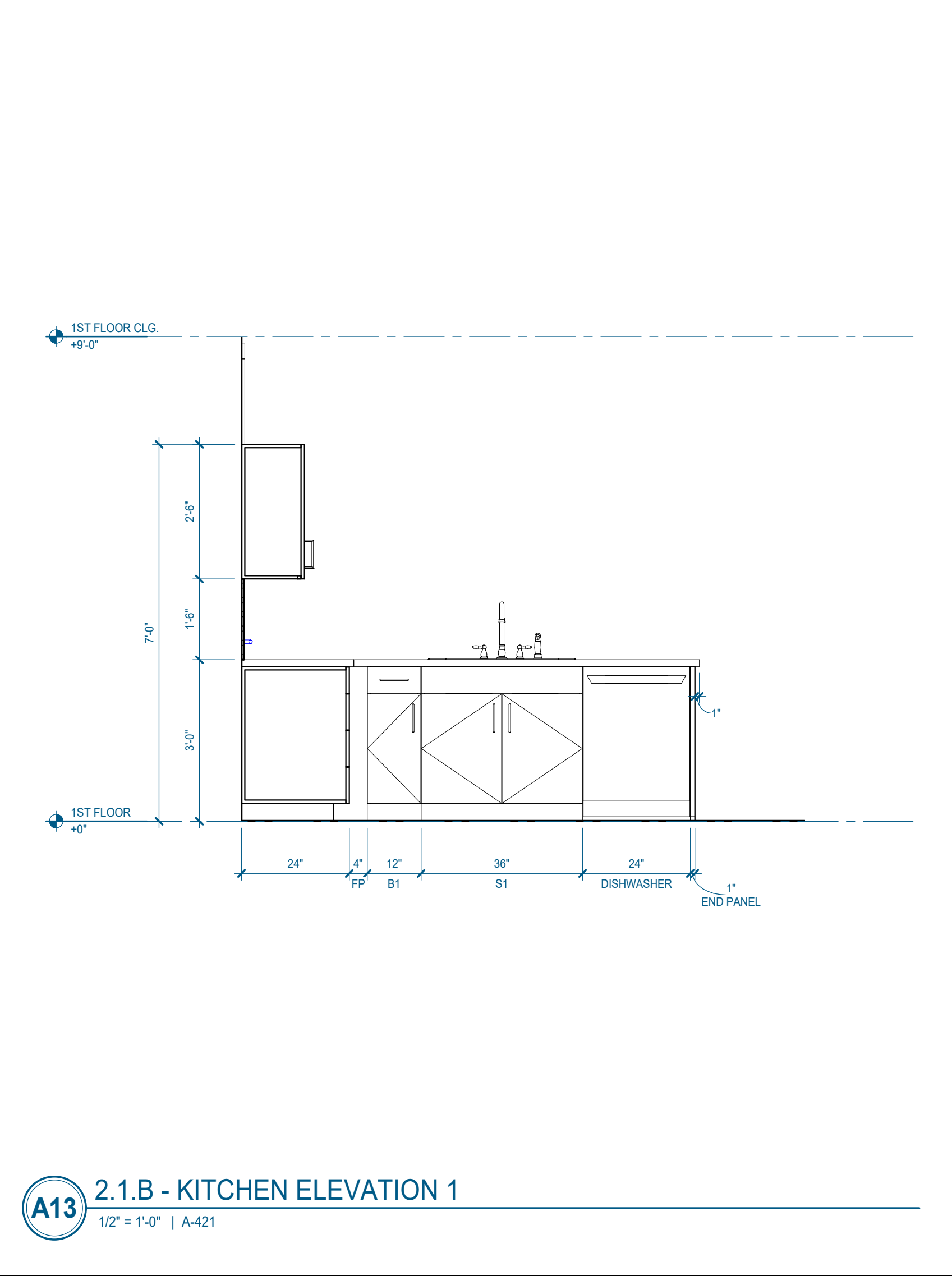
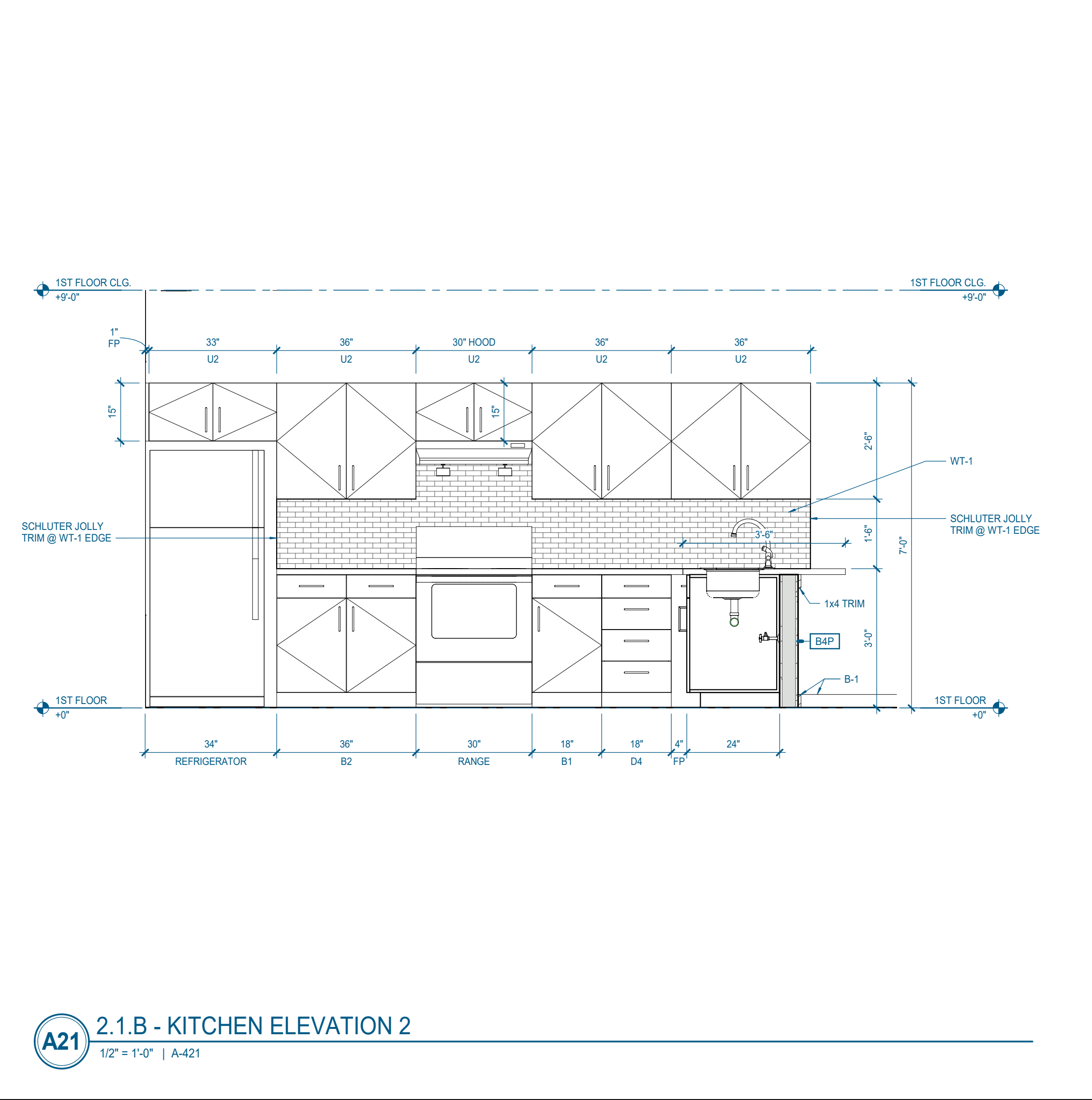
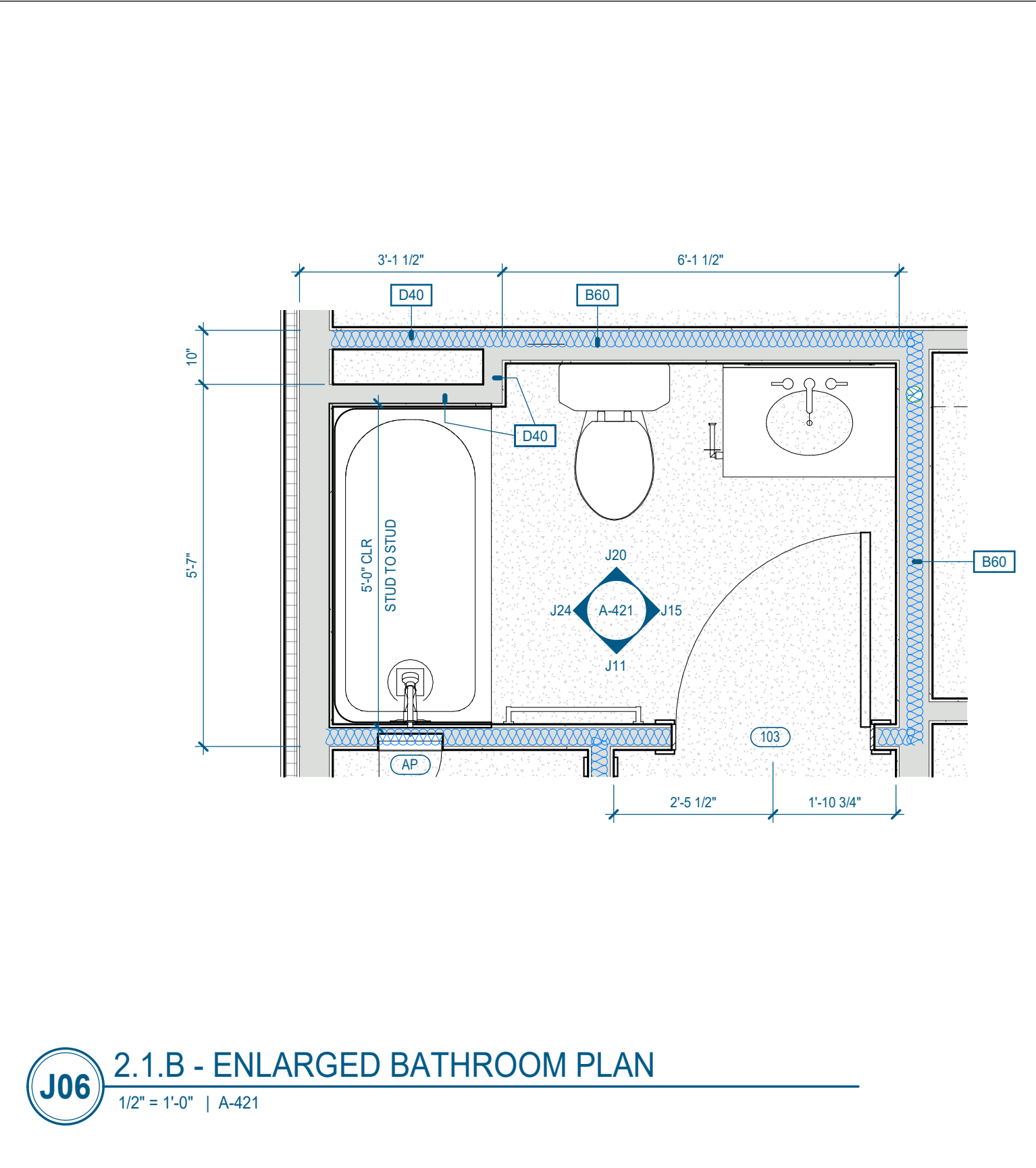
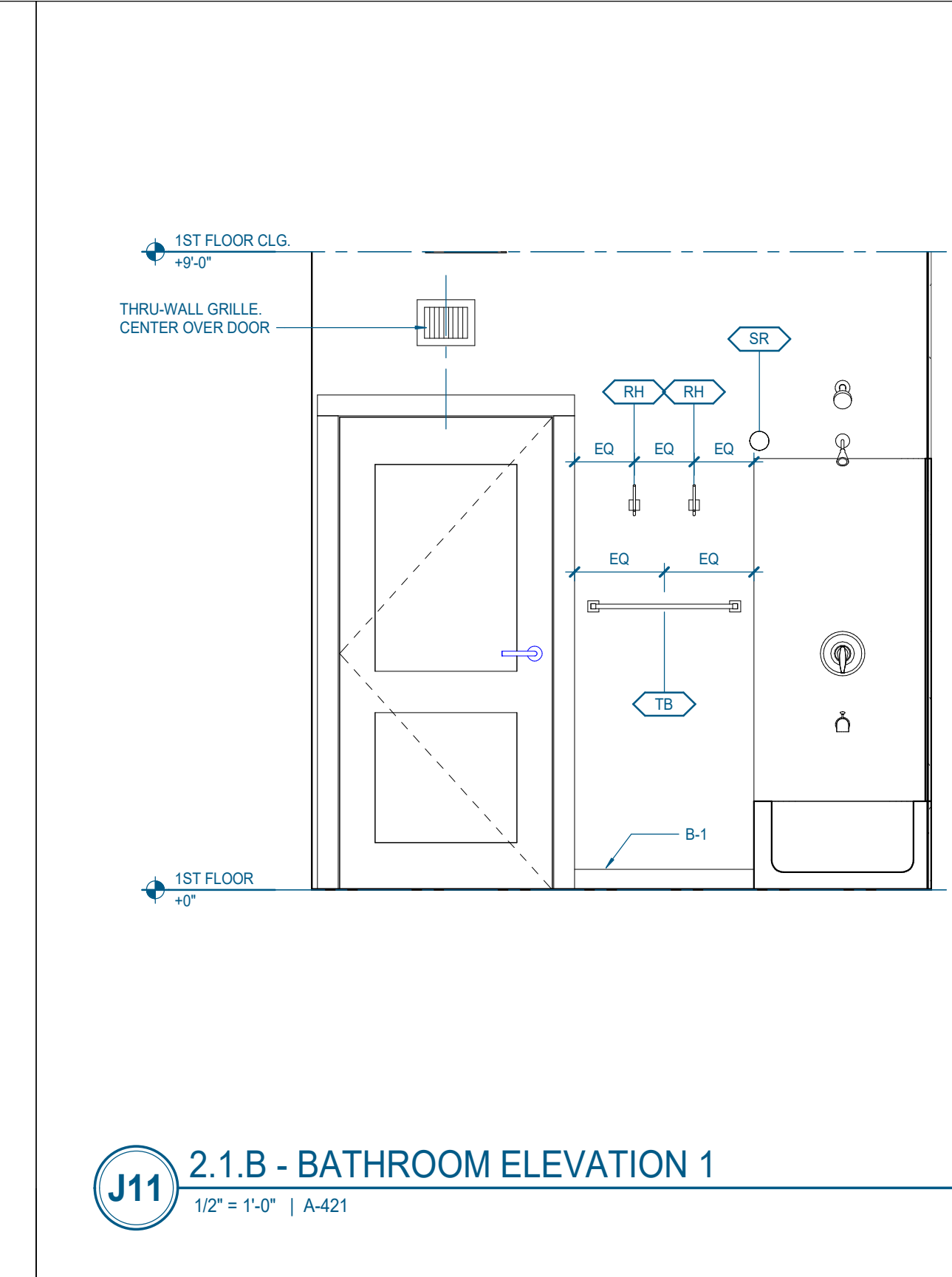
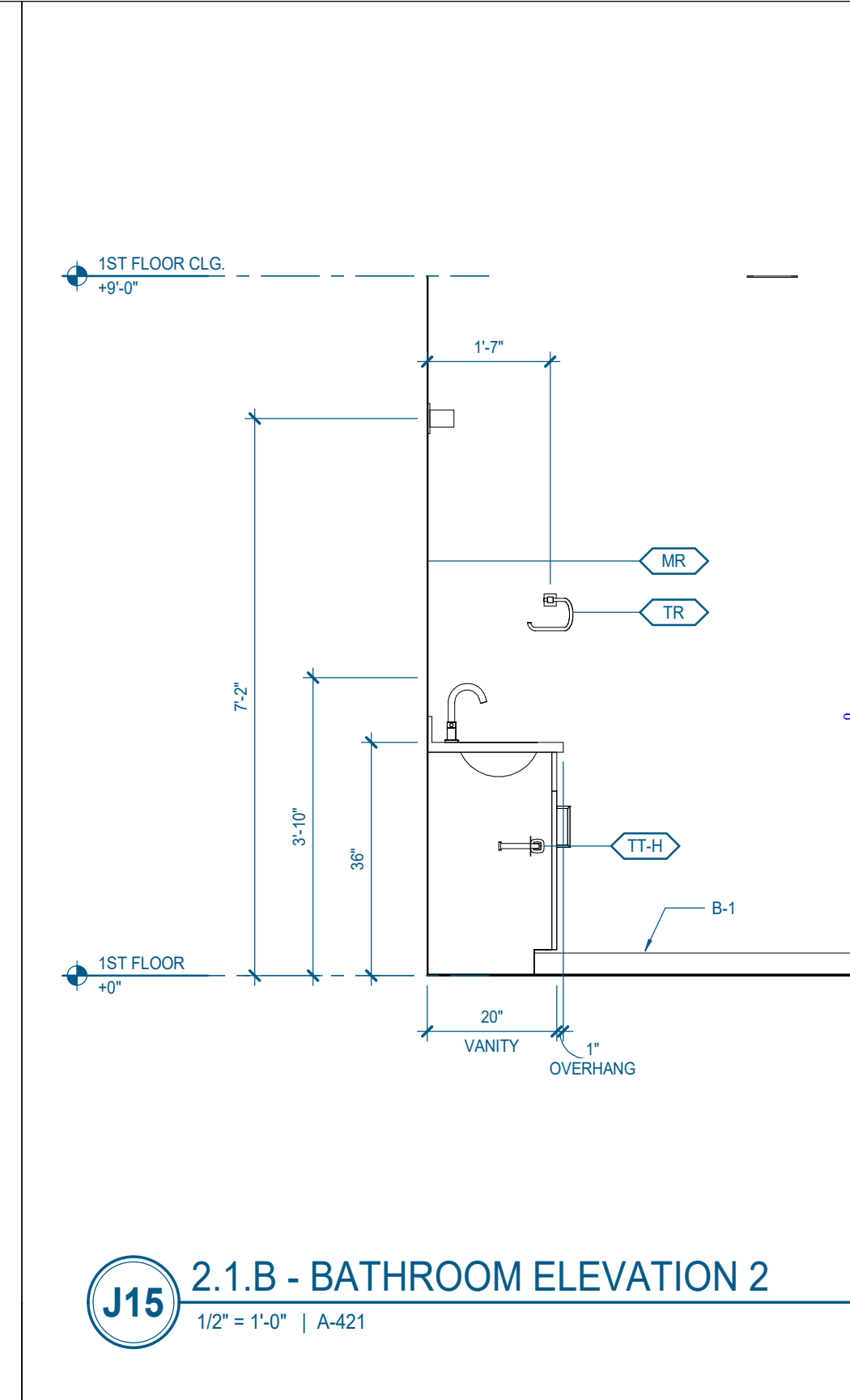
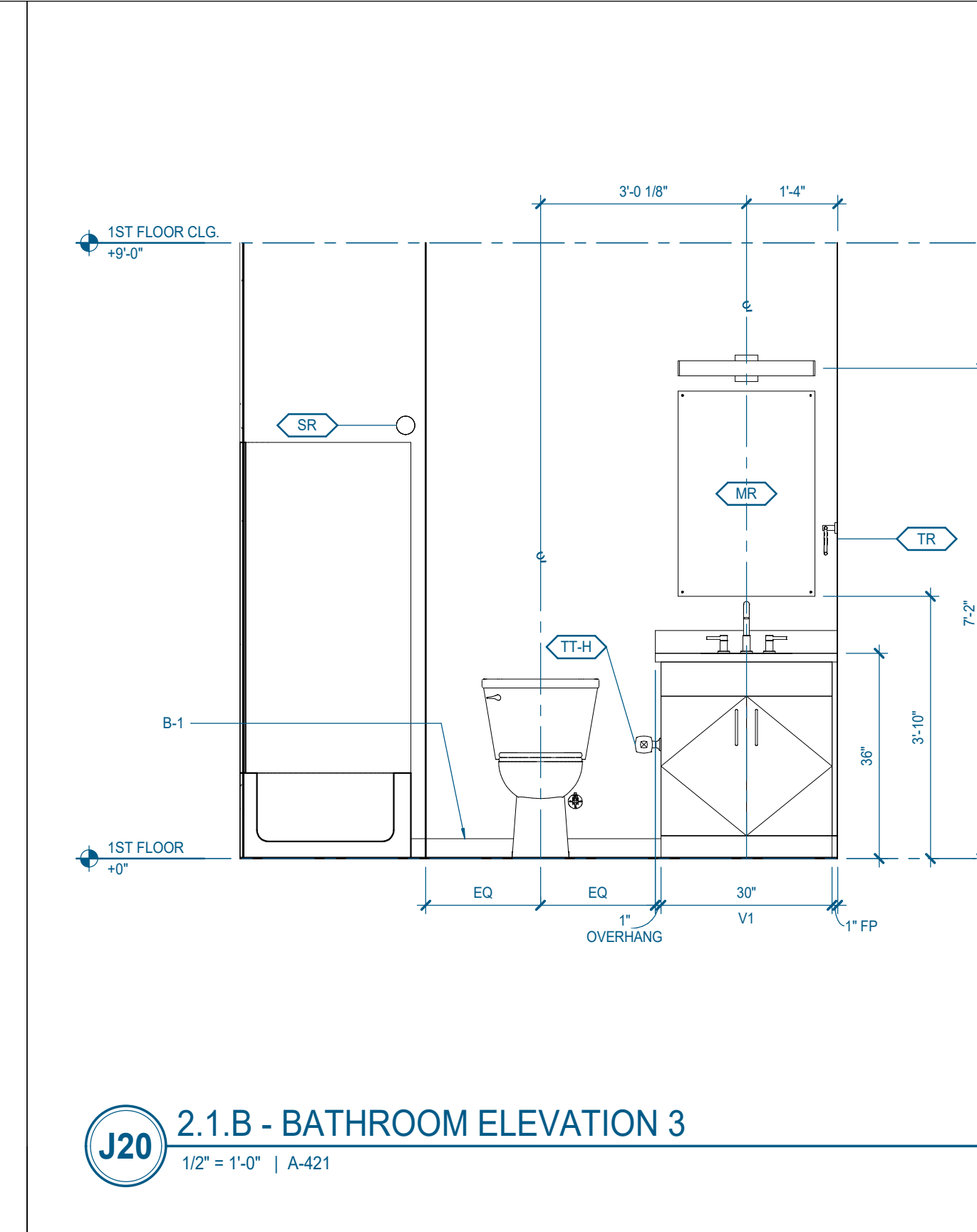
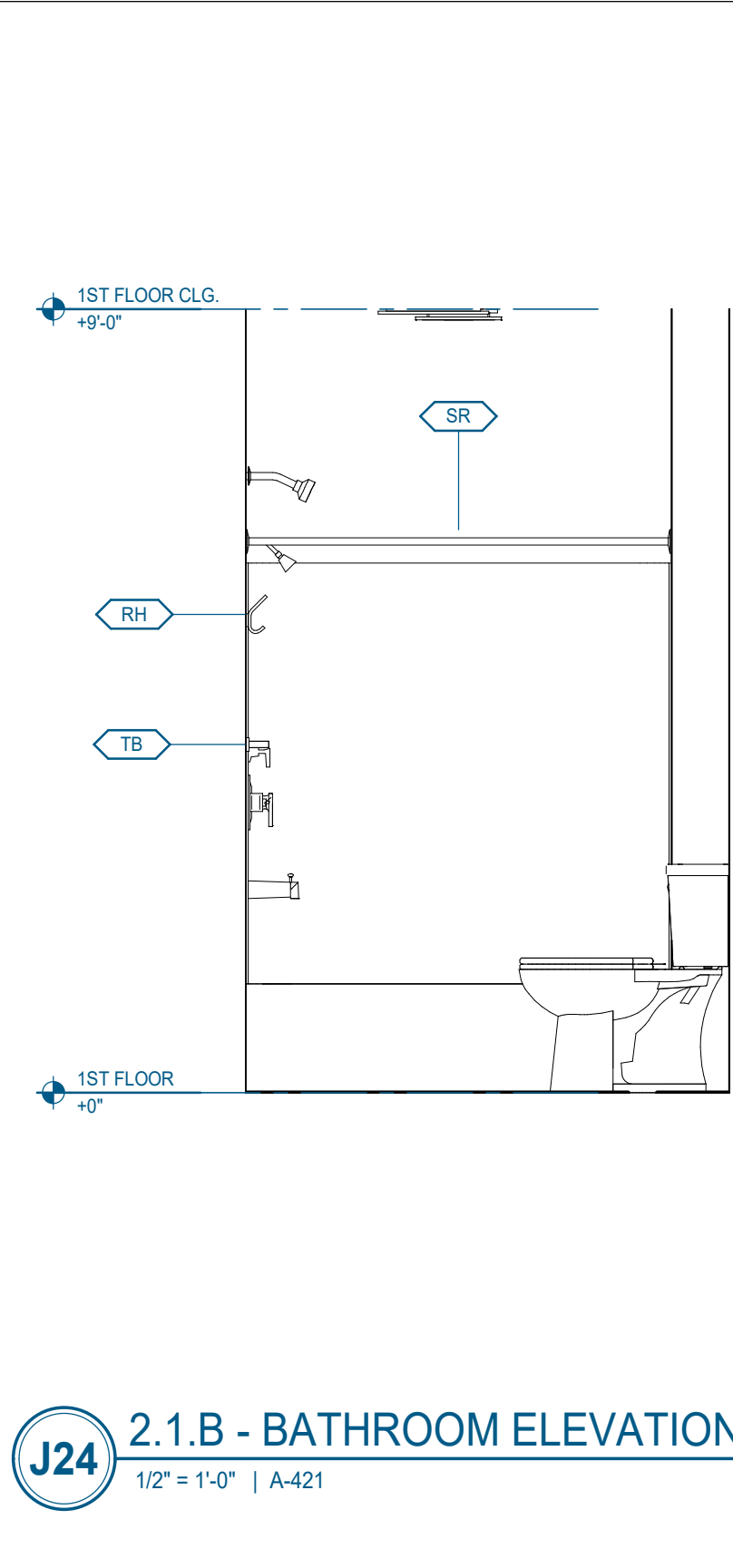
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Sheet Information:

## A-421

2.1.B - ENLARGED PLANS & ELEVATIONS

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Project Information:

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**MHA - MERCURY  
HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

# ISSUED BY: DATE

Issue Date: MAY 11, 2023

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PA G. TAYLOR C. MYERS

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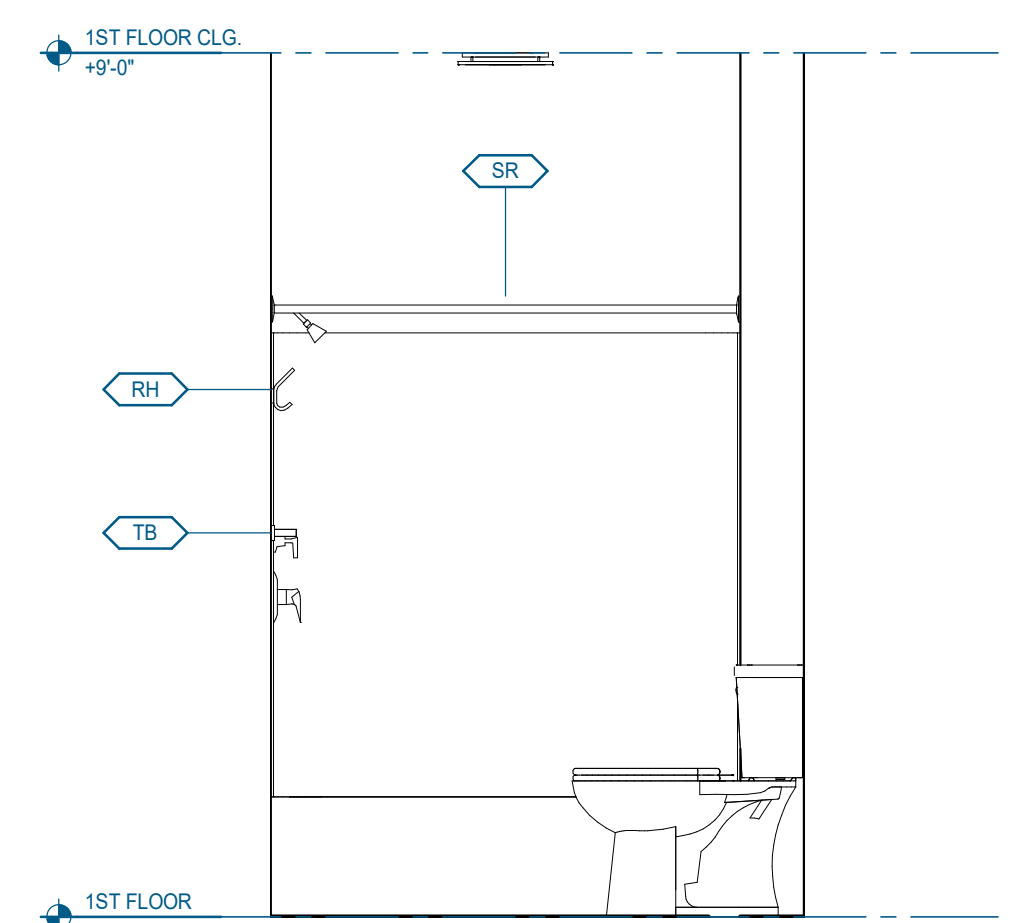
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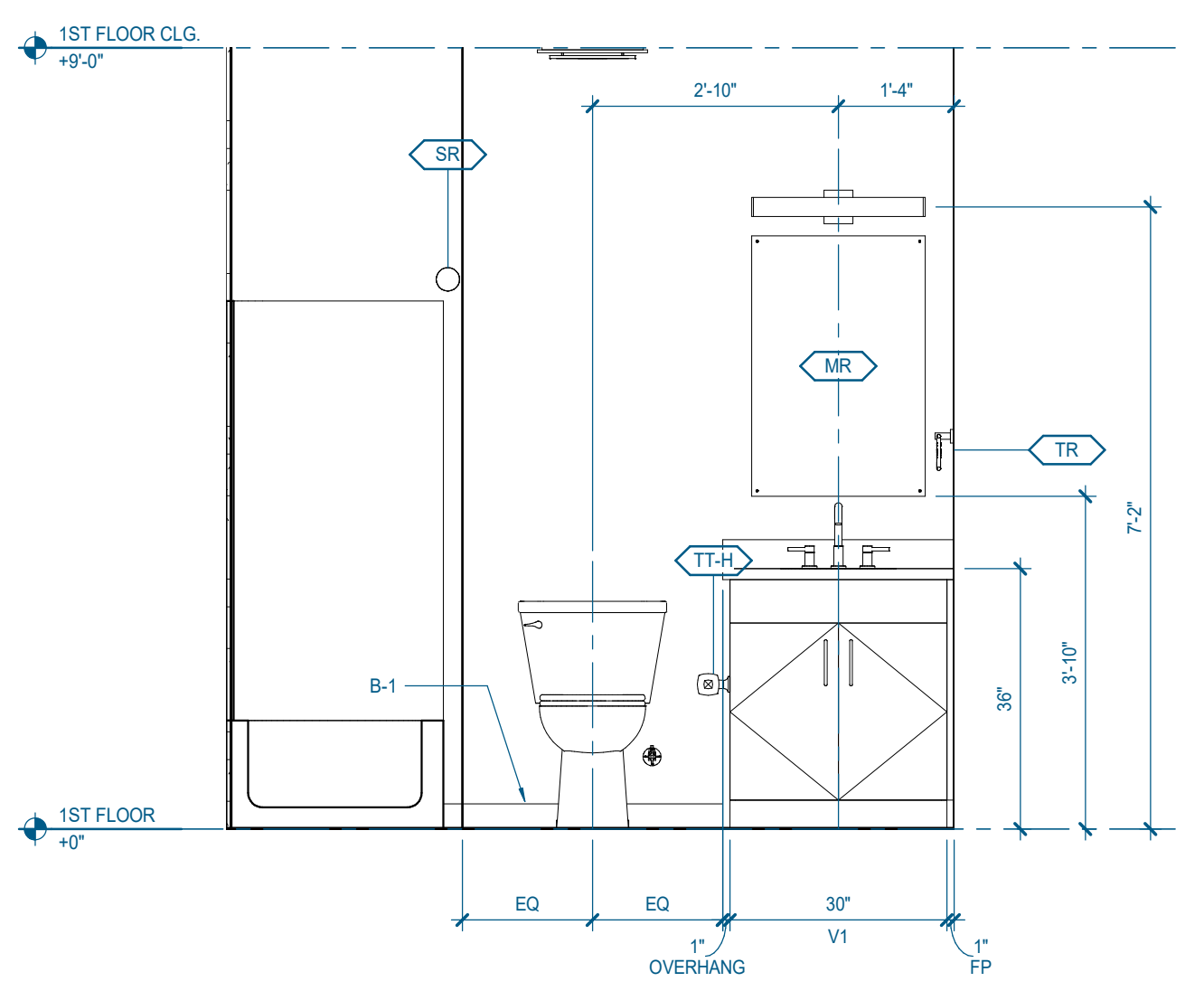
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2.1.C - ENLARGED  
PLANS & ELEVATIONS

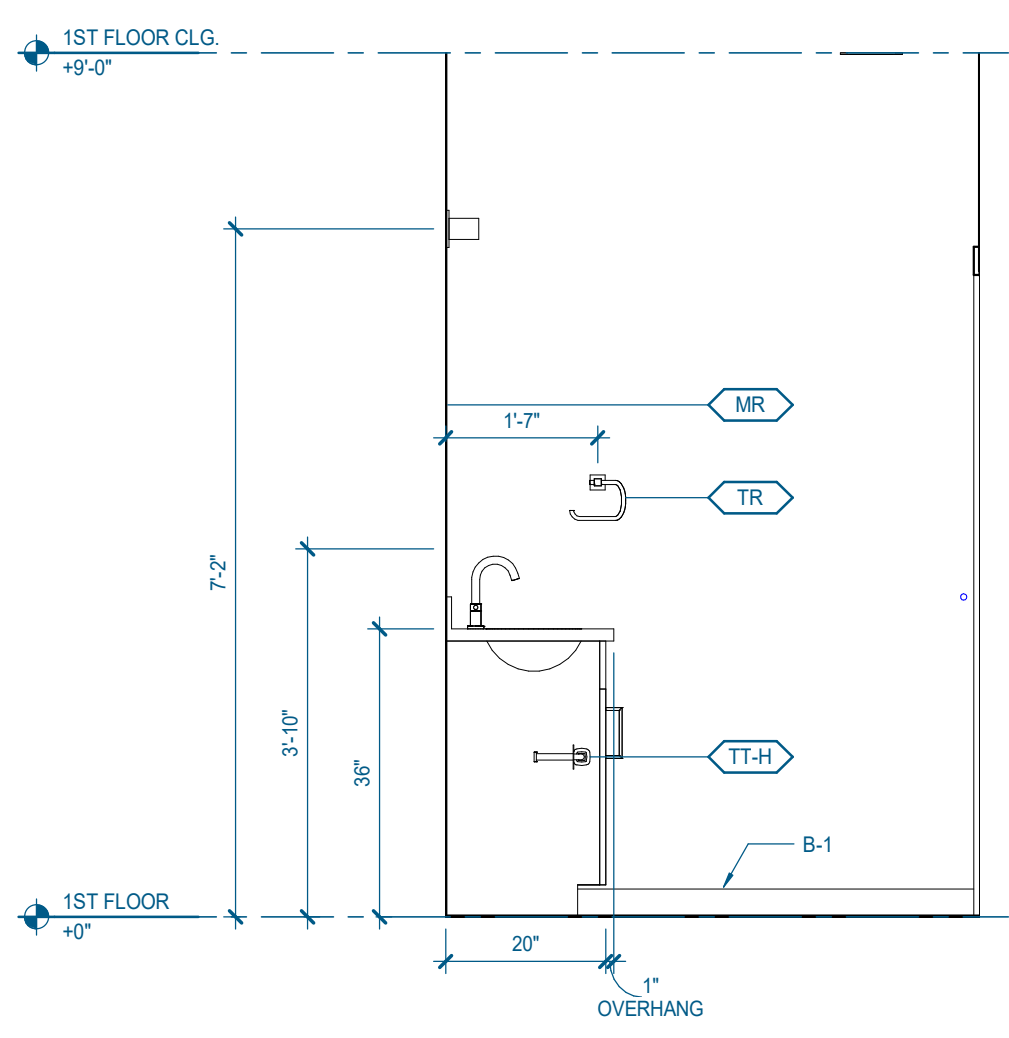
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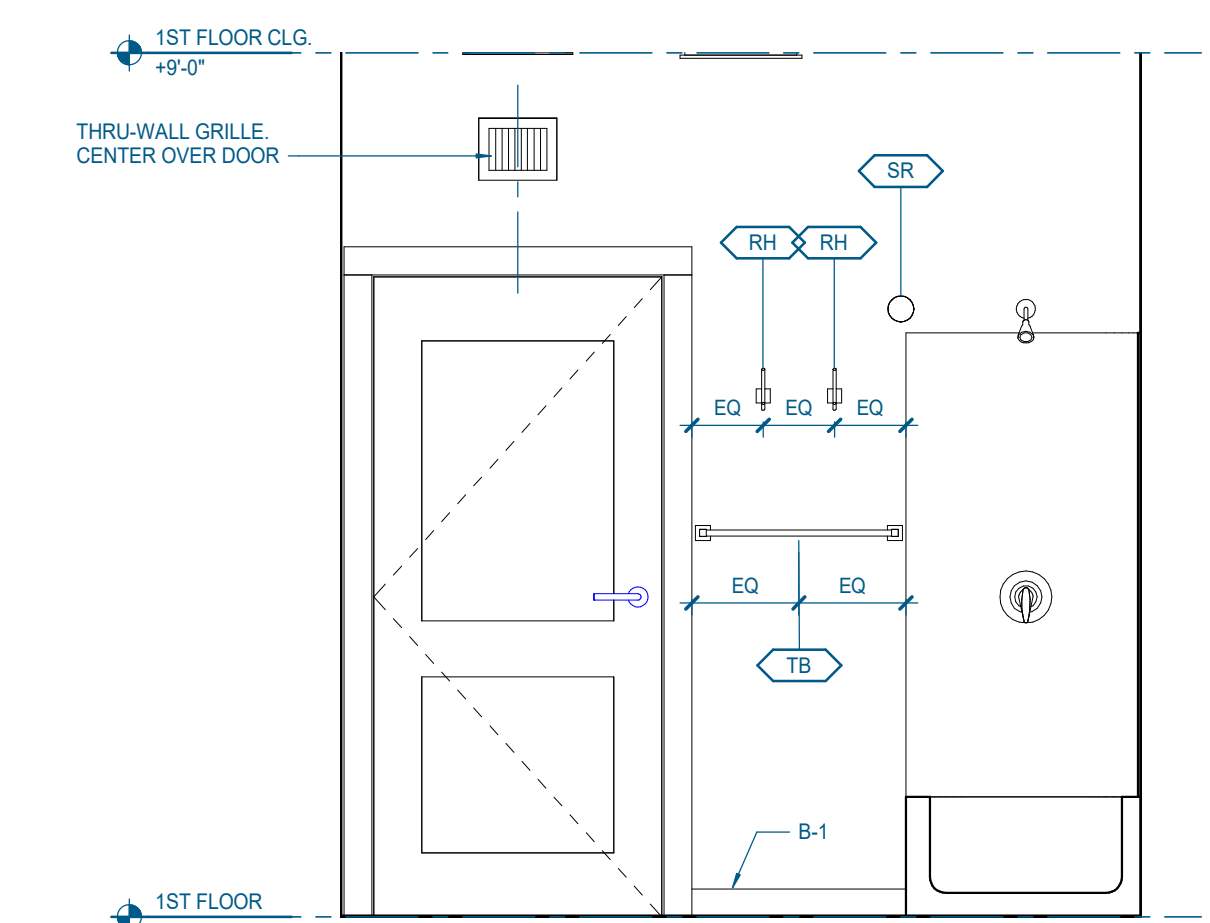
**J24** 2.1.C - BATHROOM ELEVATION 4  
1/2" = 1'-0" | A-431



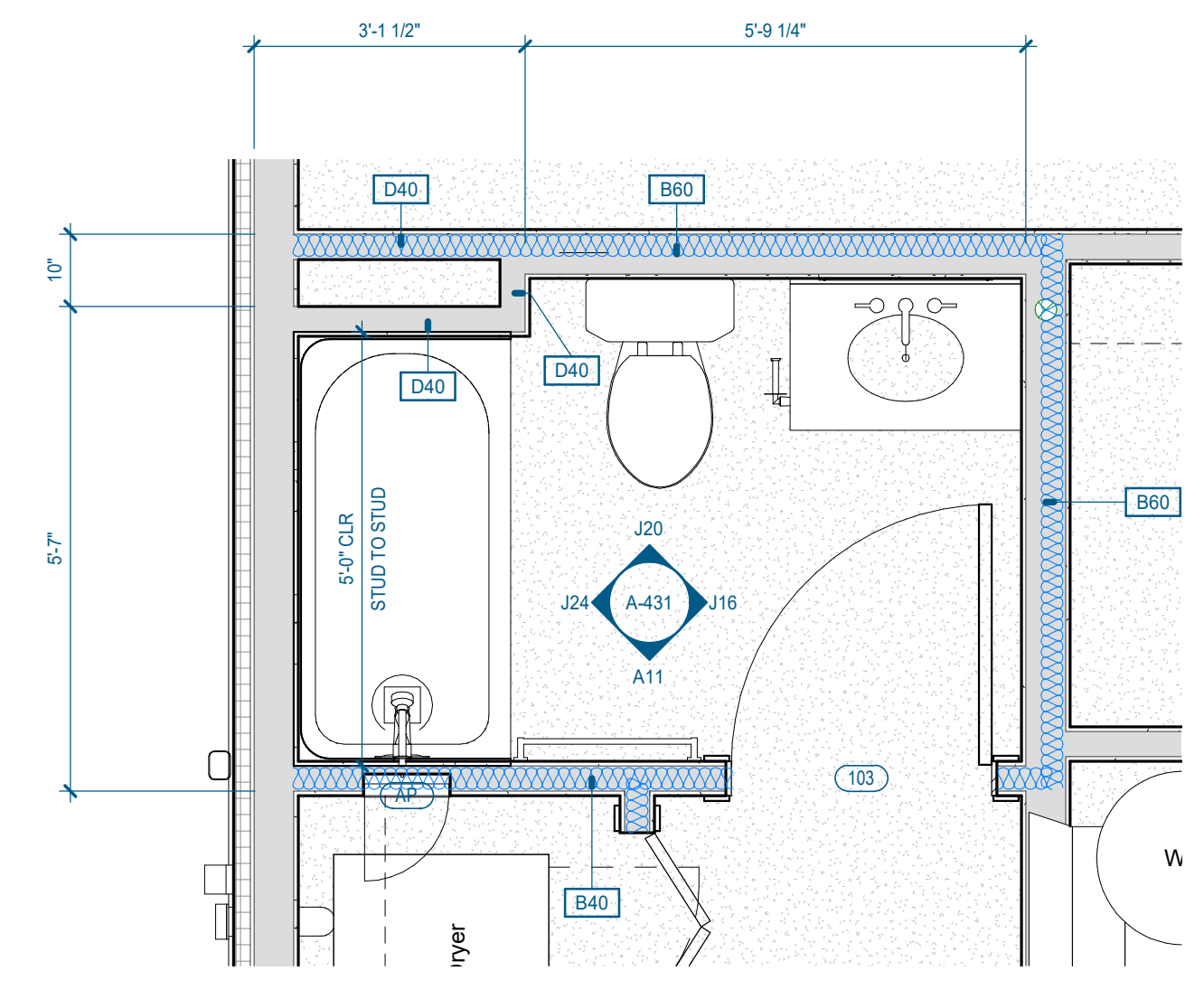
**J20** 2.1.C - BATHROOM ELEVATION 3  
1/2" = 1'-0" | A-431



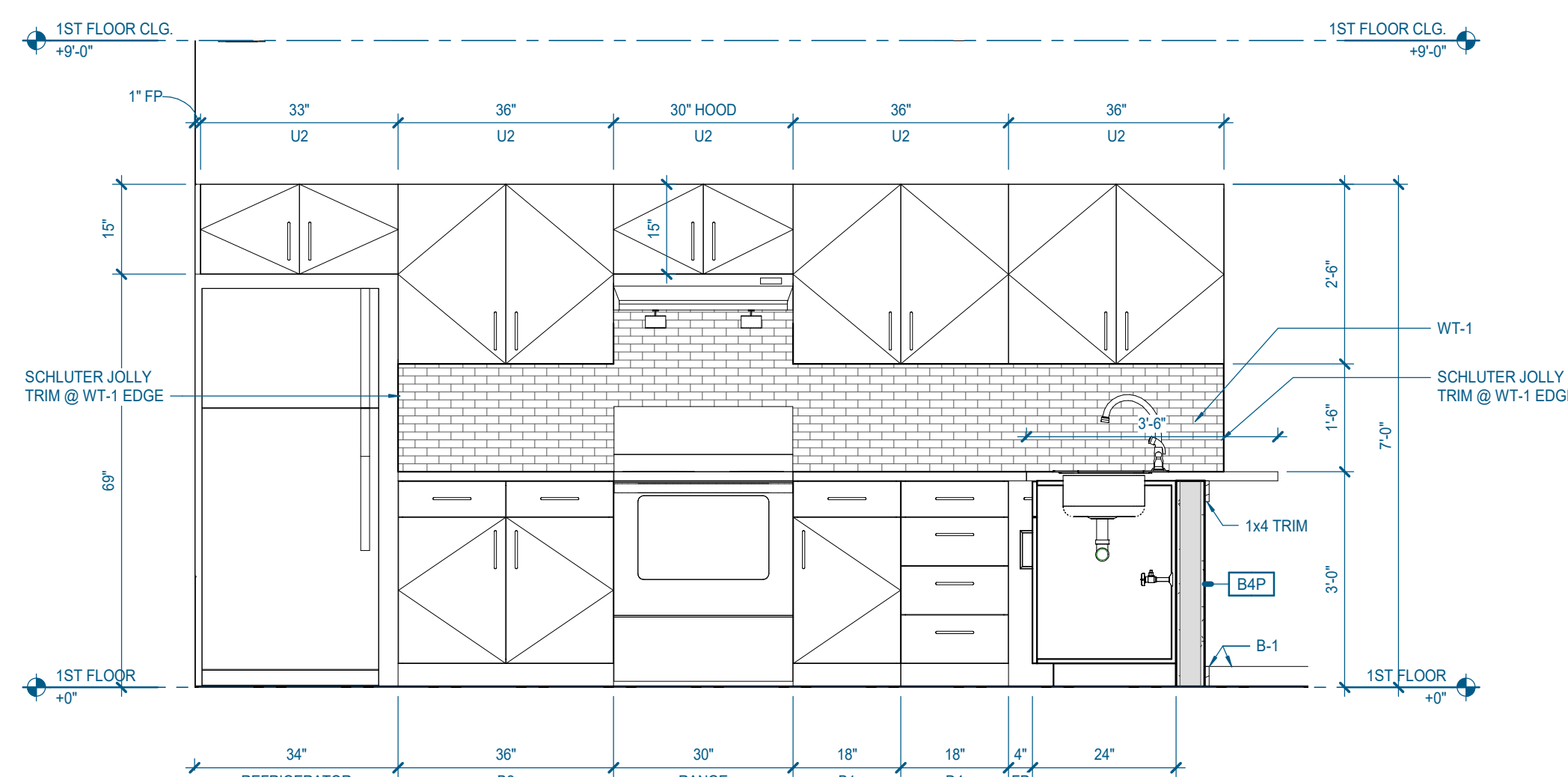
**J16** 2.1.C - BATHROOM ELEVATION 2  
1/2" = 1'-0" | A-431



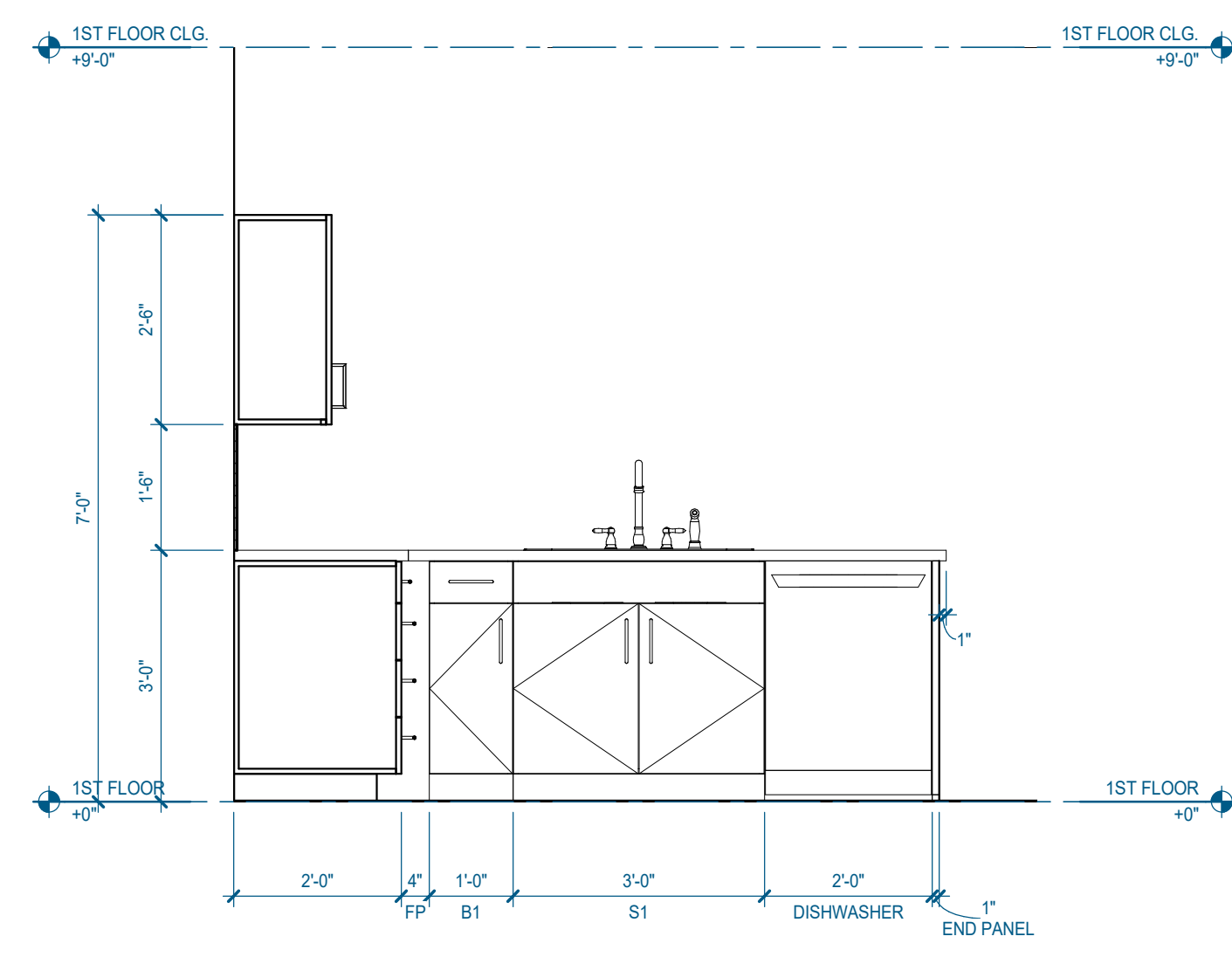
**A11** 2.1.C - BATHROOM ELEVATION 1  
1/2" = 1'-0" | A-431



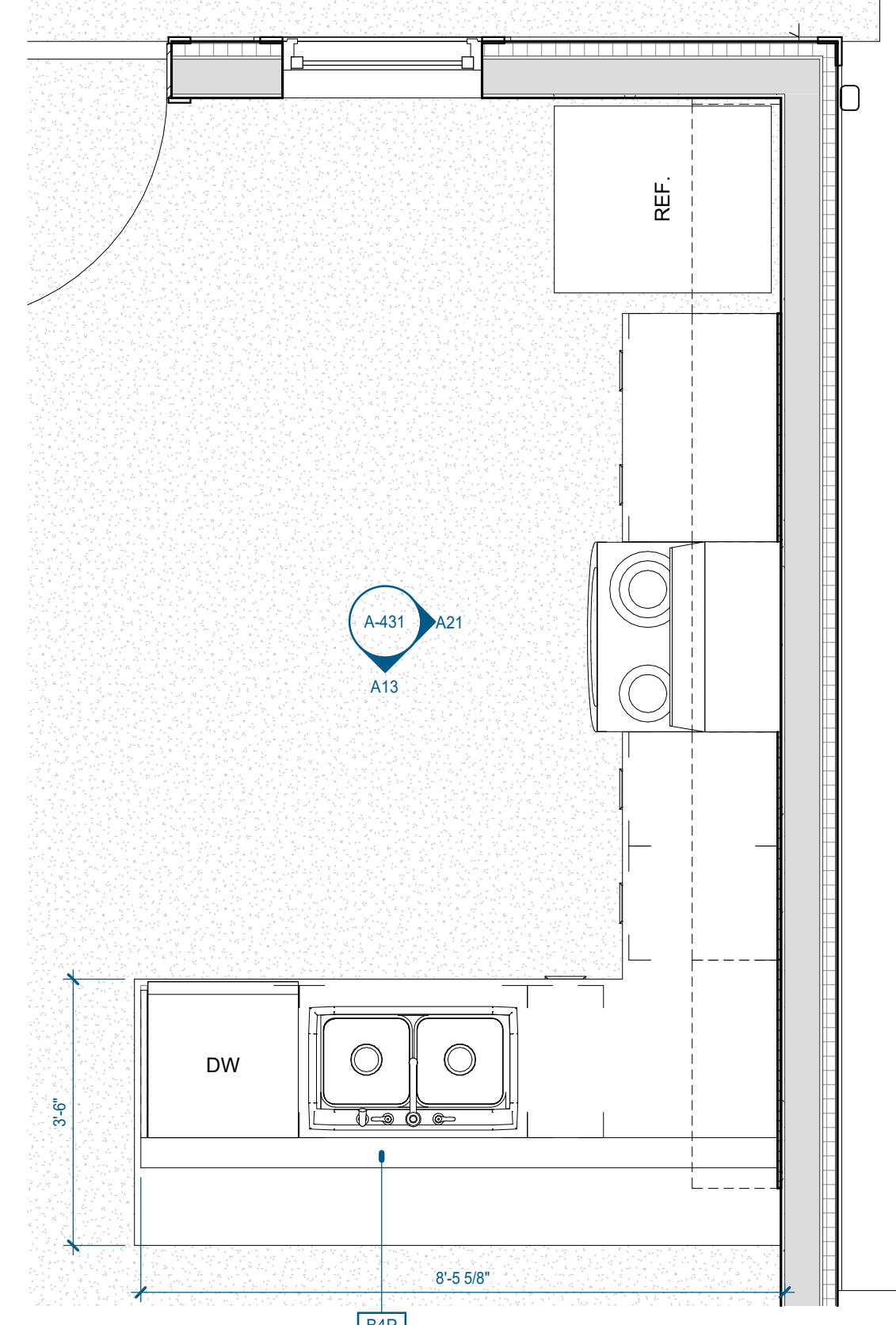
**J06** 2.1.C - ENLARGED BATHROOM PLAN  
1/2" = 1'-0" | A-431



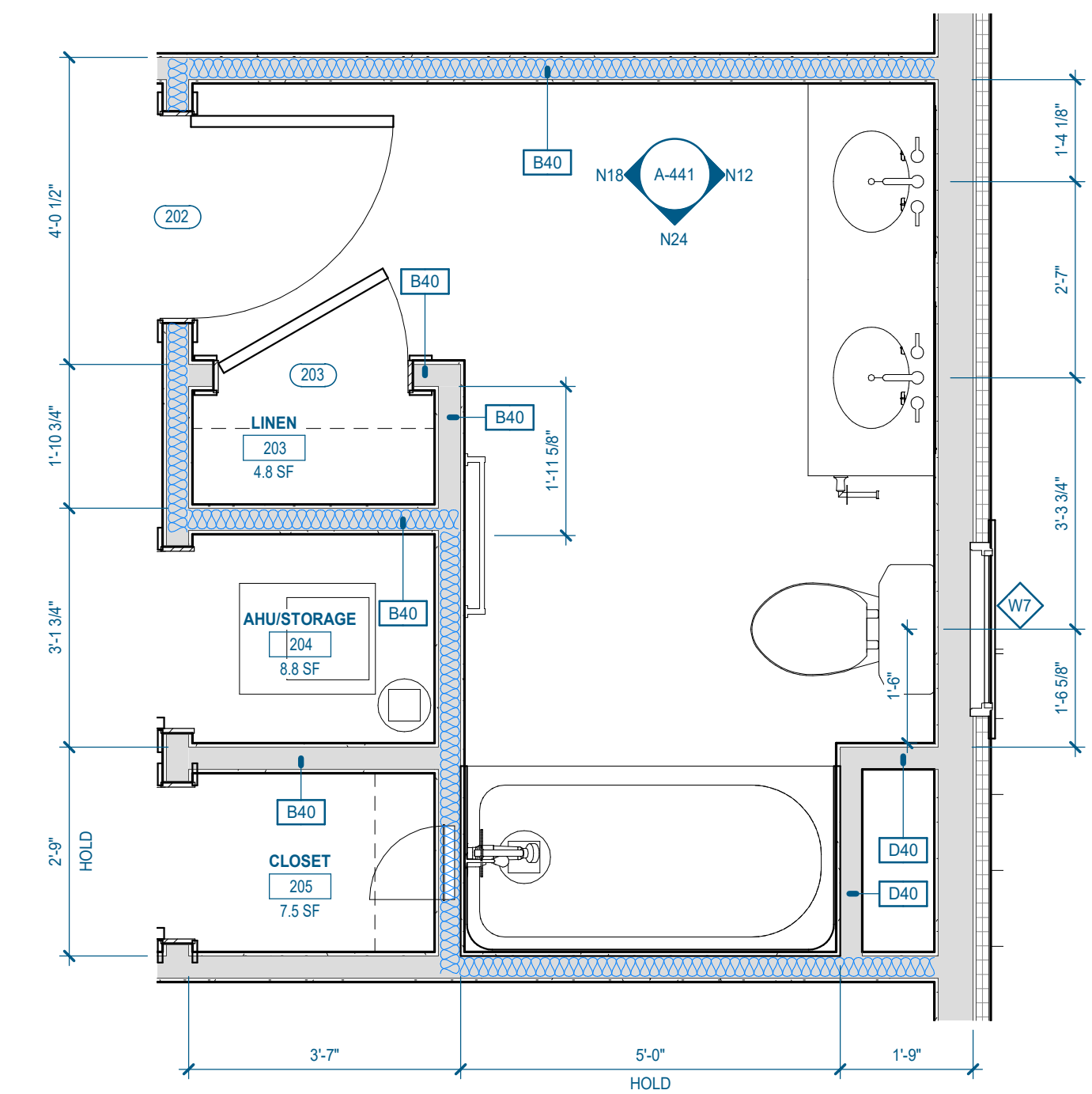
**A21** 2.1.C - KITCHEN ELEVATION 2  
1/2" = 1'-0" | A-431



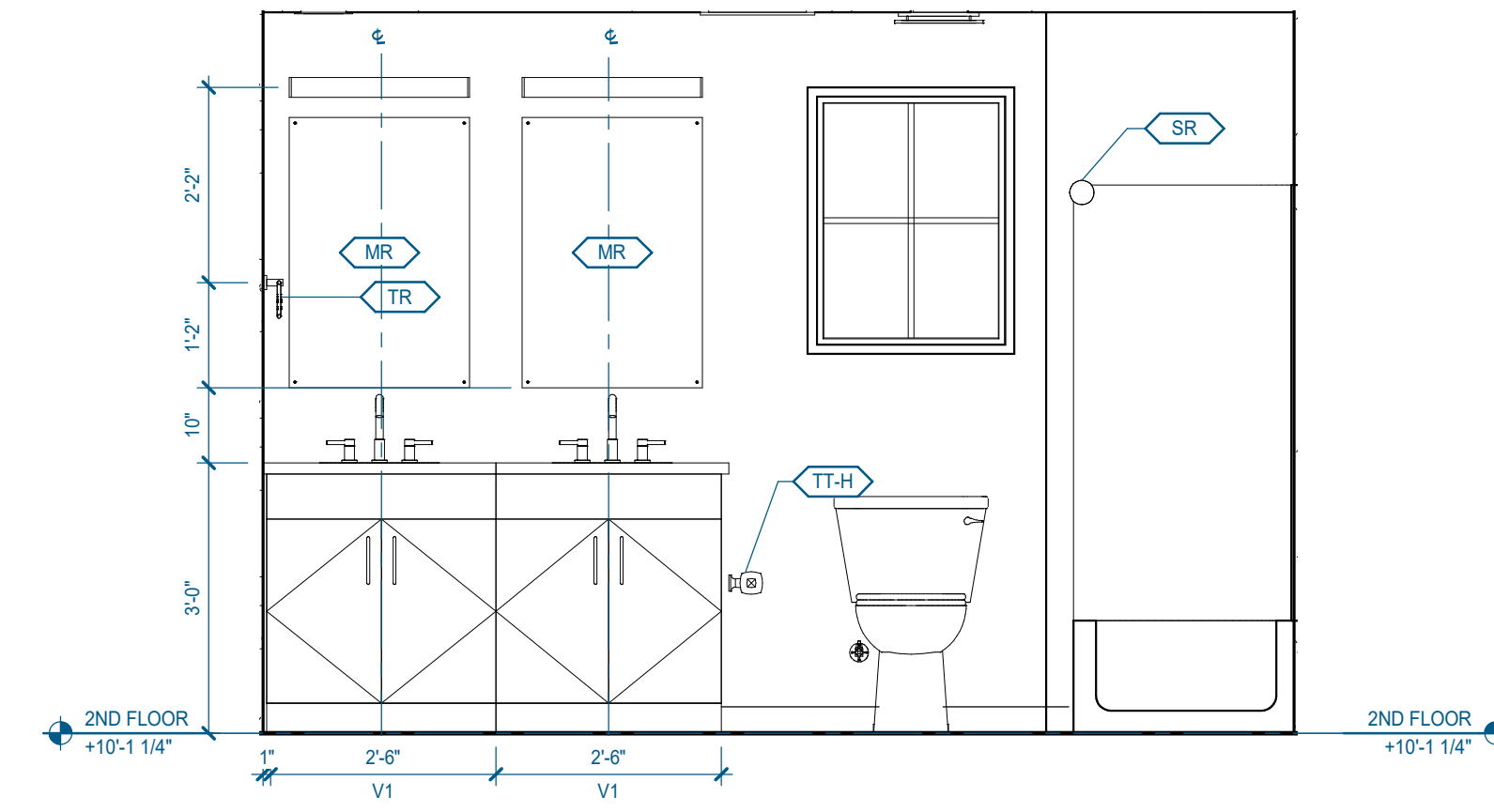
**A13** 2.1.C - KITCHEN ELEVATION 1  
1/2" = 1'-0" | A-431



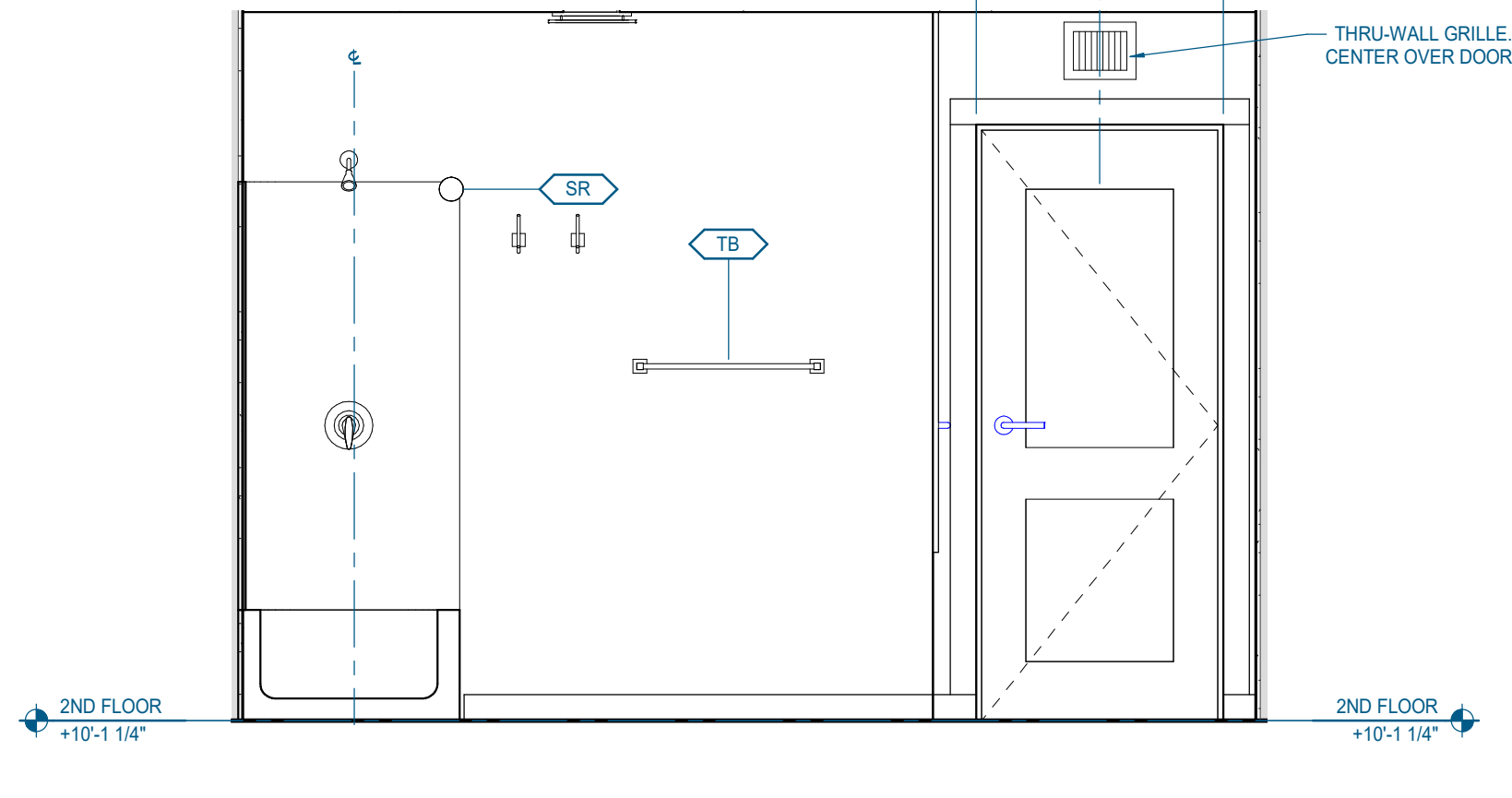
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1/2" = 1'-0" | A-431



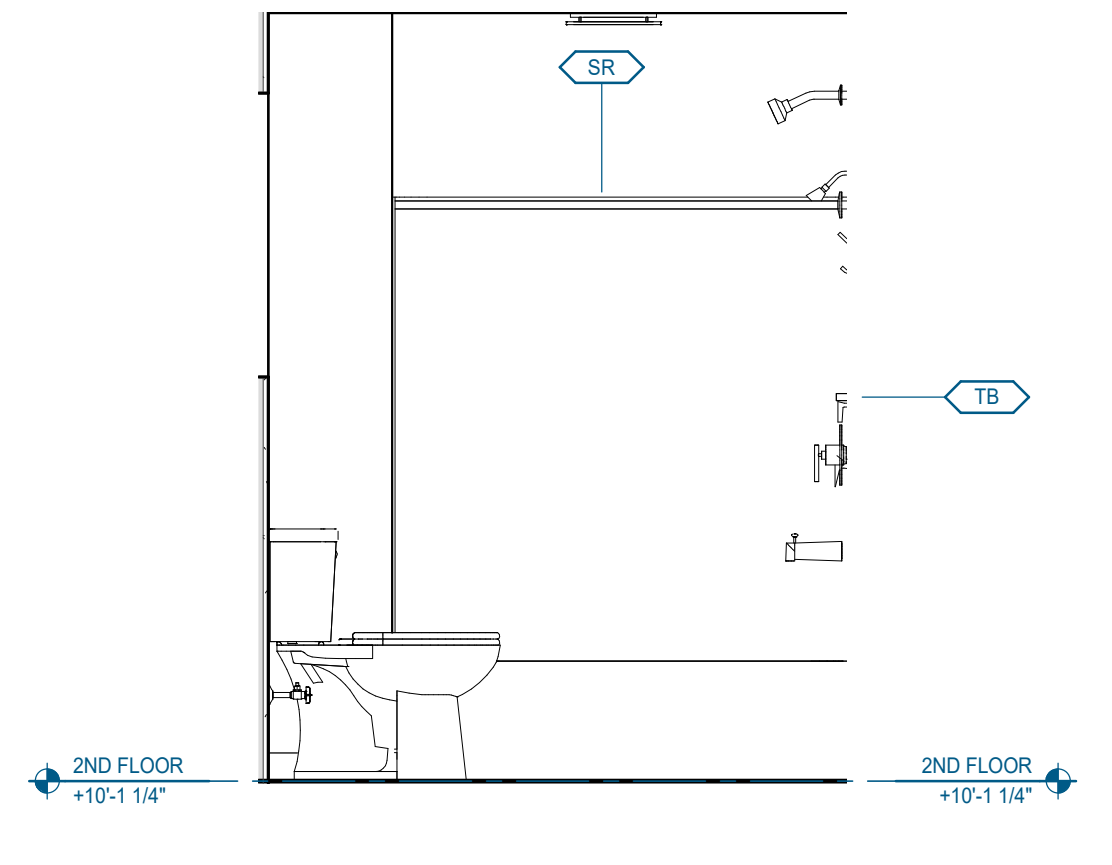
N06 3.2.A - ENLARGED FLOOR PLAN - SECOND FLOOR BATHROOM  
1/2" = 1'-0" | A-441



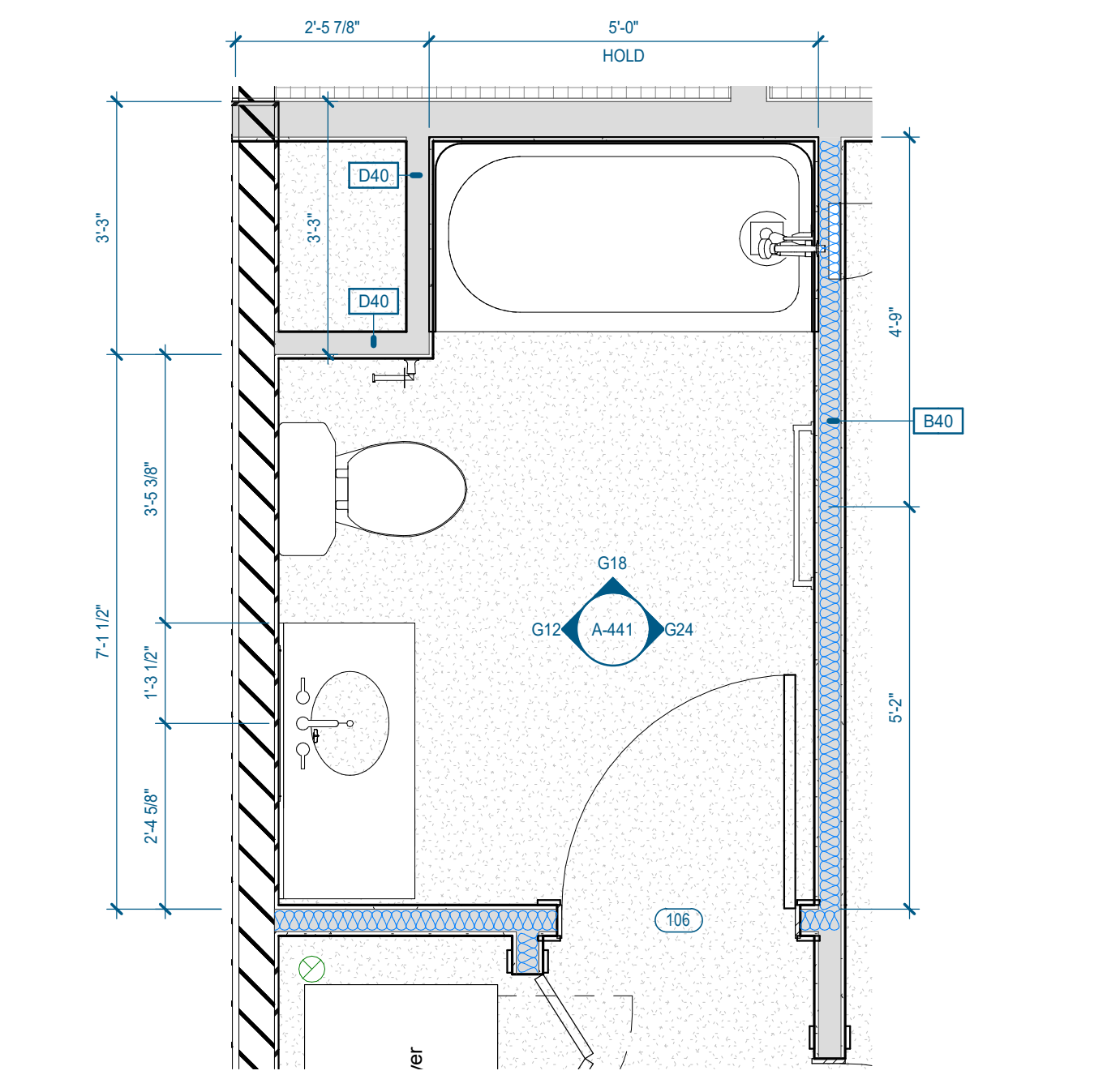
N12 3.2.A - 2ND FLOOR BATHROOM ELEVATION 1  
1/2" = 1'-0" | A-441



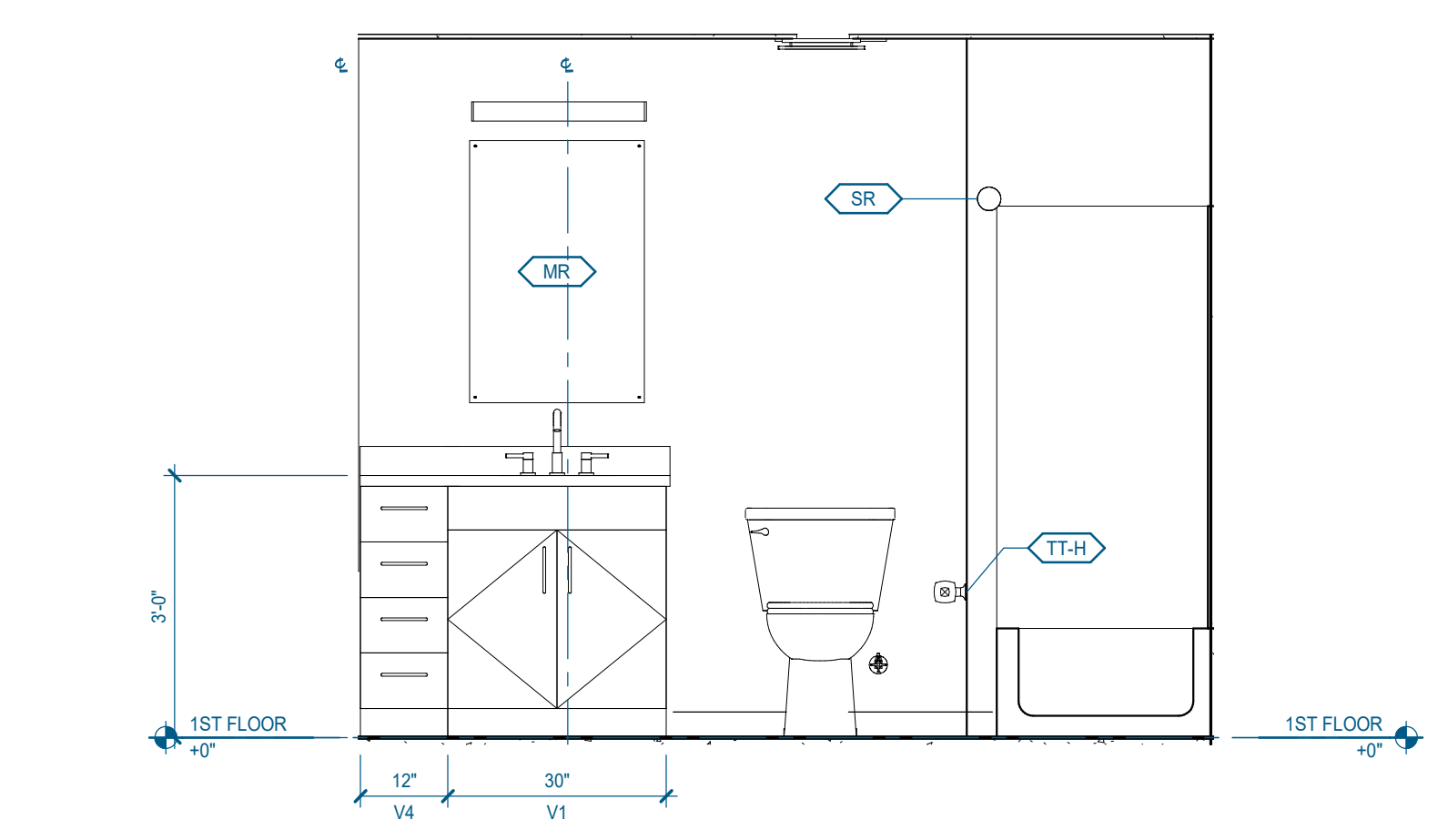
N18 3.2.A - 2ND FLOOR BATHROOM ELEVATION 2  
1/2" = 1'-0" | A-441



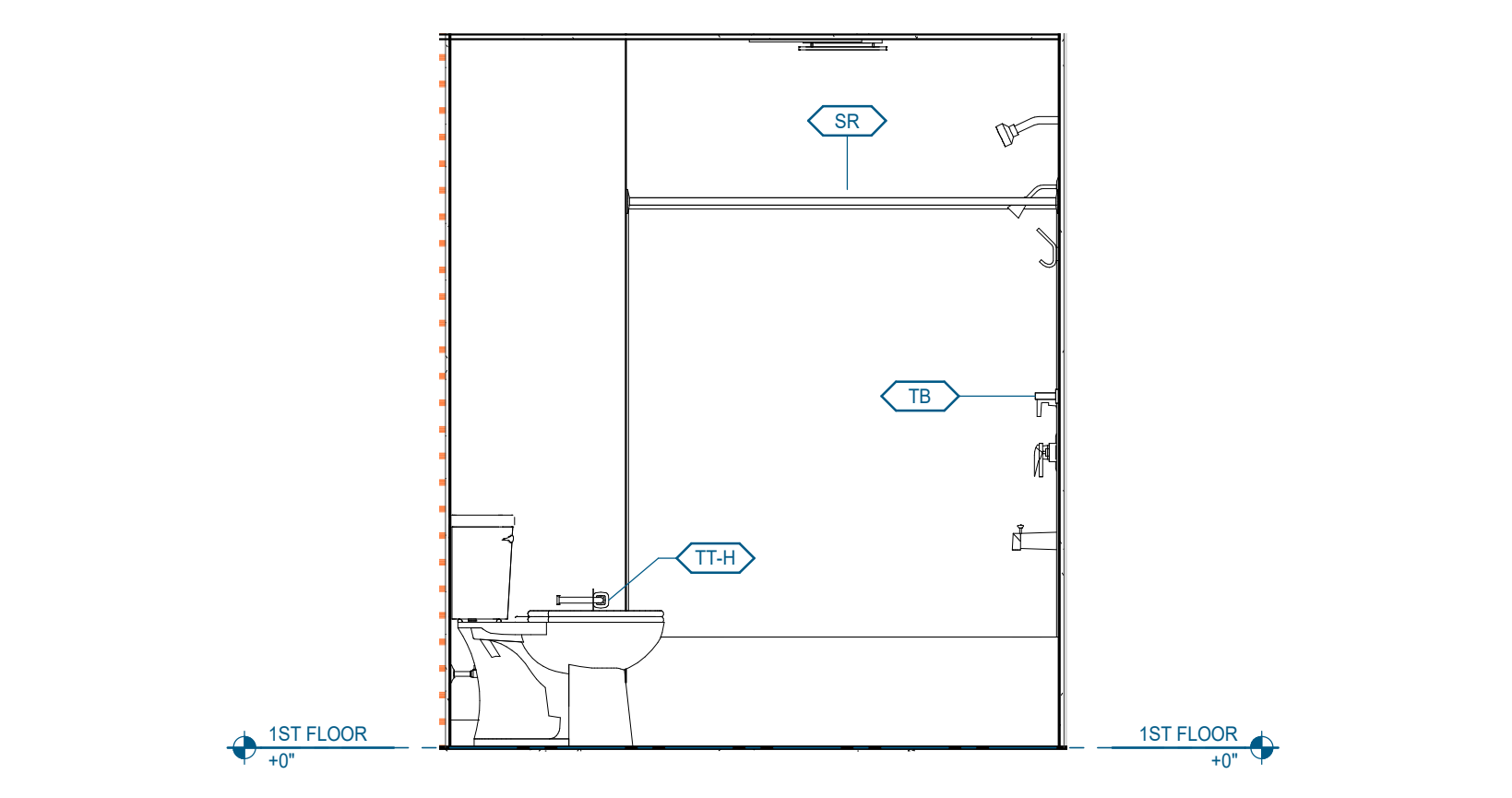
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1/2" = 1'-0" | A-441



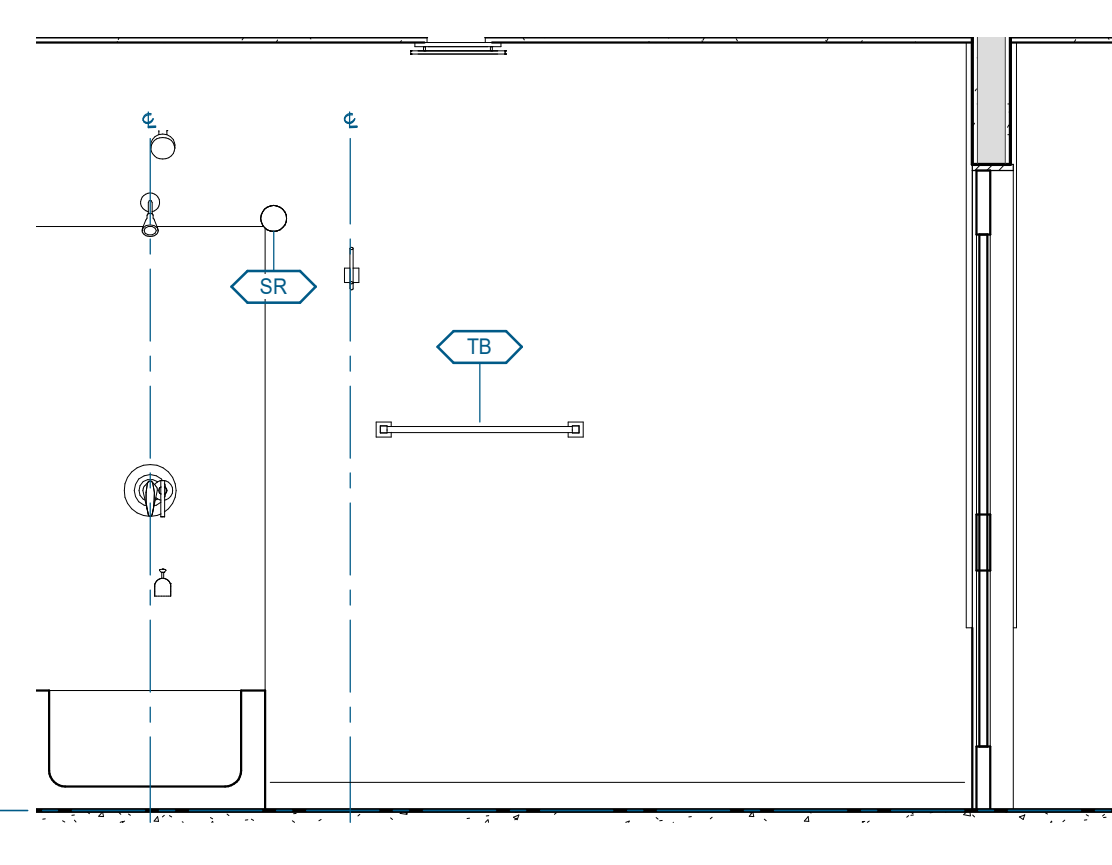
G06 3.2.A - ENLARGED FLOOR PLAN - FIRST FLOOR BATHROOM  
1/2" = 1'-0" | A-441



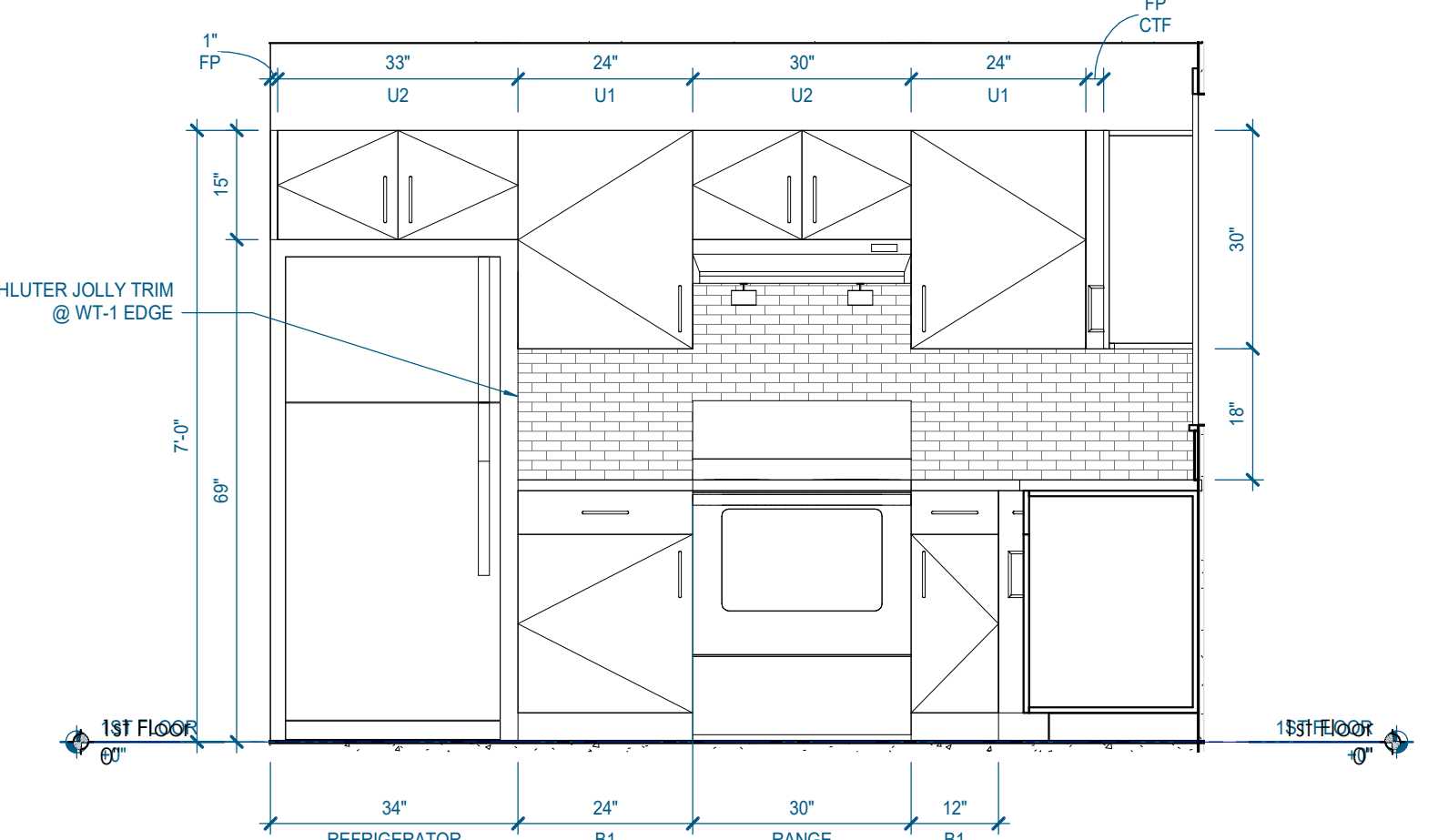
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1/2" = 1'-0" | A-441



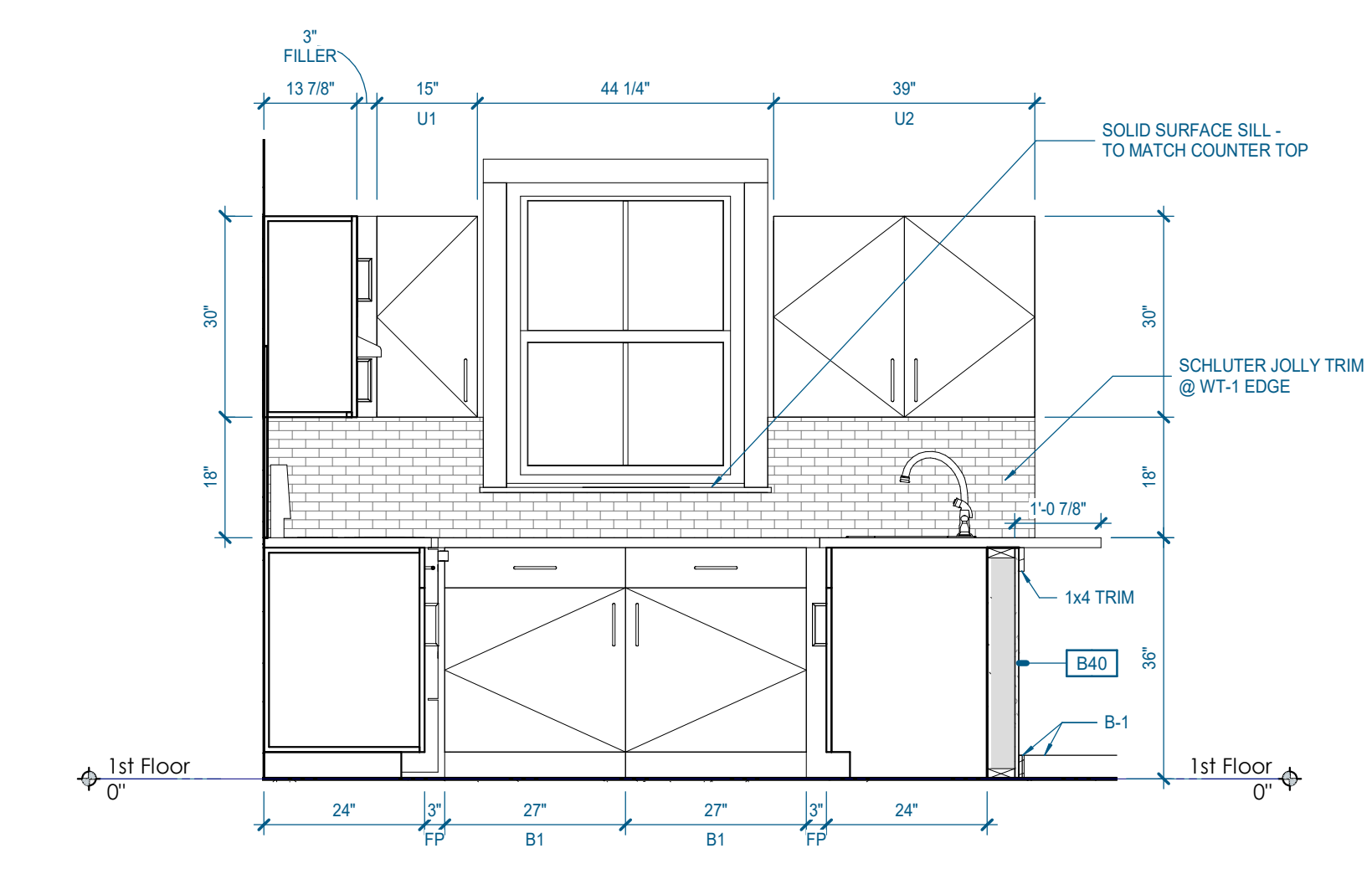
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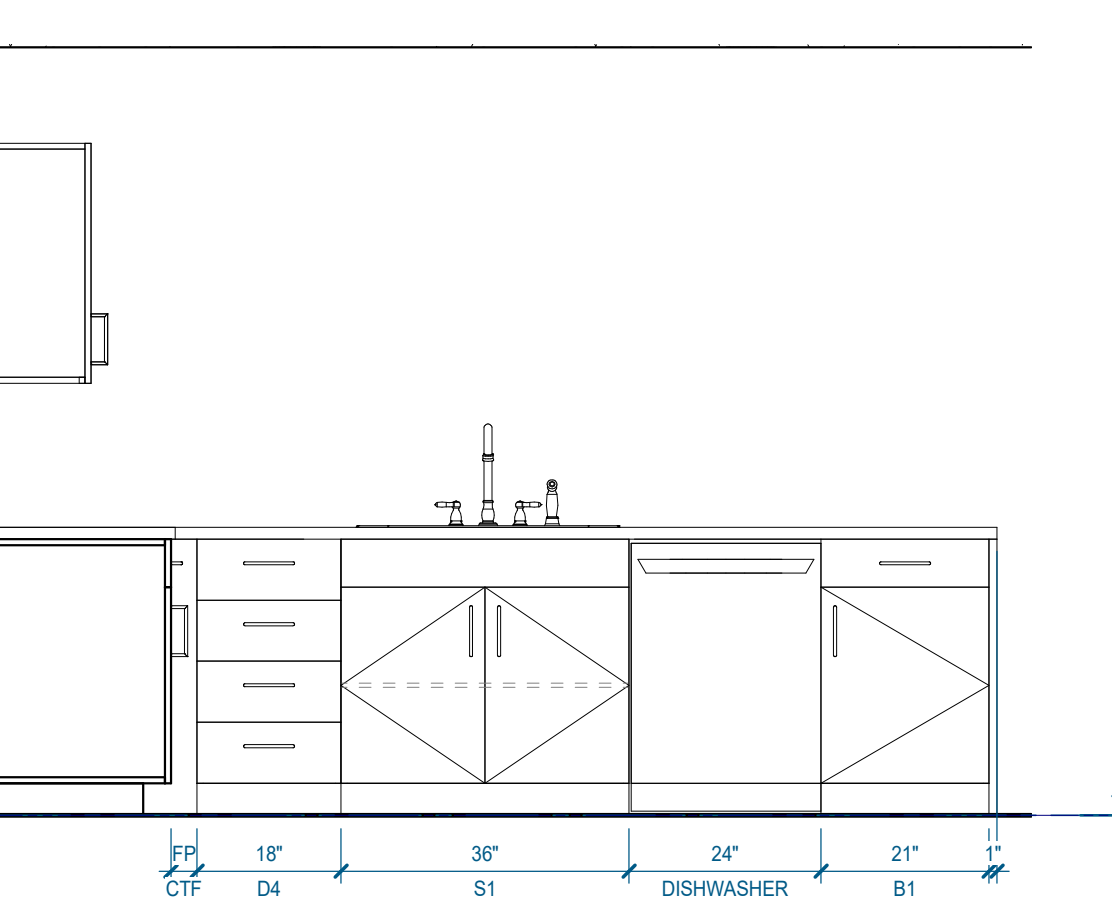
G24 3.2.A - BATHROOM ELEVATION 3  
1/2" = 1'-0" | A-441



A12 3.2.A - KITCHEN - N. ELEVATION  
1/2" = 1'-0" | A-441



A18 3.2.A - KITCHEN - E. ELEVATION  
1/2" = 1'-0" | A-441



A24 3.2.A - KITCHEN - S. ELEVATION  
1/2" = 1'-0" | A-441

Consultants:

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**SITE ENGINEERING  
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850 MIDDLE TN BLVD.  
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1.615.890.7901

LANDSCAPE ARCHITECT:  
**RAGAN SMITH**

STRUCTURAL ENGINEER:  
**HAINES STRUCTURAL GROUP**

MECHANICAL/PLUMBING ENGINEER:  
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PROJECT INFORMATION:  
**22054**  
**MHA - MERCURY  
HOUSING PHASE I**  
415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130

Project Information:  
**22054**

**MHA - MERCURY  
HOUSING PHASE I**  
415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:

# ISSUED BY: DATE

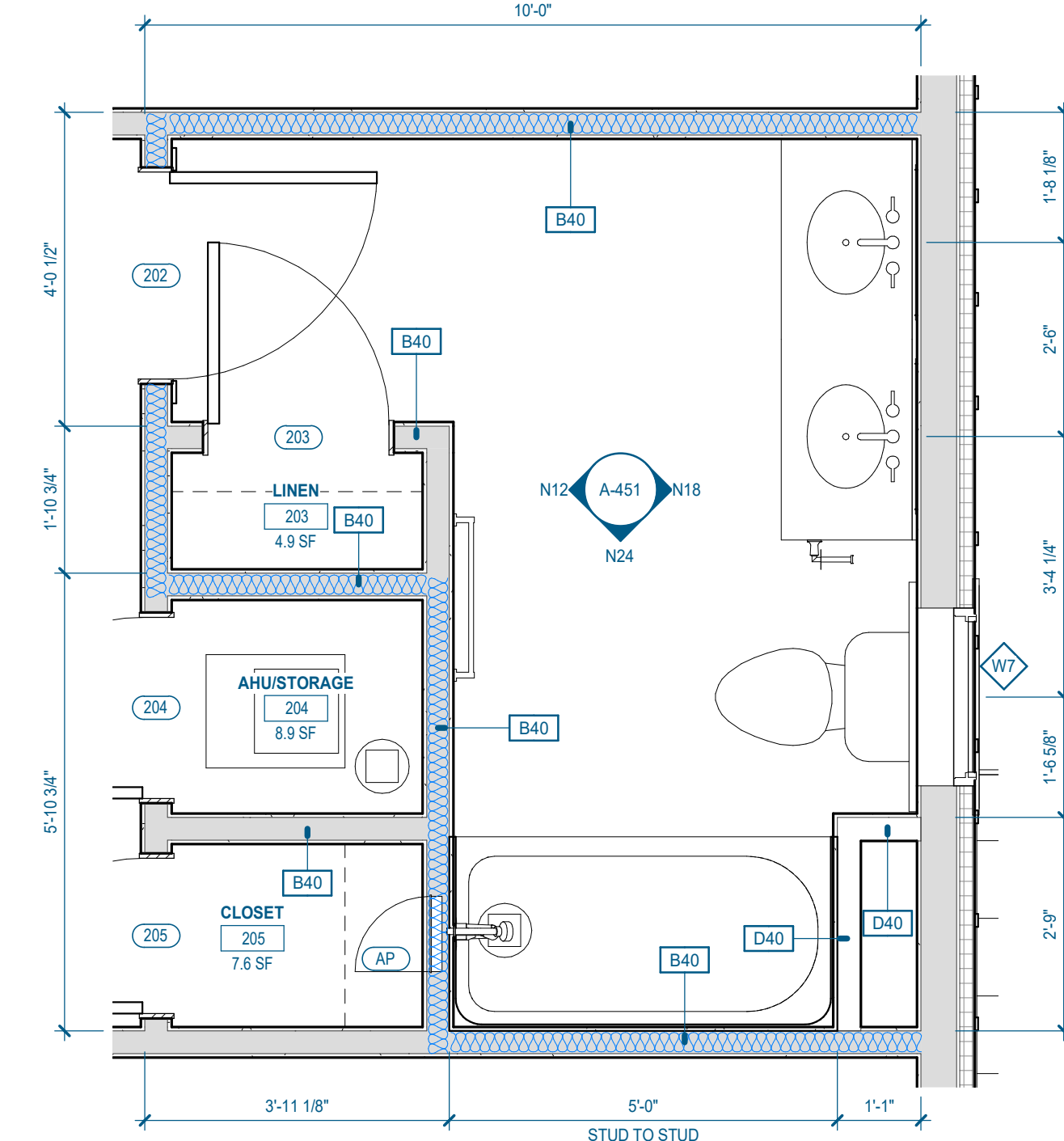
Issue Date: MAY 11, 2023  
PIC: M. BUTLER  
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PA: G. TAYLOR C. MYERS  
Drawn By: Author  
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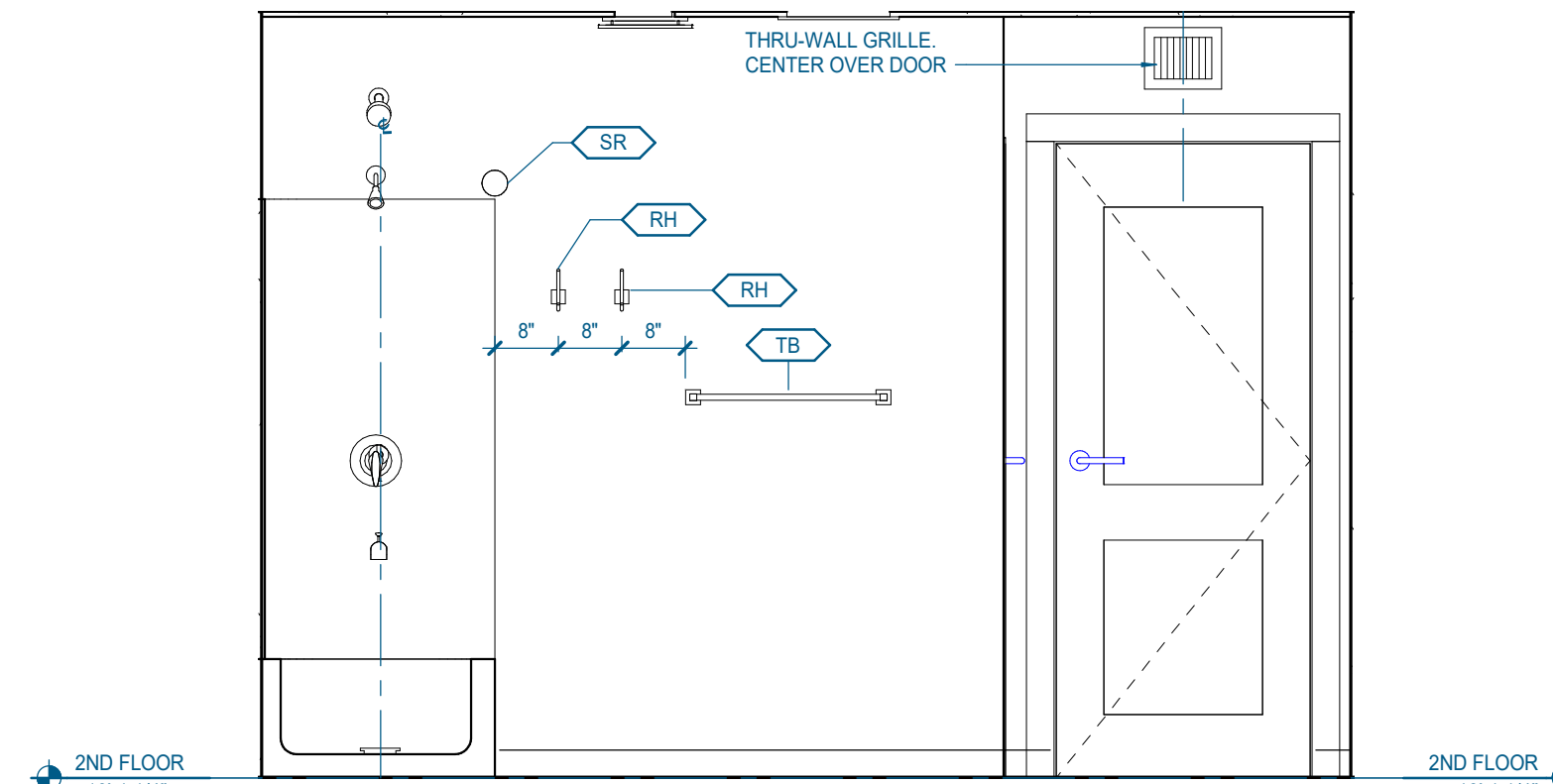
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3.2.A(u) - ENLARGED  
PLANS & ELEVATIONS

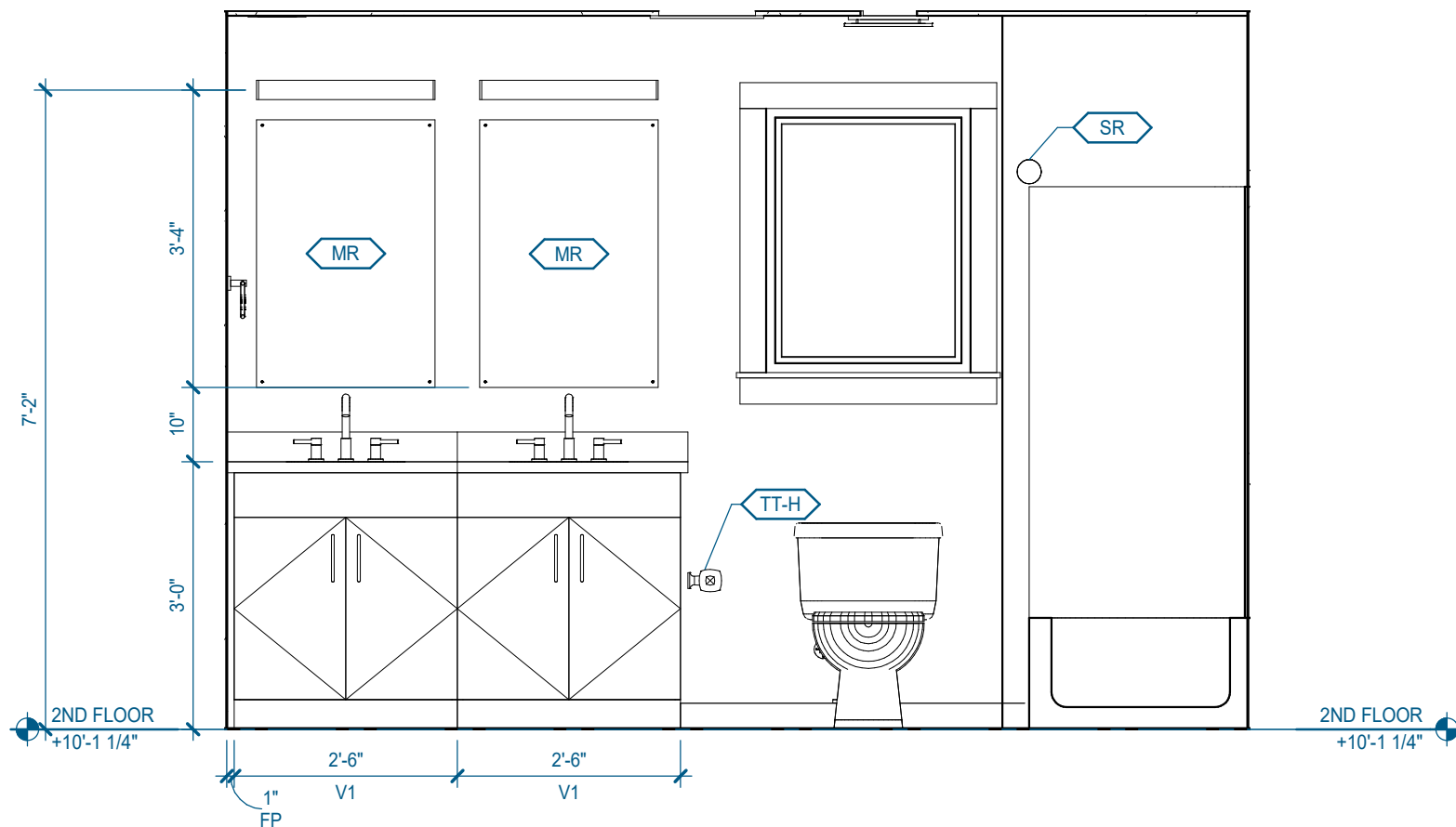
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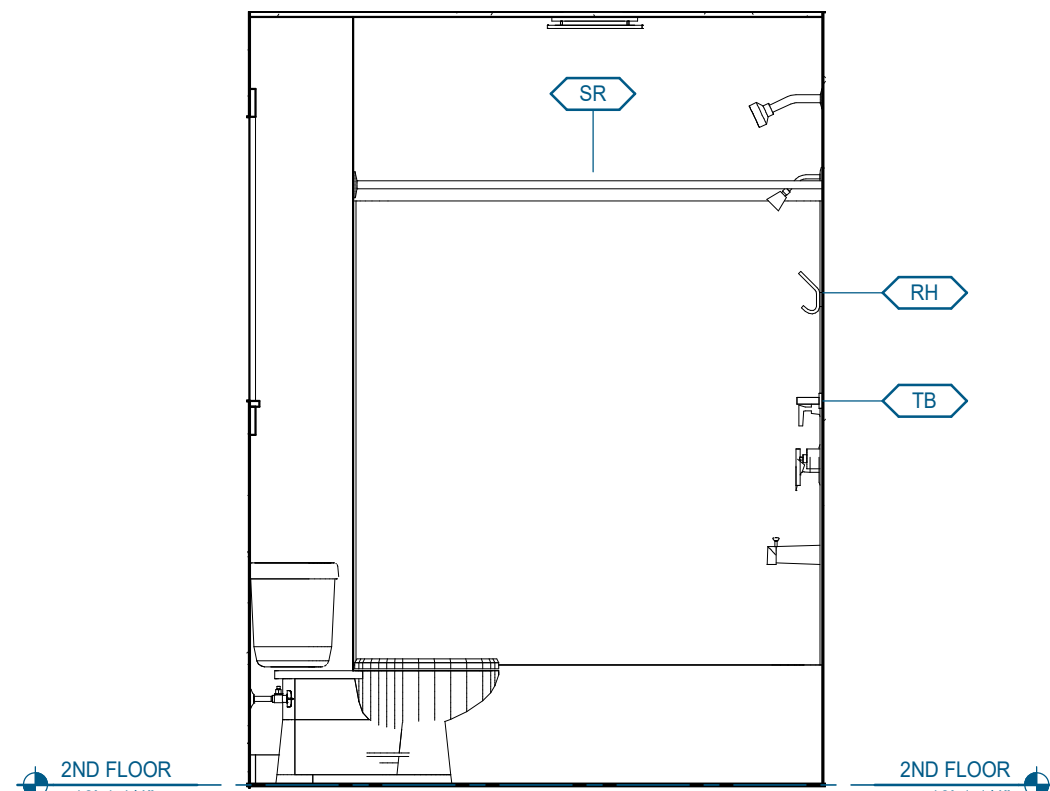
**N06** 3.2.A(u) - ENLARGED FLOOR PLAN - SECOND FLOOR BATHROOM  
1/2" = 1'-0" | A-451



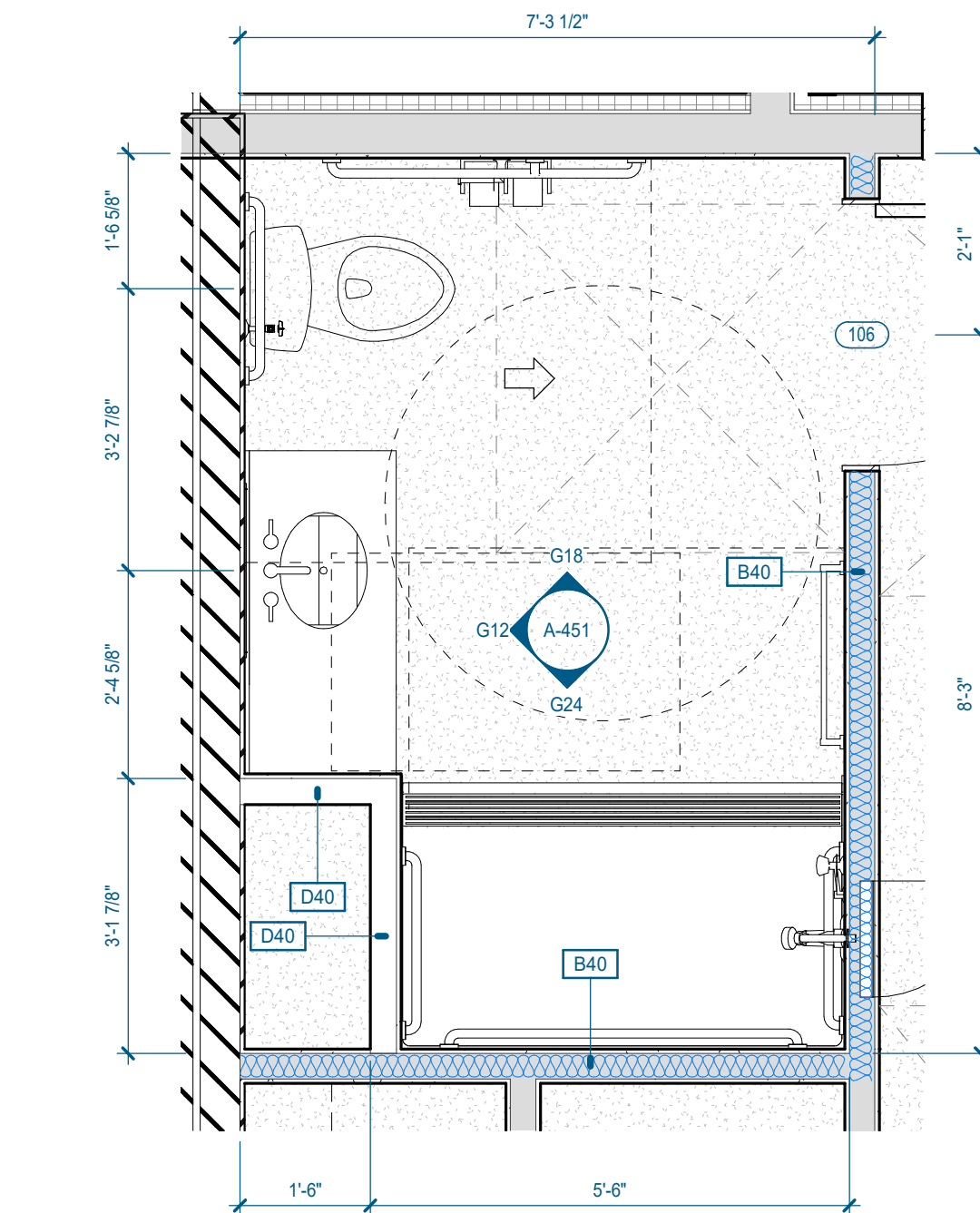
**N12** 3.2.A(u) - SECOND FLOOR BATHROOM ELEVATION 1  
1/2" = 1'-0" | A-451



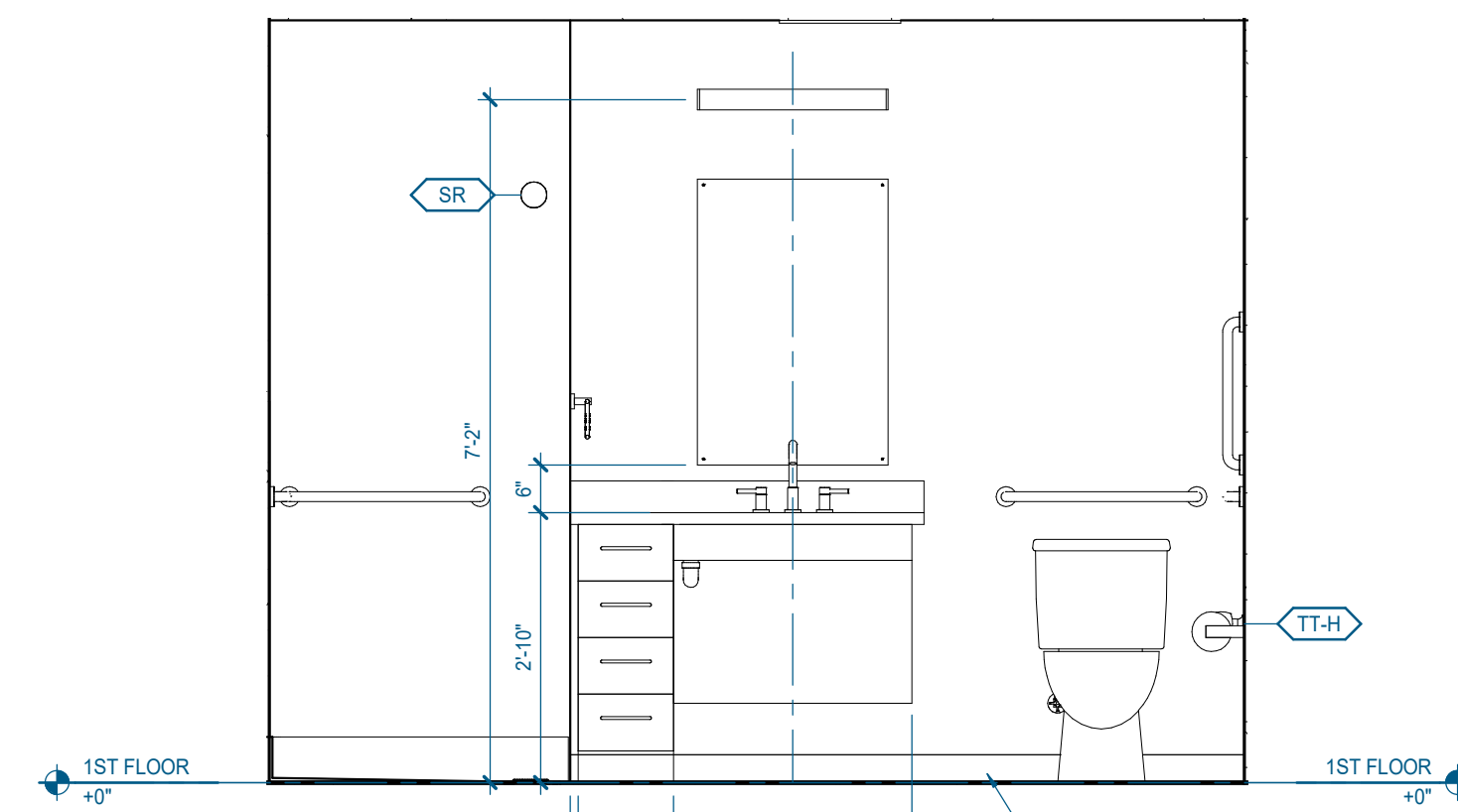
**N18** 3.2.A(u) - SECOND FLOOR BATHROOM ELEVATION 2  
1/2" = 1'-0" | A-451



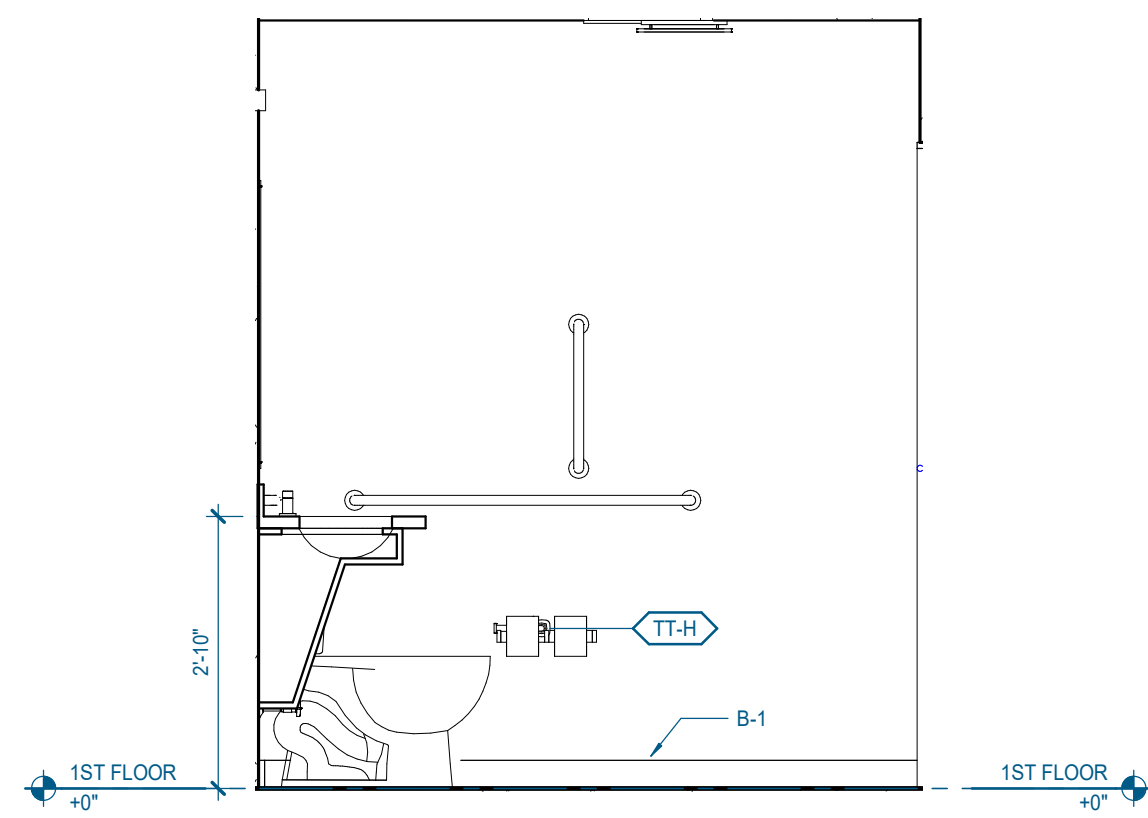
**N24** 3.2.A(u) - SECOND FLOOR BATHROOM ELEVATION 3  
1/2" = 1'-0" | A-451



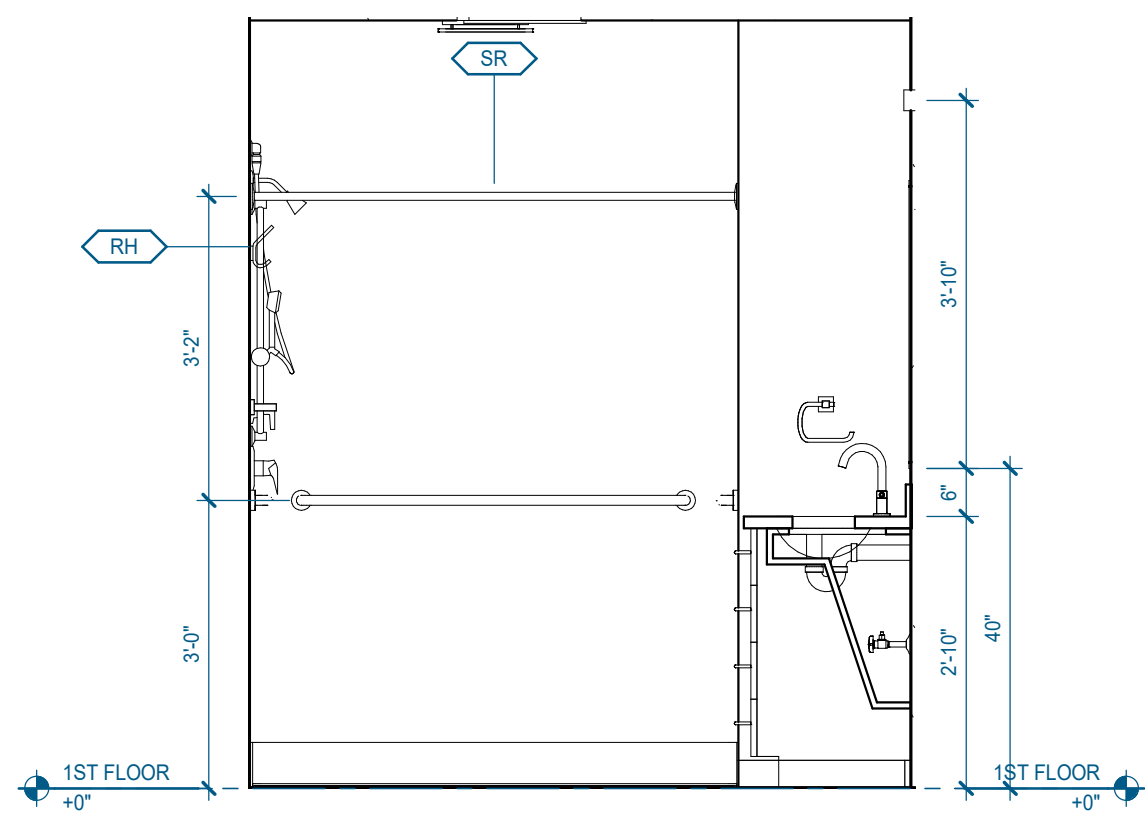
**G06** 3.2.A(u) - ENLARGED FLOOR PLAN - FIRST FLOOR BATHROOM  
1/2" = 1'-0" | A-451



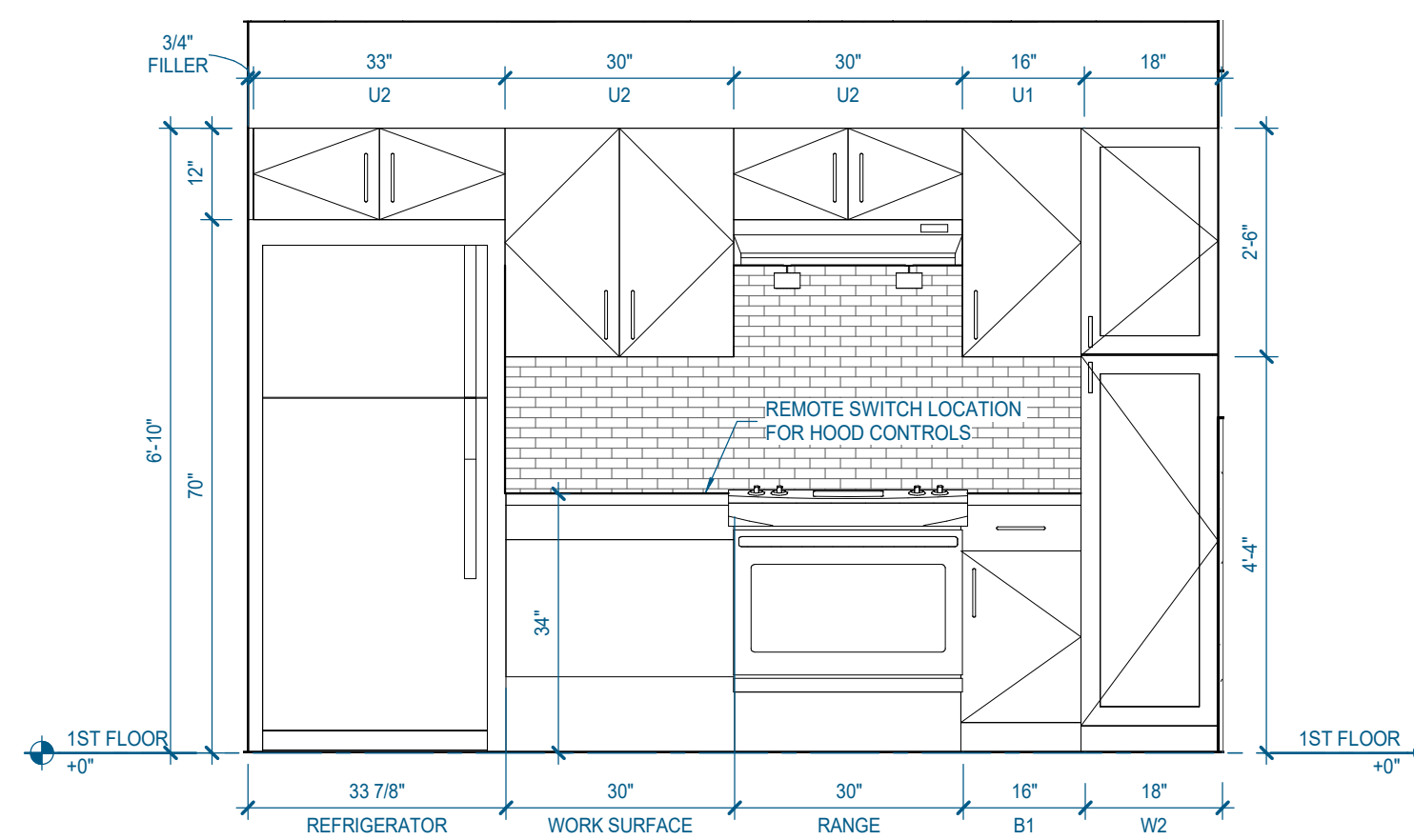
**G12** 3.2.A(u) - BATHROOM ELEVATION 1  
1/2" = 1'-0" | A-451



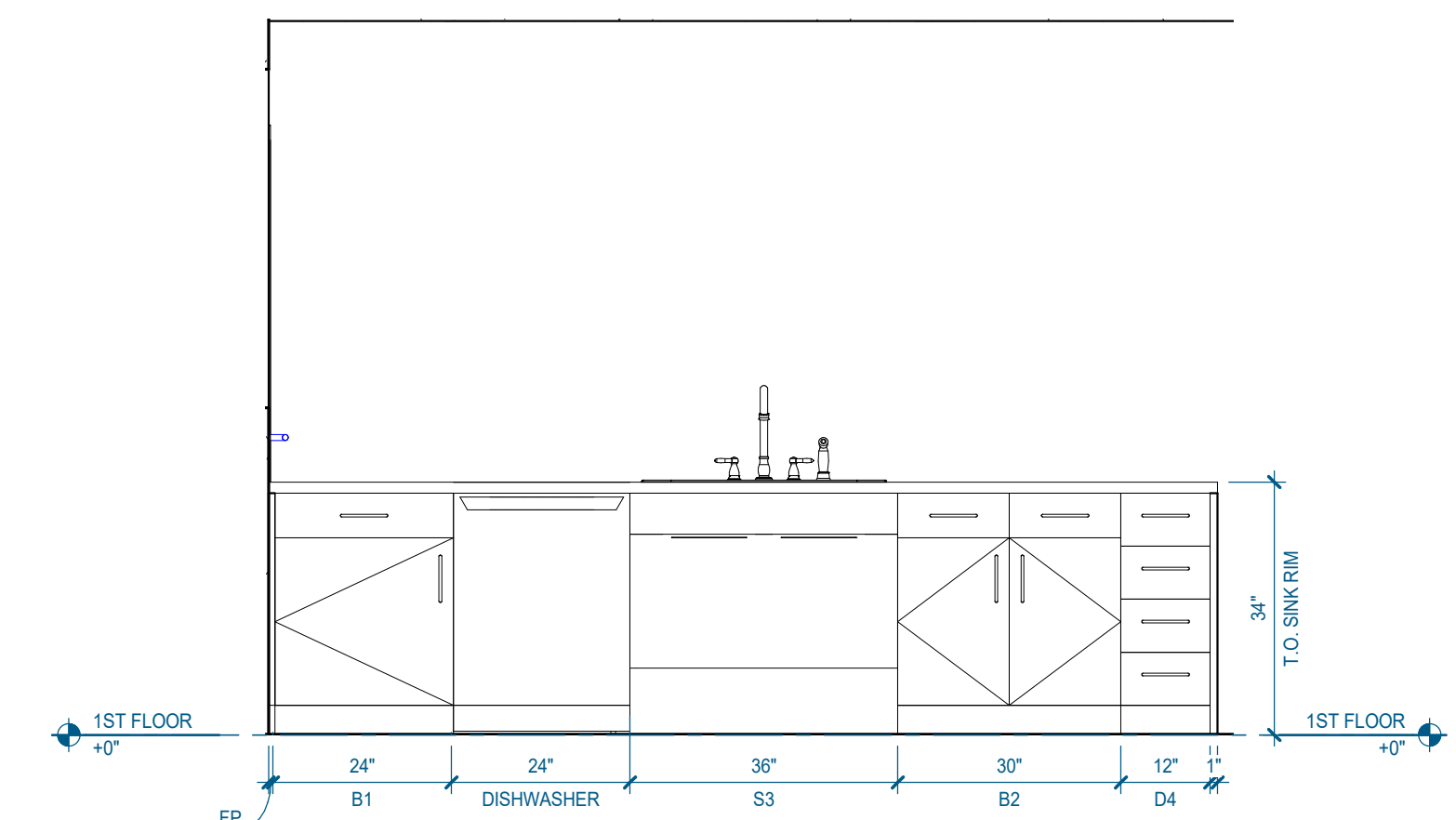
**G18** 3.2.A(u) - BATHROOM ELEVATION 2  
1/2" = 1'-0" | A-451



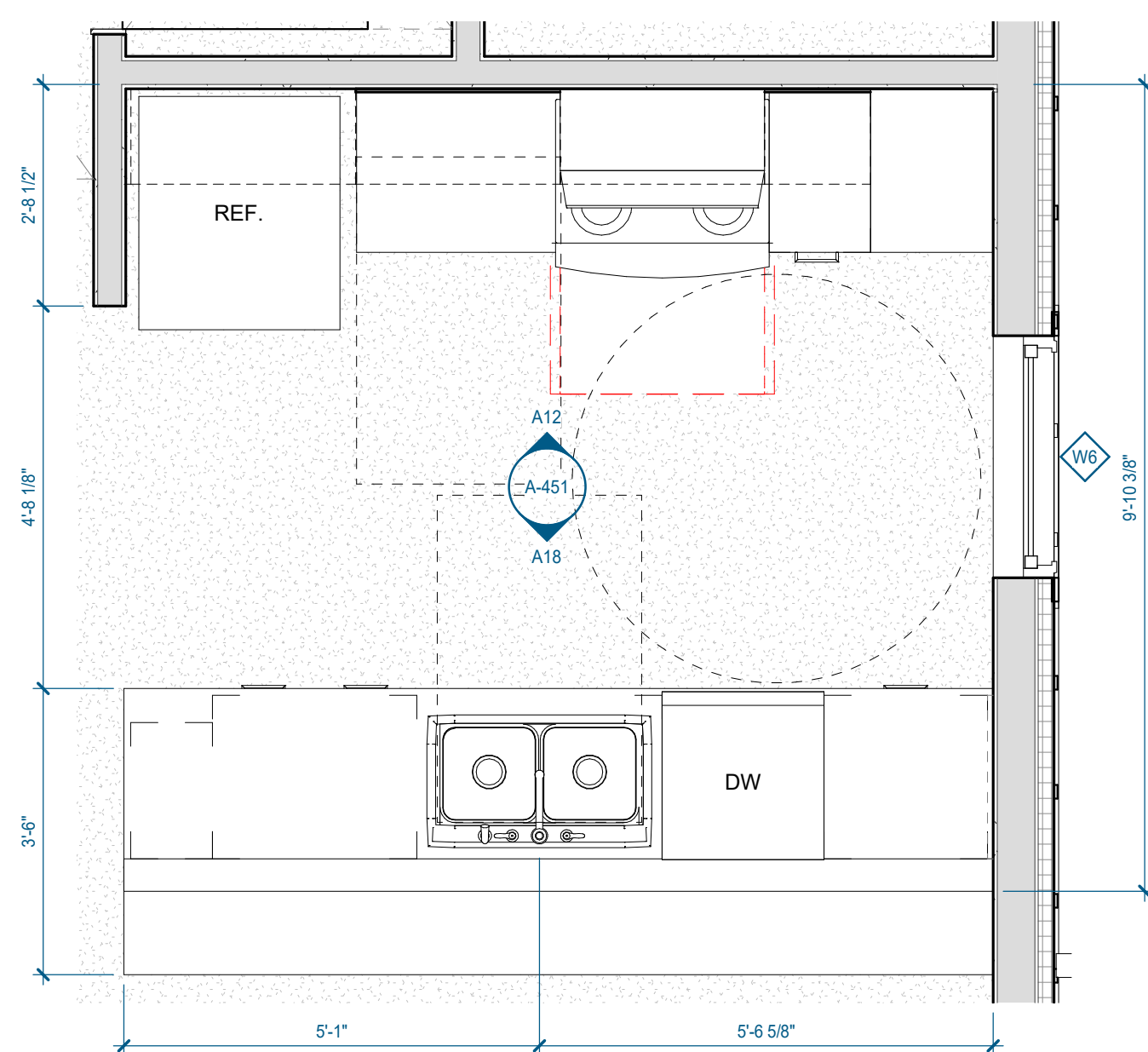
**G24** 3.2.A(u) - BATHROOM ELEVATION 3  
1/2" = 1'-0" | A-451



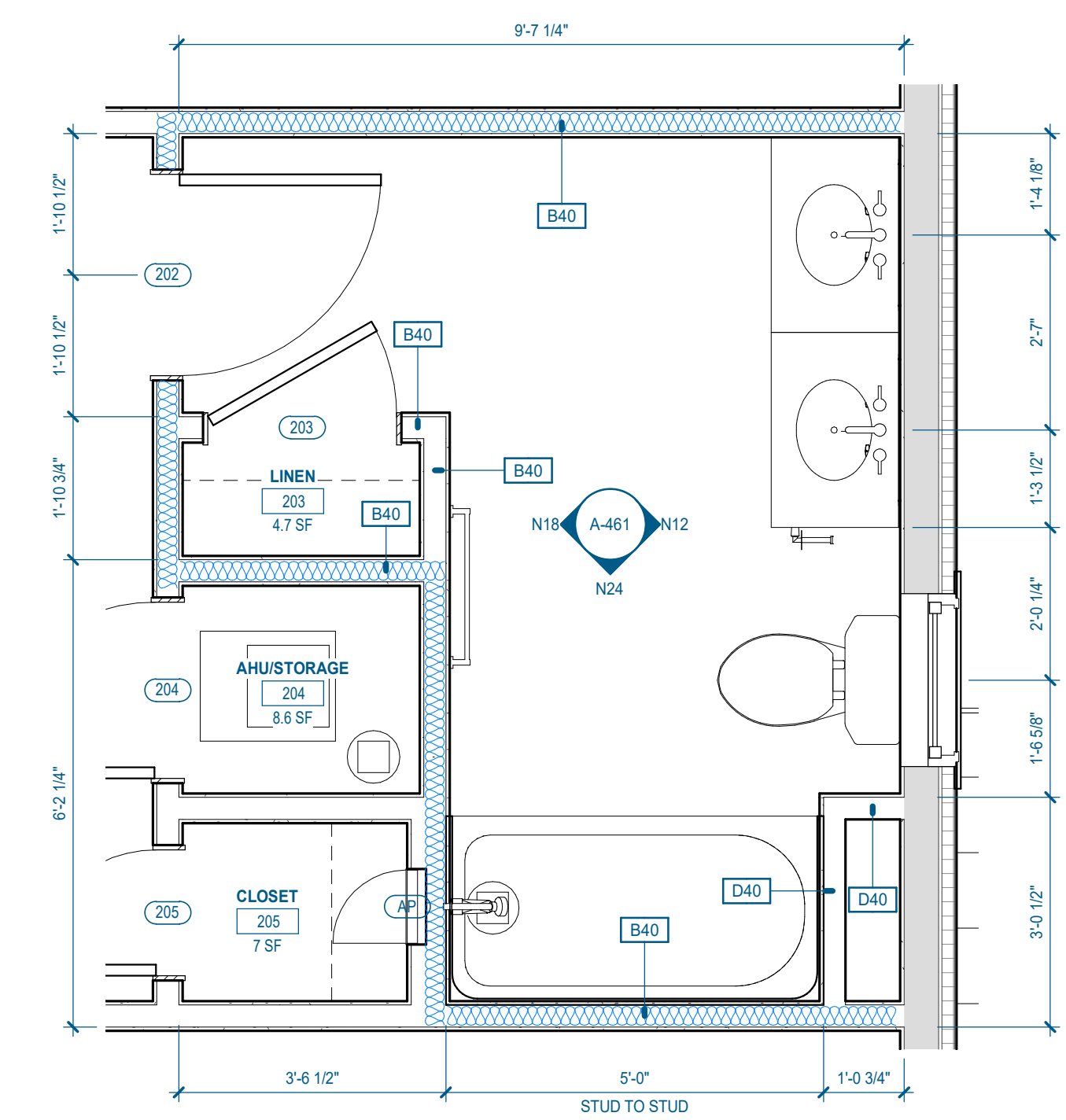
**A12** UFAS KITCHEN - N. ELEVATION  
1/2" = 1'-0" | A-451



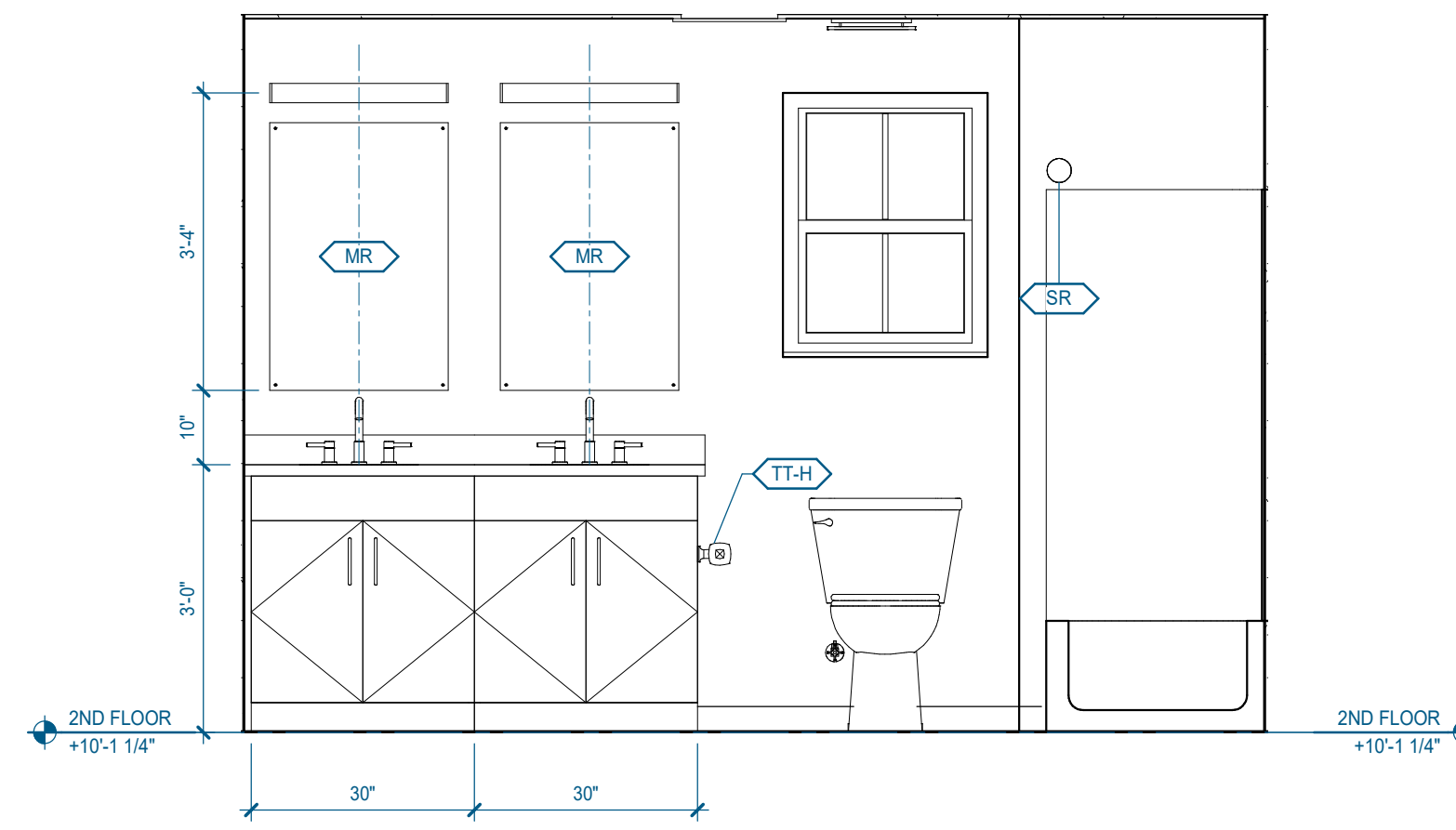
**A18** UFAS KITCHEN - S. ELEVATION  
1/2" = 1'-0" | A-451



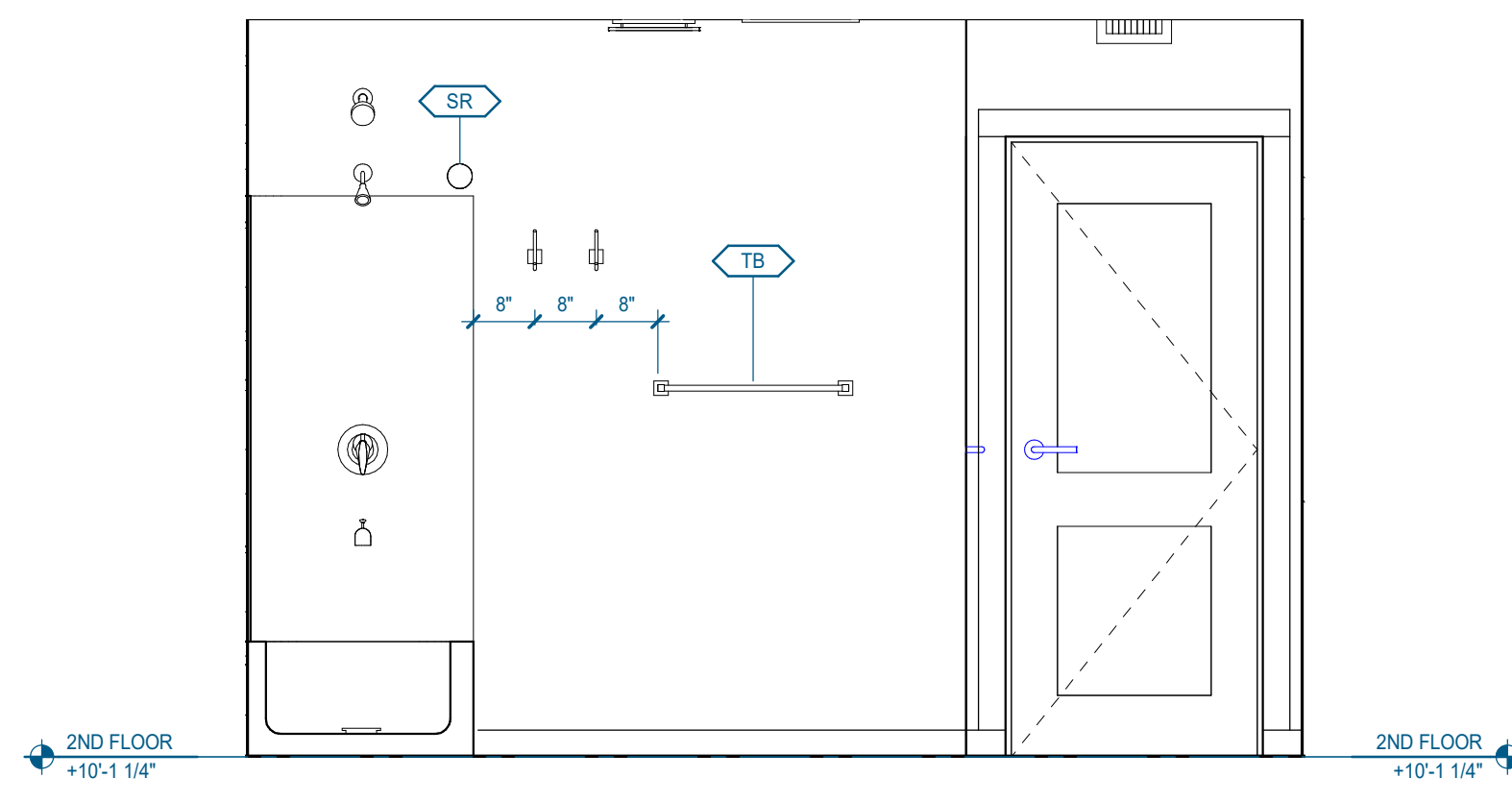
**A06** 3.2.A(u) - ENLARGED FLOOR PLAN - UNIT KITCHEN  
1/2" = 1'-0" | A-451



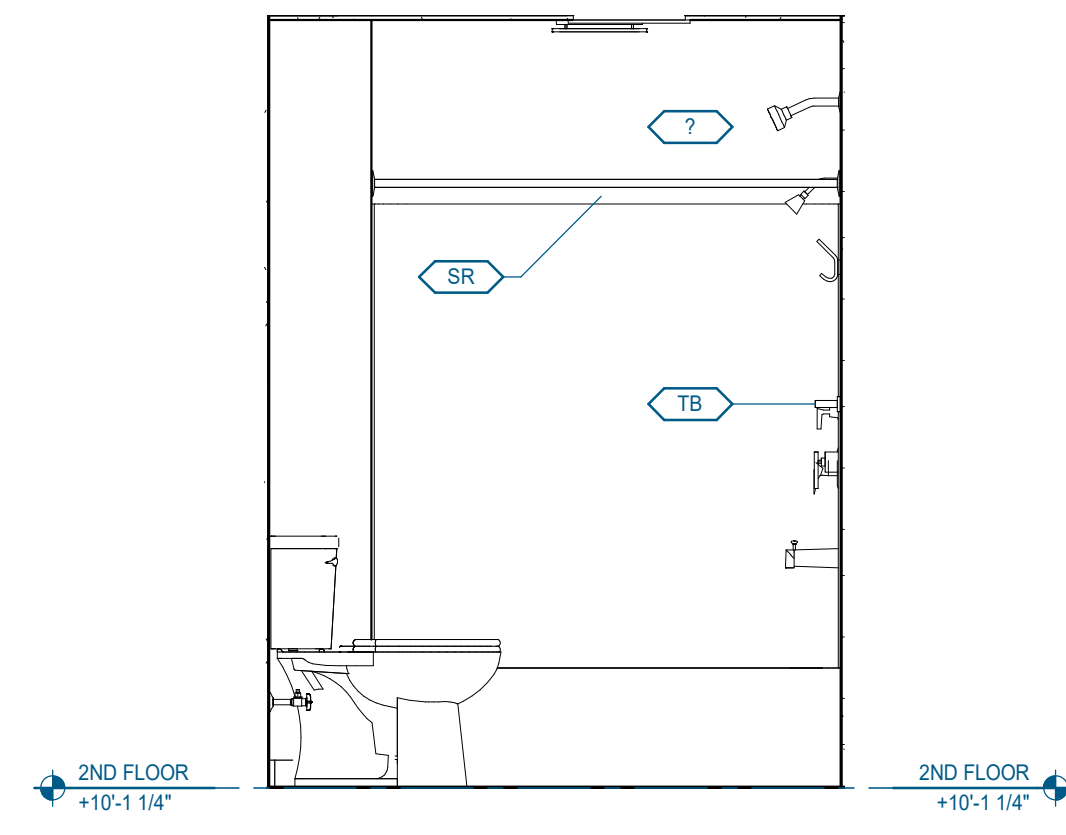
**N06** 3.2.B - ENLARGED FLOOR PLAN - SECOND FLOOR BATHROOM  
1/2" = 1'-0" | A-461



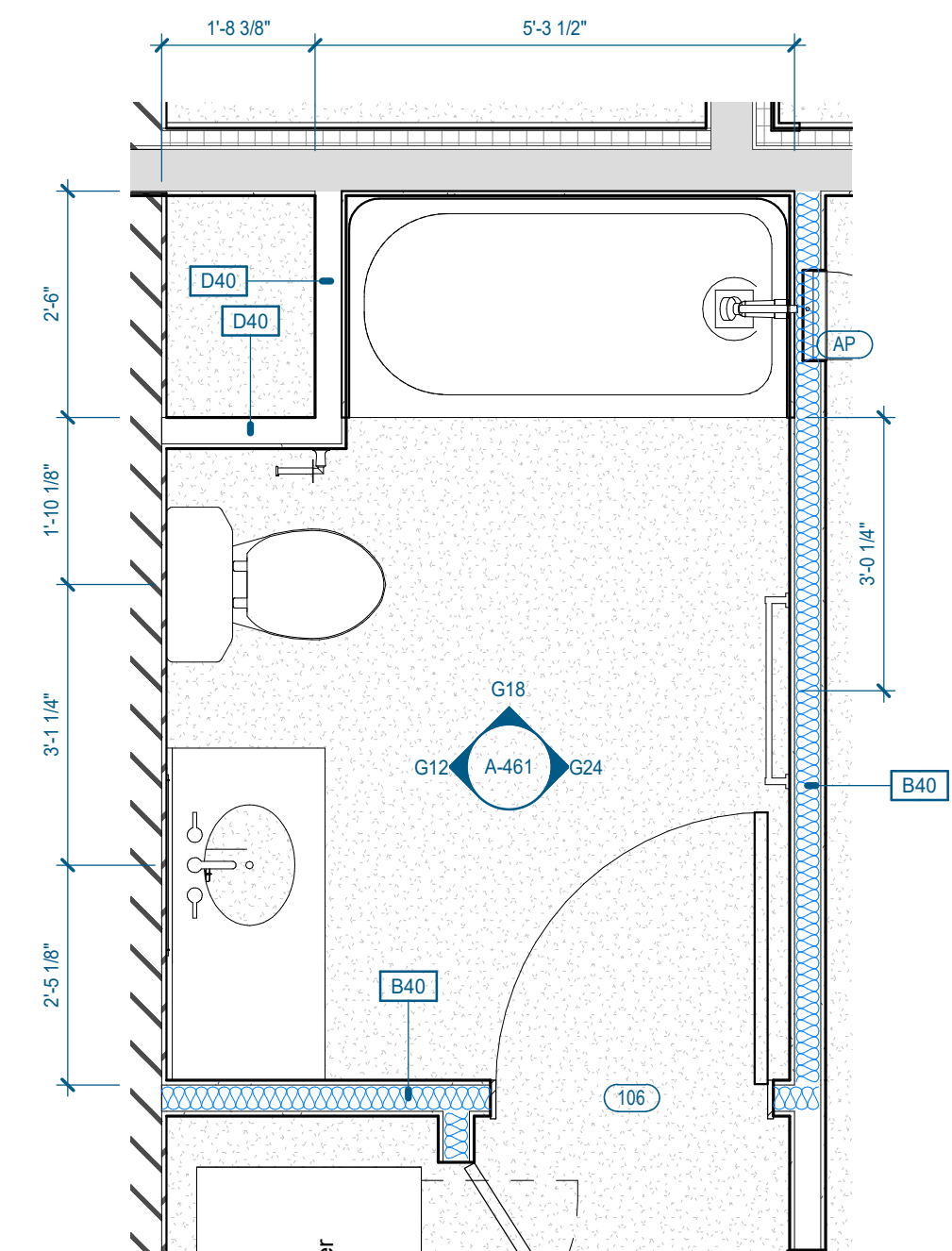
**N12** 3.2.B - 2ND FLOOR BATHROOM ELEVATION 1  
1/2" = 1'-0" | A-461



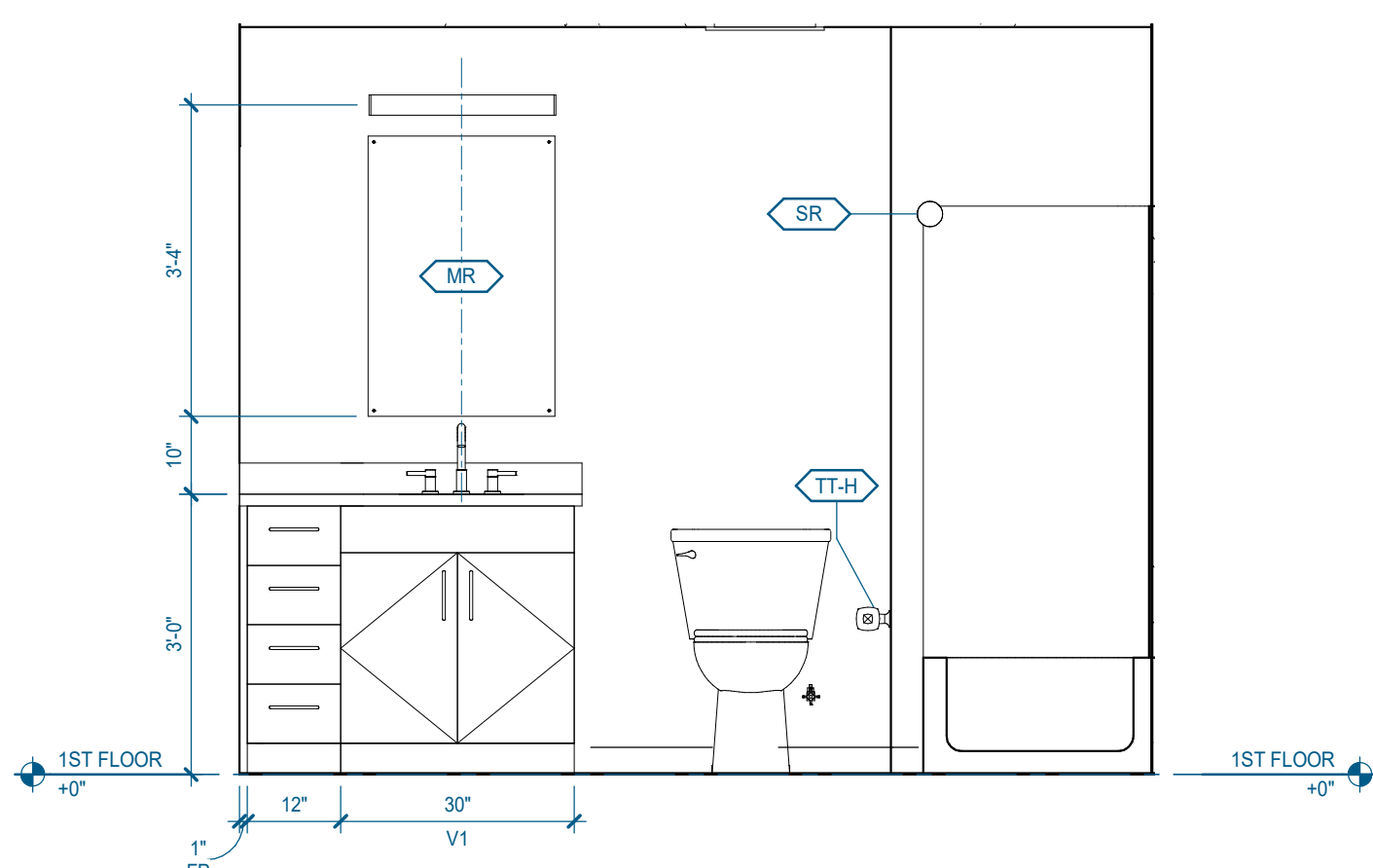
**N18** 3.2.B - 2ND FLOOR BATHROOM ELEVATION 2  
1/2" = 1'-0" | A-461



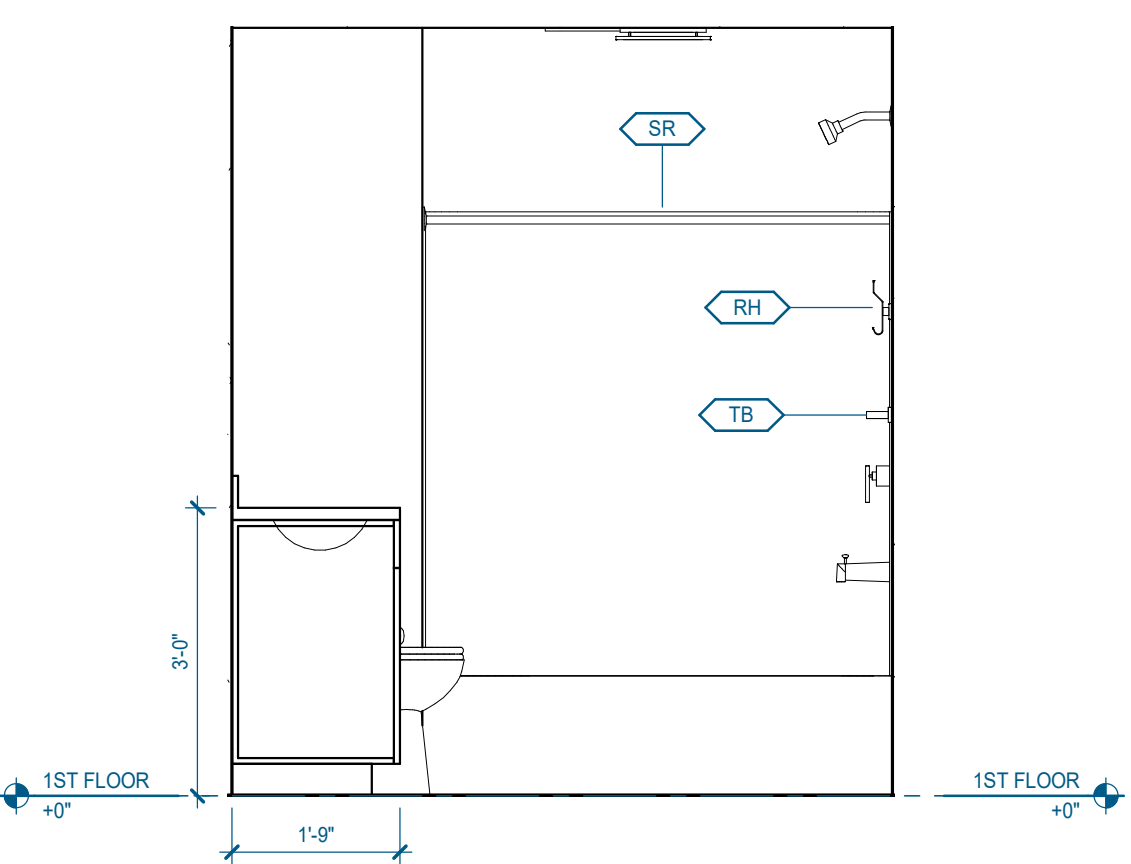
**N24** 3.2.B - 2ND FLOOR BATHROOM ELEVATION 3  
1/2" = 1'-0" | A-461



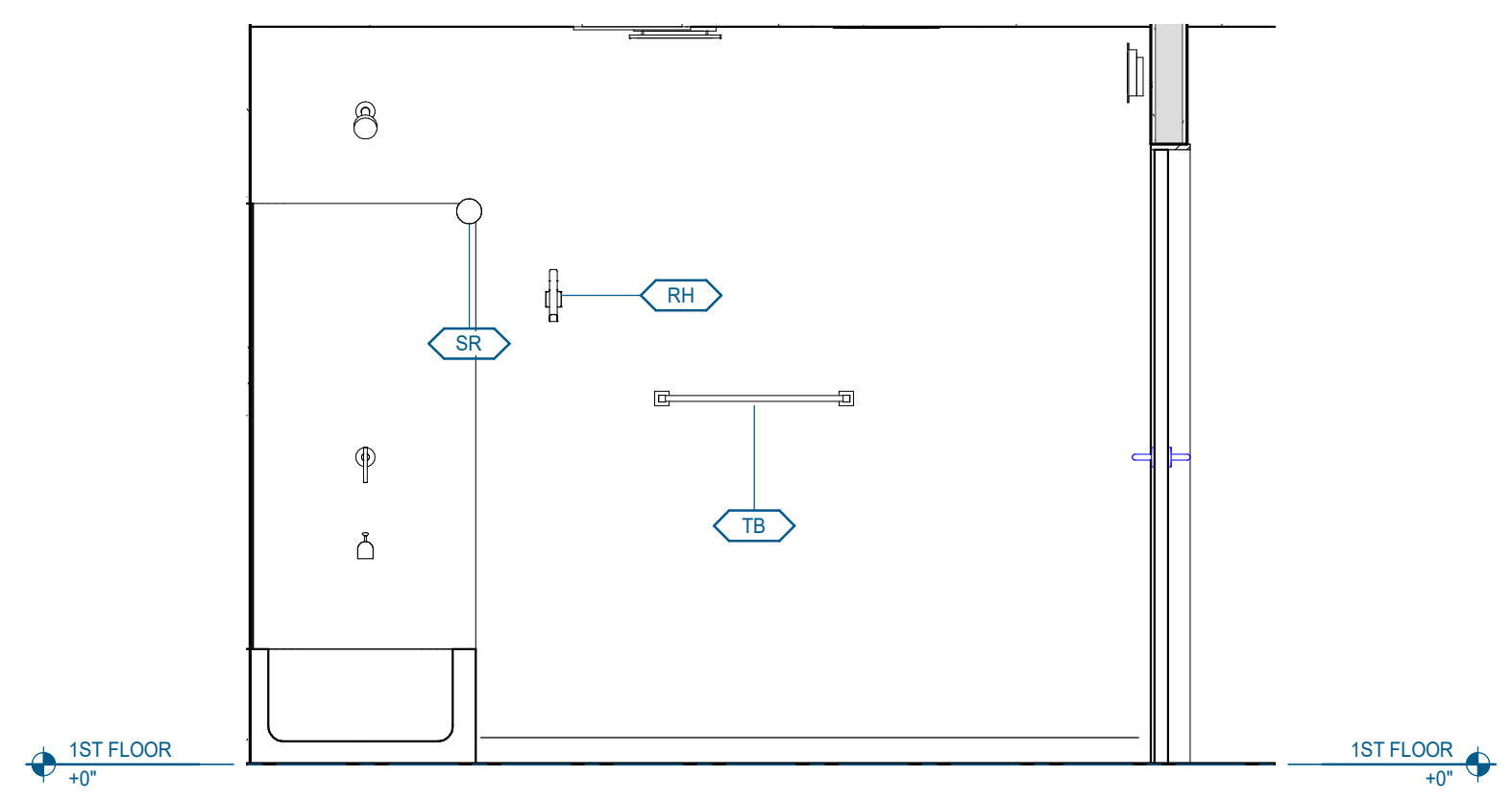
**G06** 3.2.B - ENLARGED FLOOR PLAN - FIRST FLOOR BATHROOM  
1/2" = 1'-0" | A-461



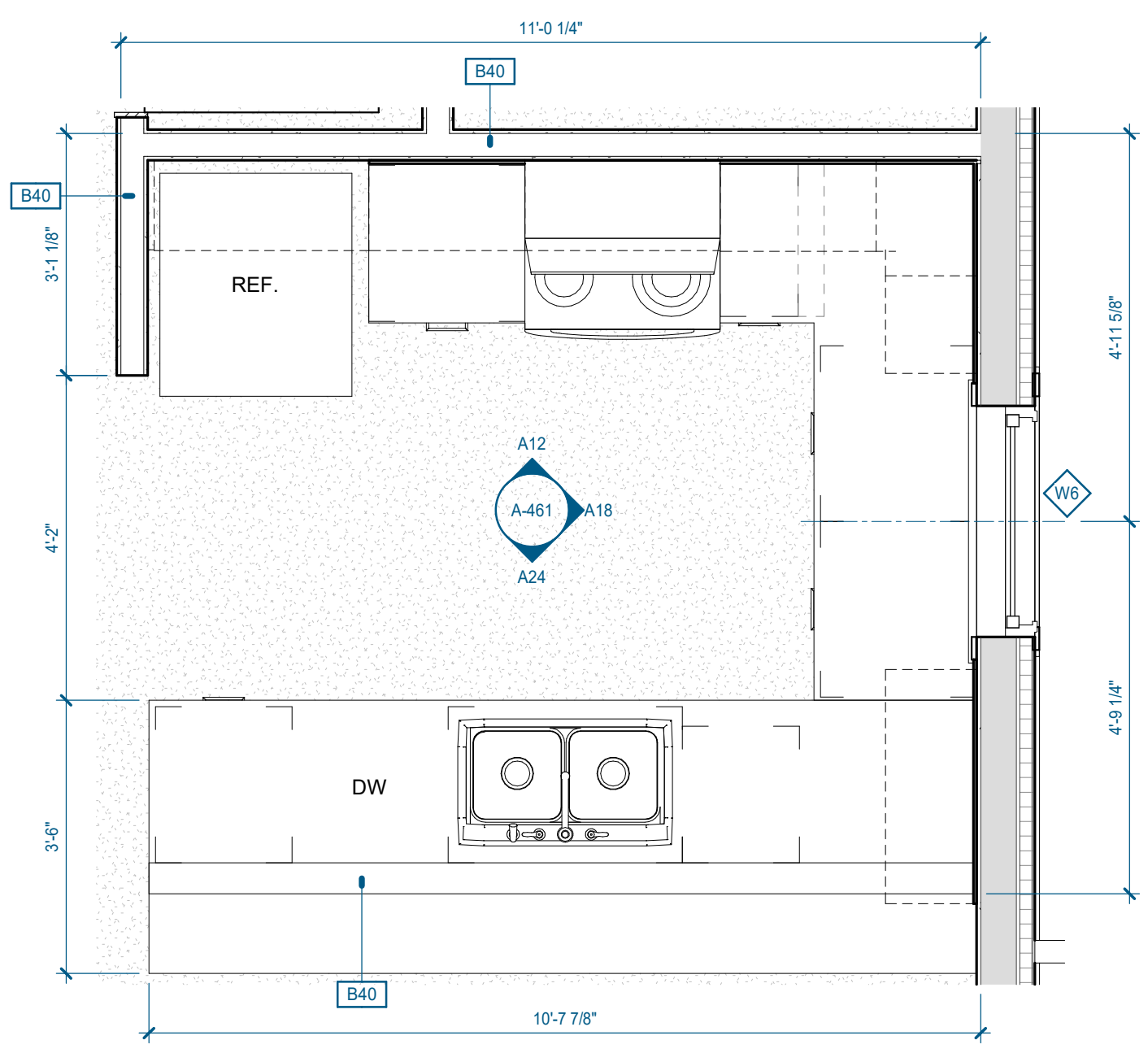
**G12** 3.2.B - BATHROOM ELEVATION 1  
1/2" = 1'-0" | A-461



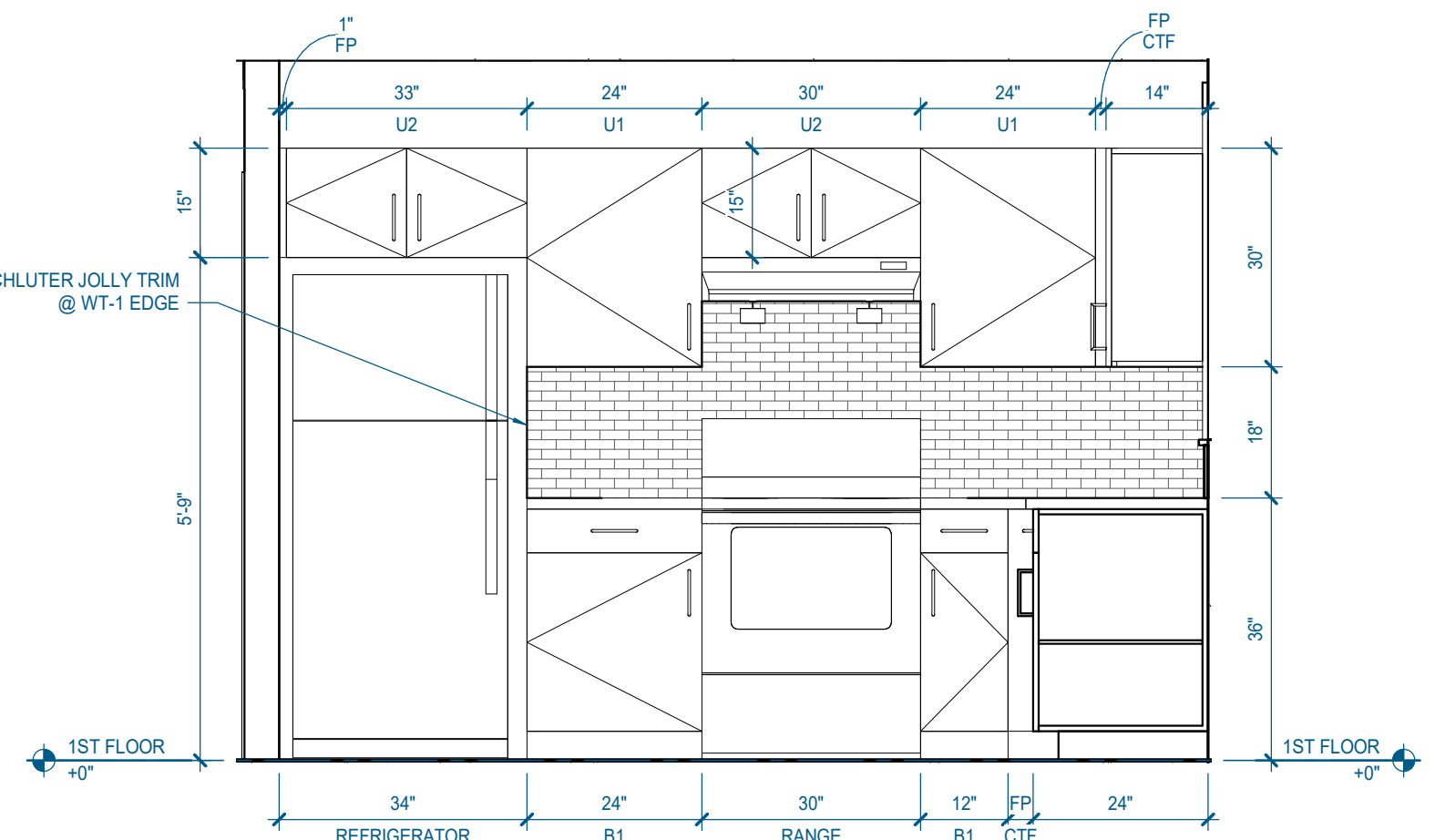
**G18** 3.2.B - BATHROOM ELEVATION 2  
1/2" = 1'-0" | A-461



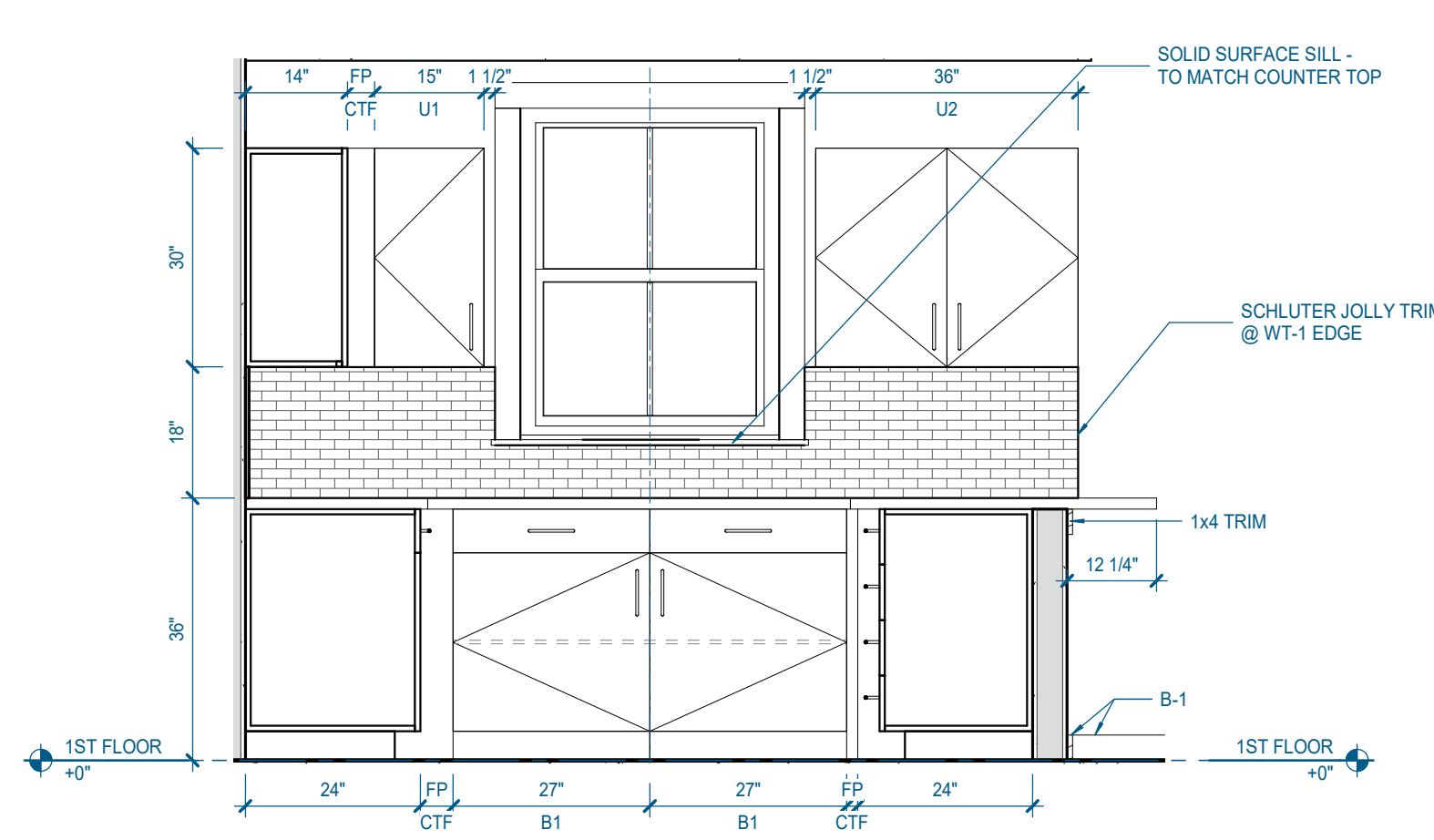
**G24** 3.2.B - BATHROOM ELEVATION 3  
1/2" = 1'-0" | A-461



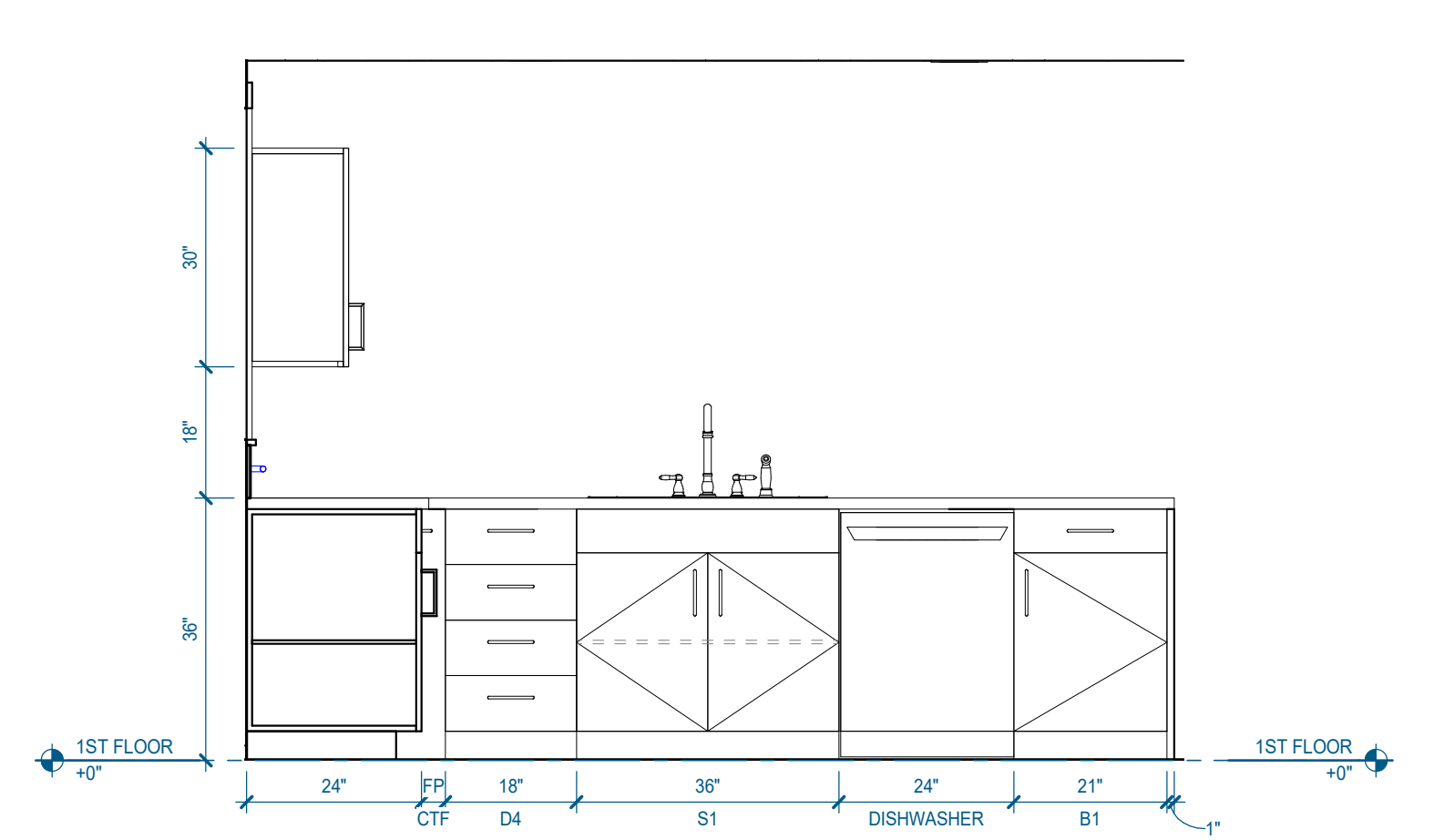
**A06** 3.2.B - ENLARGED FLOOR PLAN - UNIT KITCHEN (TYP.)  
1/2" = 1'-0" | A-461



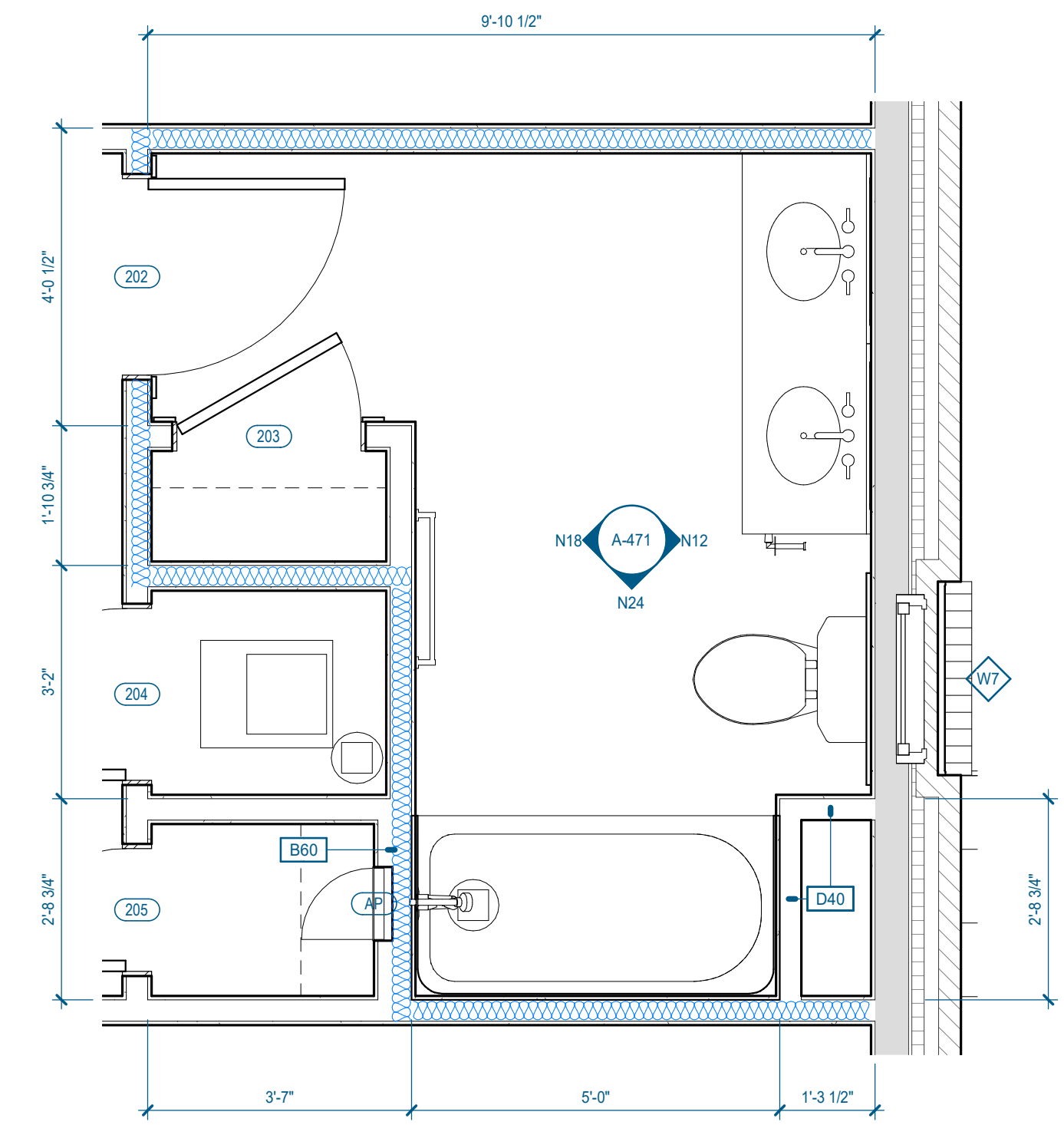
**A12** 3.2.B - KITCHEN - N. ELEVATION  
1/2" = 1'-0" | A-461



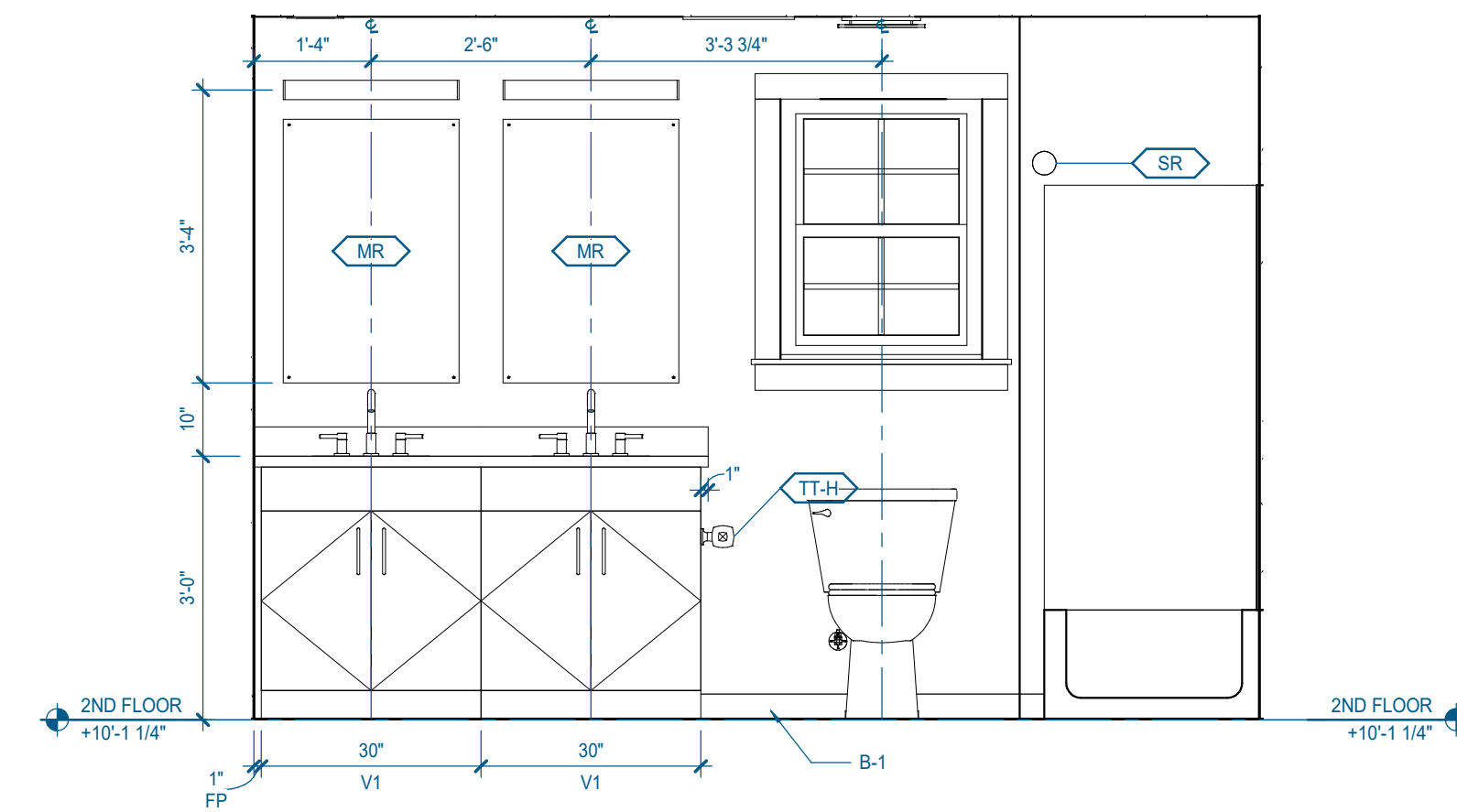
**A18** 3.2.B - KITCHEN - E. ELEVATION  
1/2" = 1'-0" | A-461



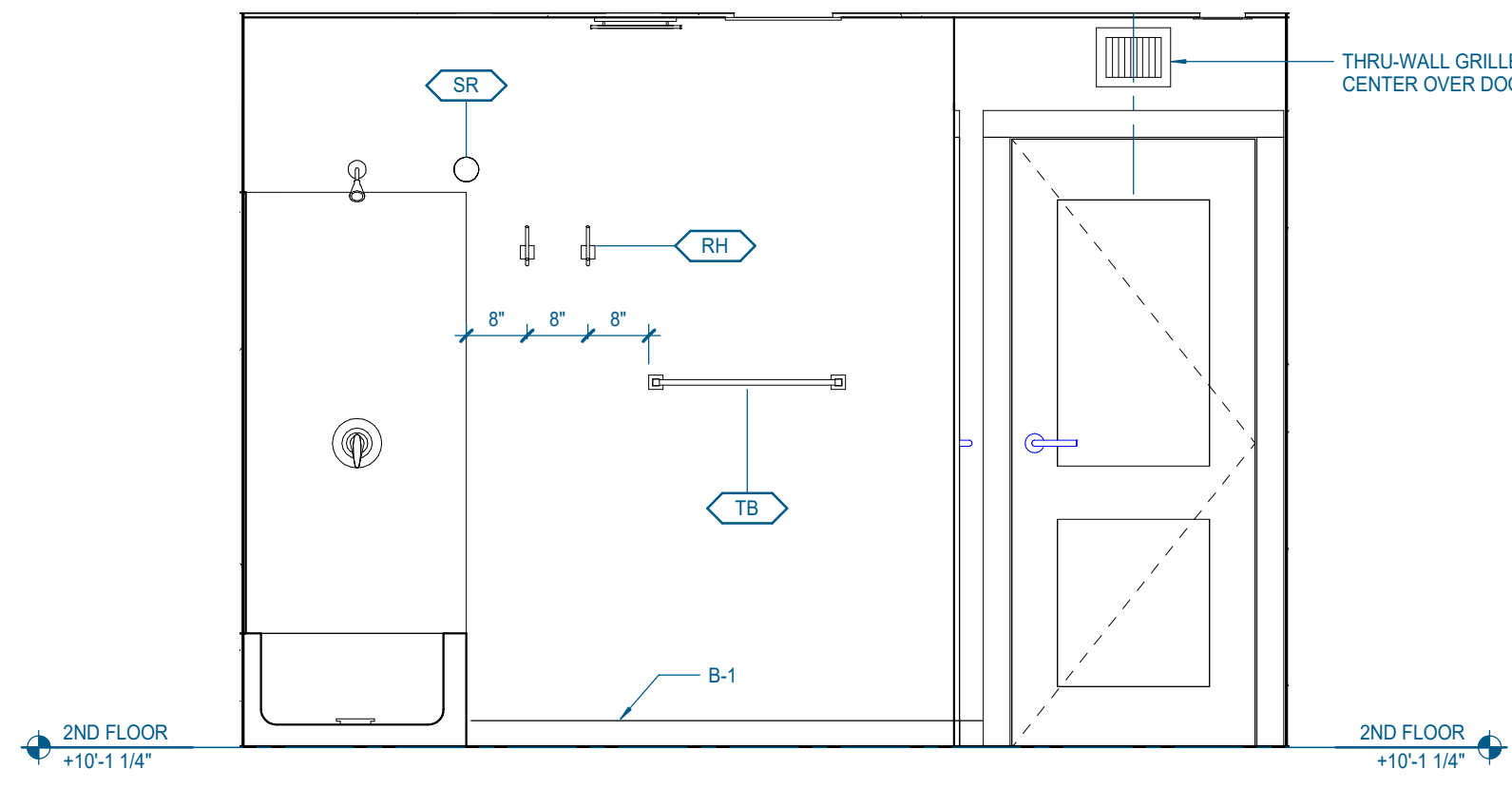
**A24** 3.2.B - KITCHEN - S. ELEVATION  
1/2" = 1'-0" | A-461



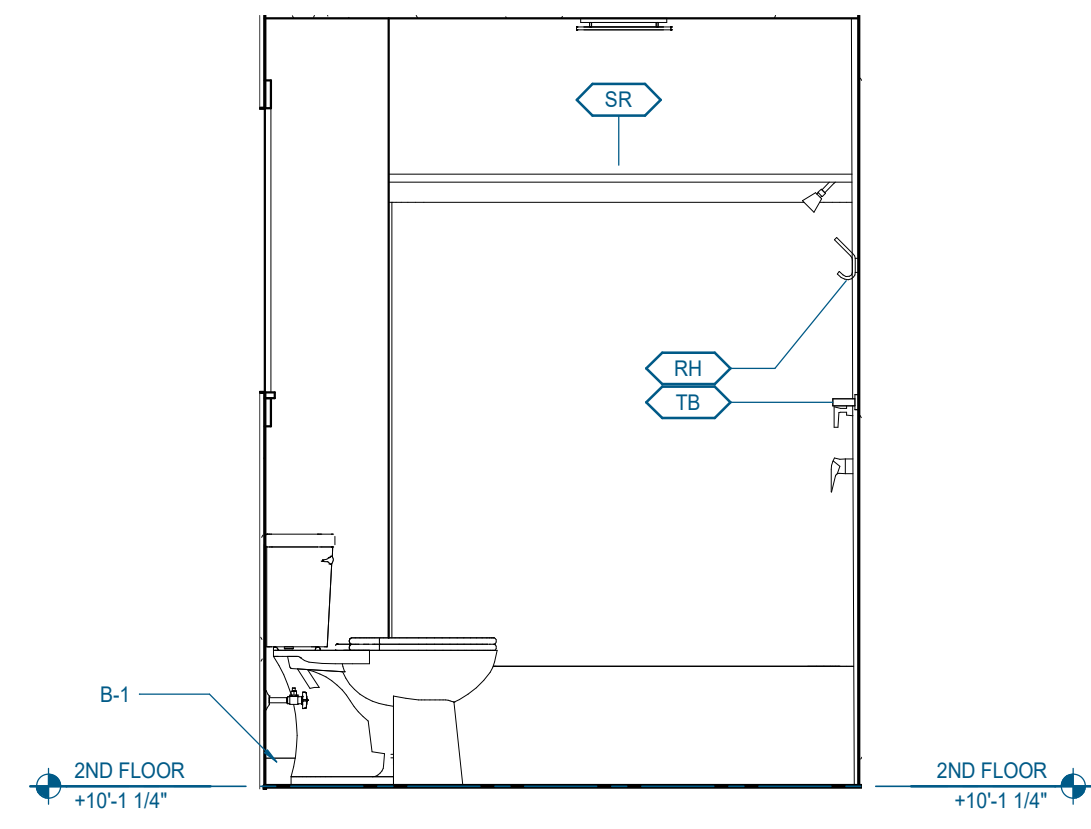
**N06** 3.2.C - ENLARGED FLOOR PLAN - SECOND FLOOR BATHROOM  
1/2" = 1'-0" | A-471



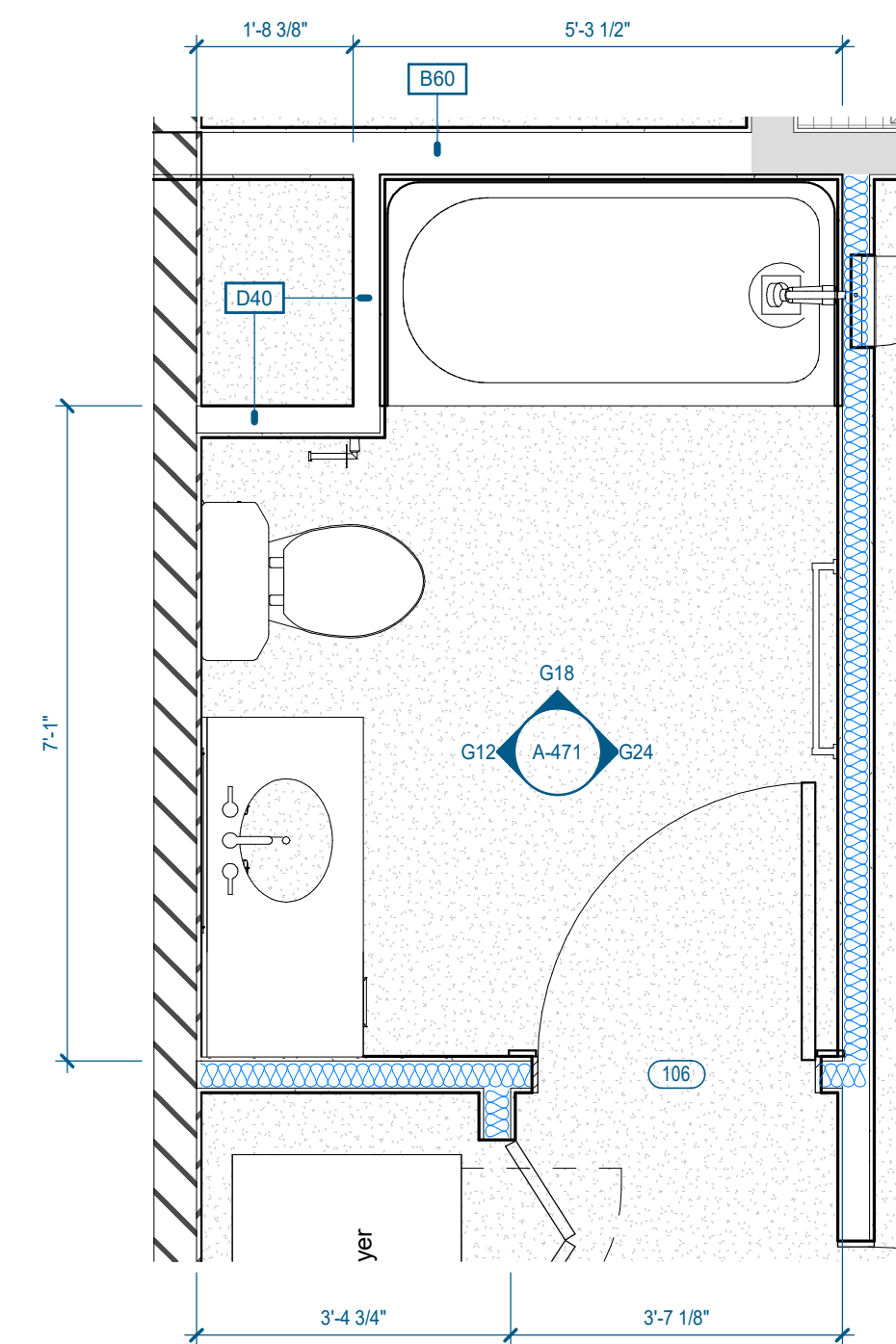
**N12** 3.2.C - 2ND FLOOR BATHROOM ELEVATION 1  
1/2" = 1'-0" | A-471



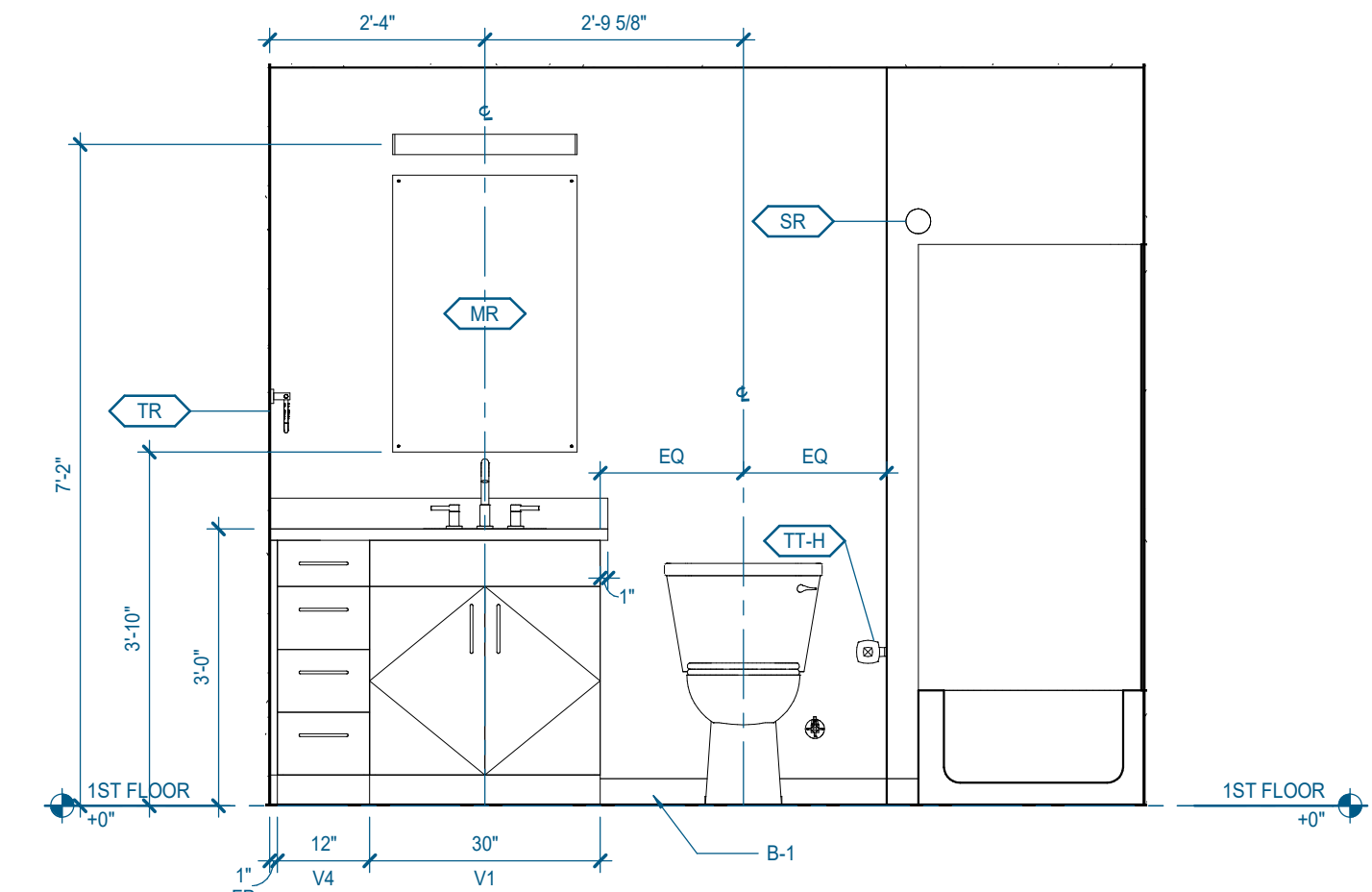
**N18** 3.2.C - 2ND FLOOR BATHROOM ELEVATION 2  
1/2" = 1'-0" | A-471



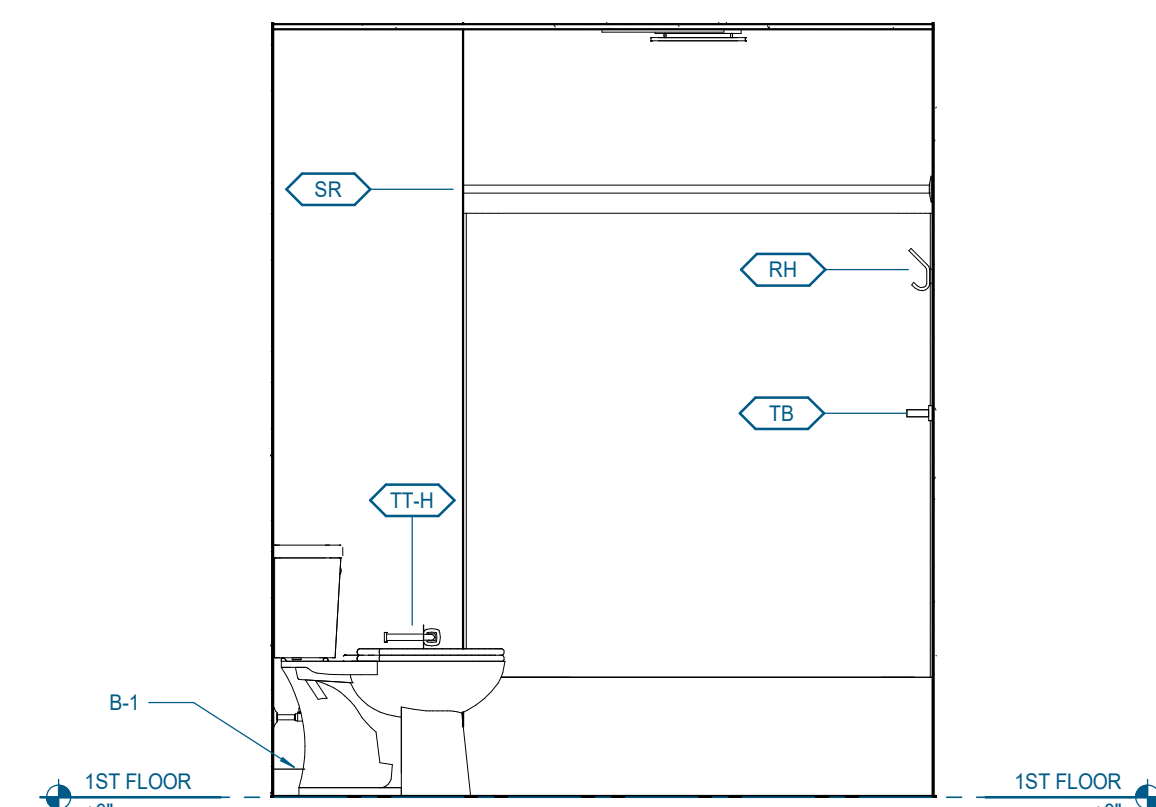
**N24** 3.2.C - 2ND FLOOR BATHROOM ELEVATION 3  
1/2" = 1'-0" | A-471



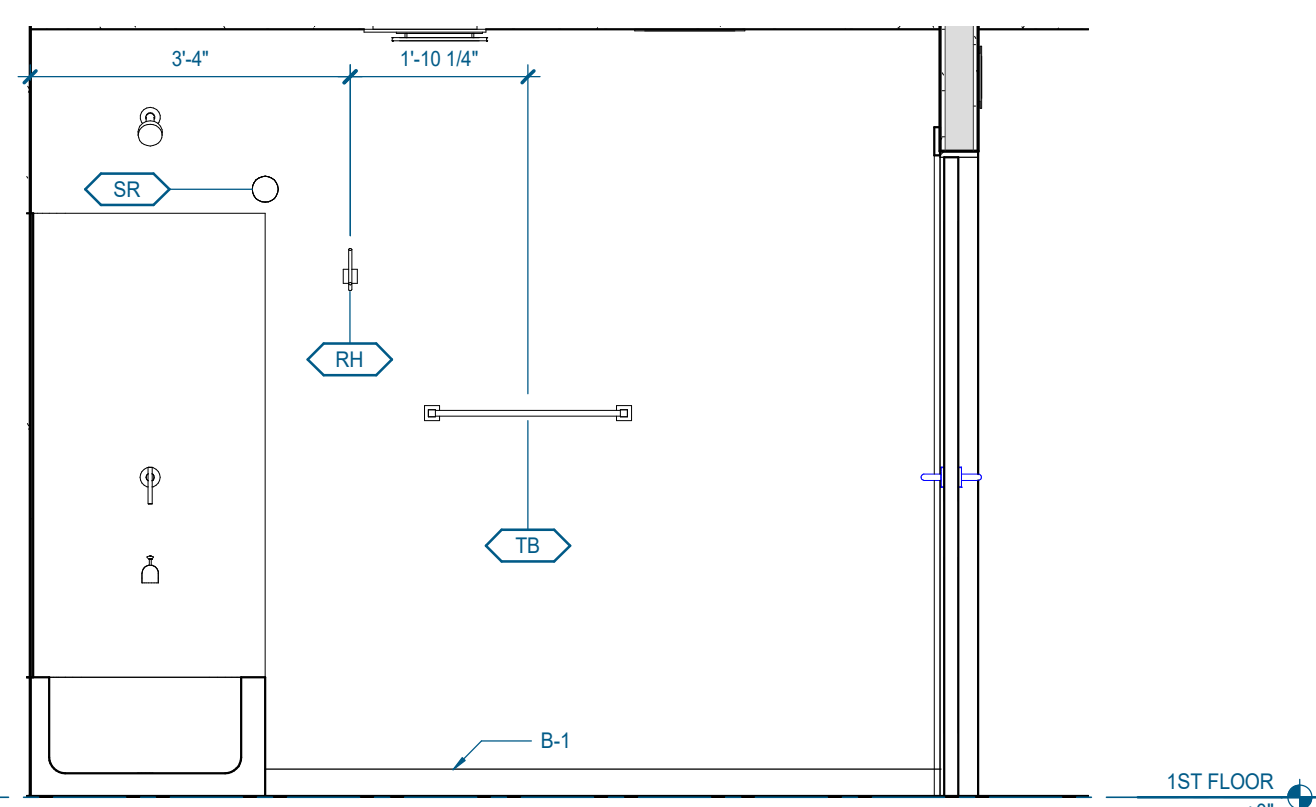
**G06** 3.2.C - ENLARGED FLOOR PLAN - FIRST FLOOR BATHROOM  
1/2" = 1'-0" | A-471



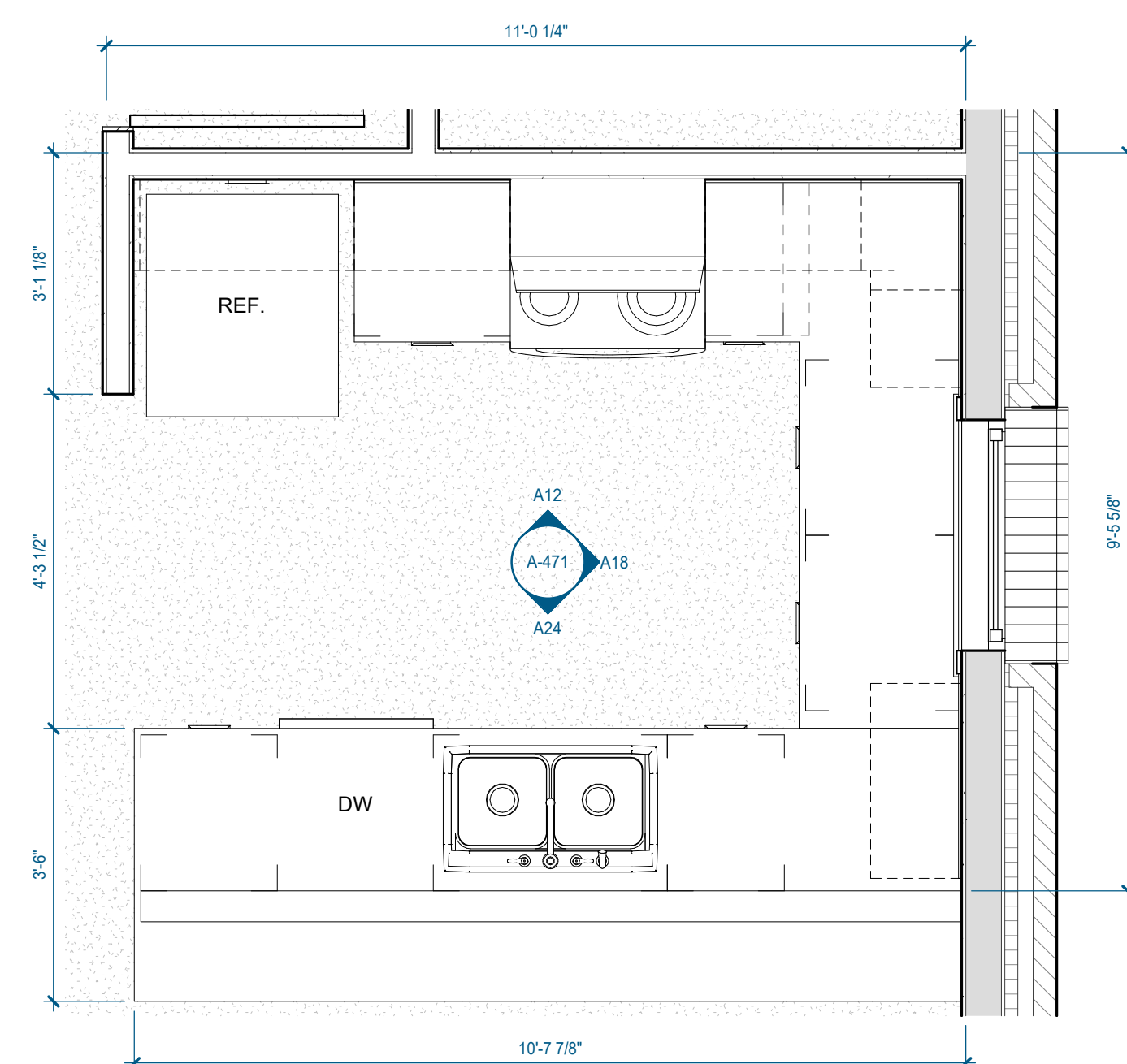
**G12** 3.2.C - BATHROOM ELEVATION 1  
1/2" = 1'-0" | A-471



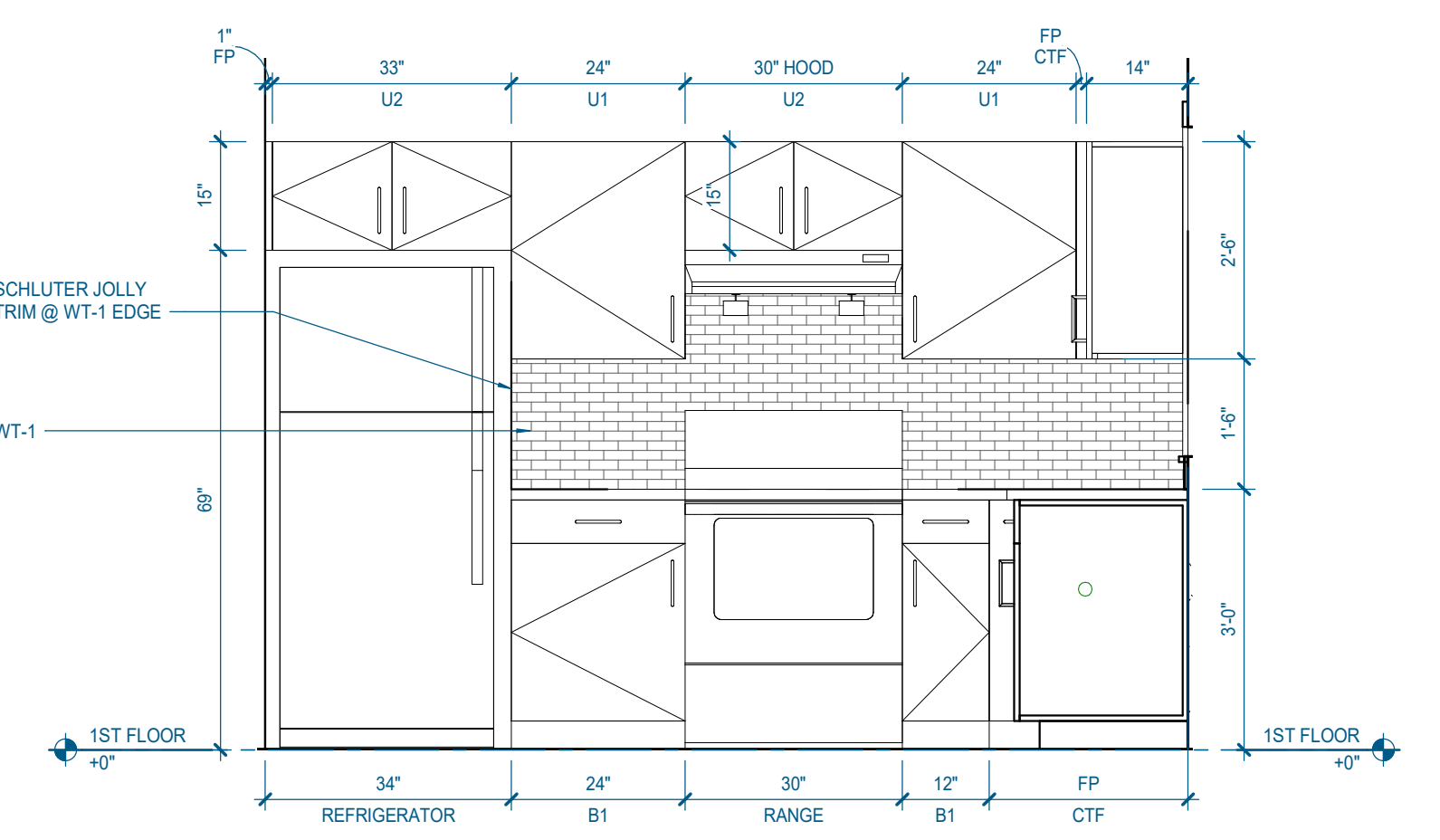
**G18** 3.2.C - BATHROOM ELEVATION 2  
1/2" = 1'-0" | A-471



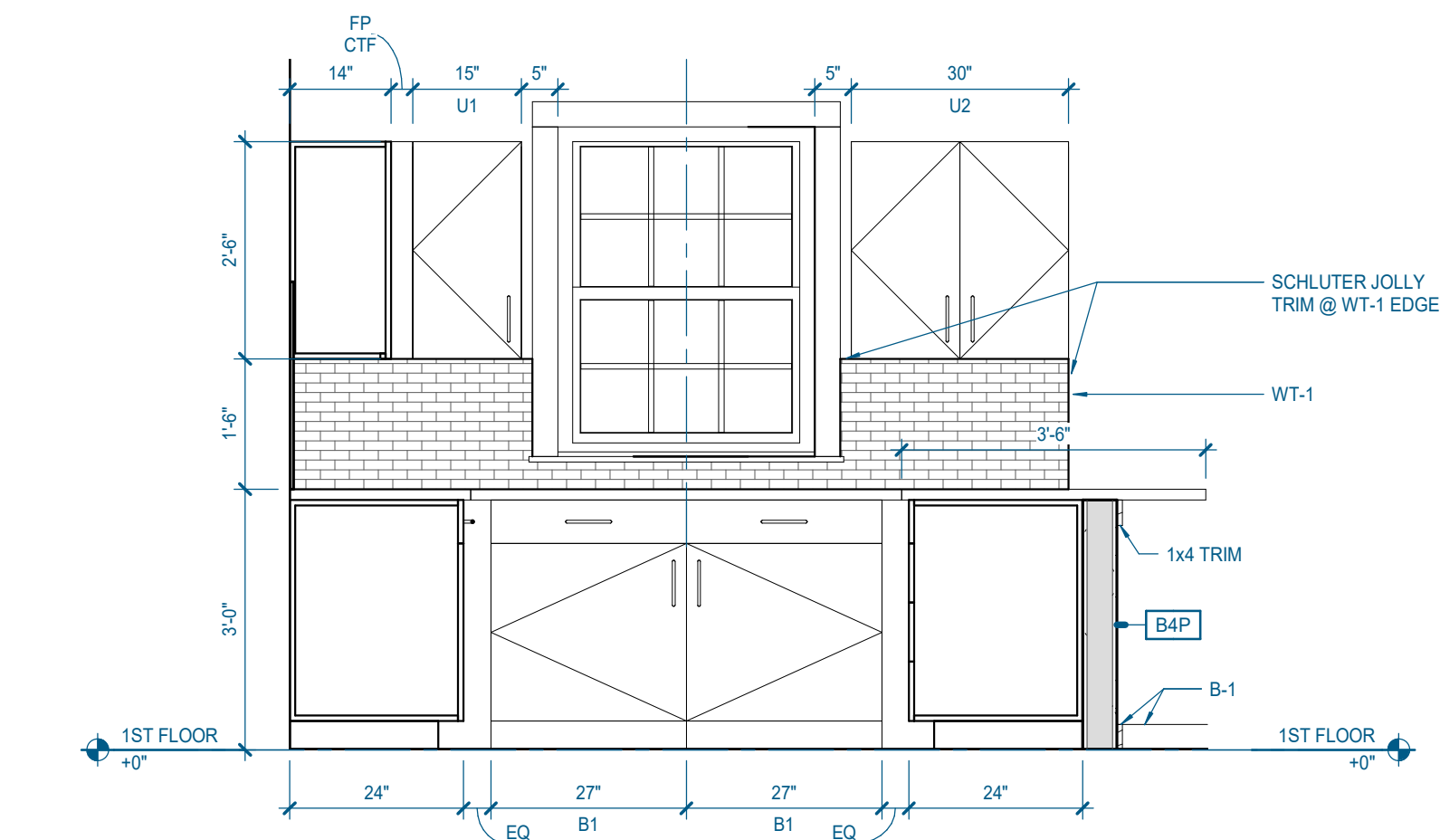
**G24** 3.2.C - BATHROOM ELEVATION 3  
1/2" = 1'-0" | A-471



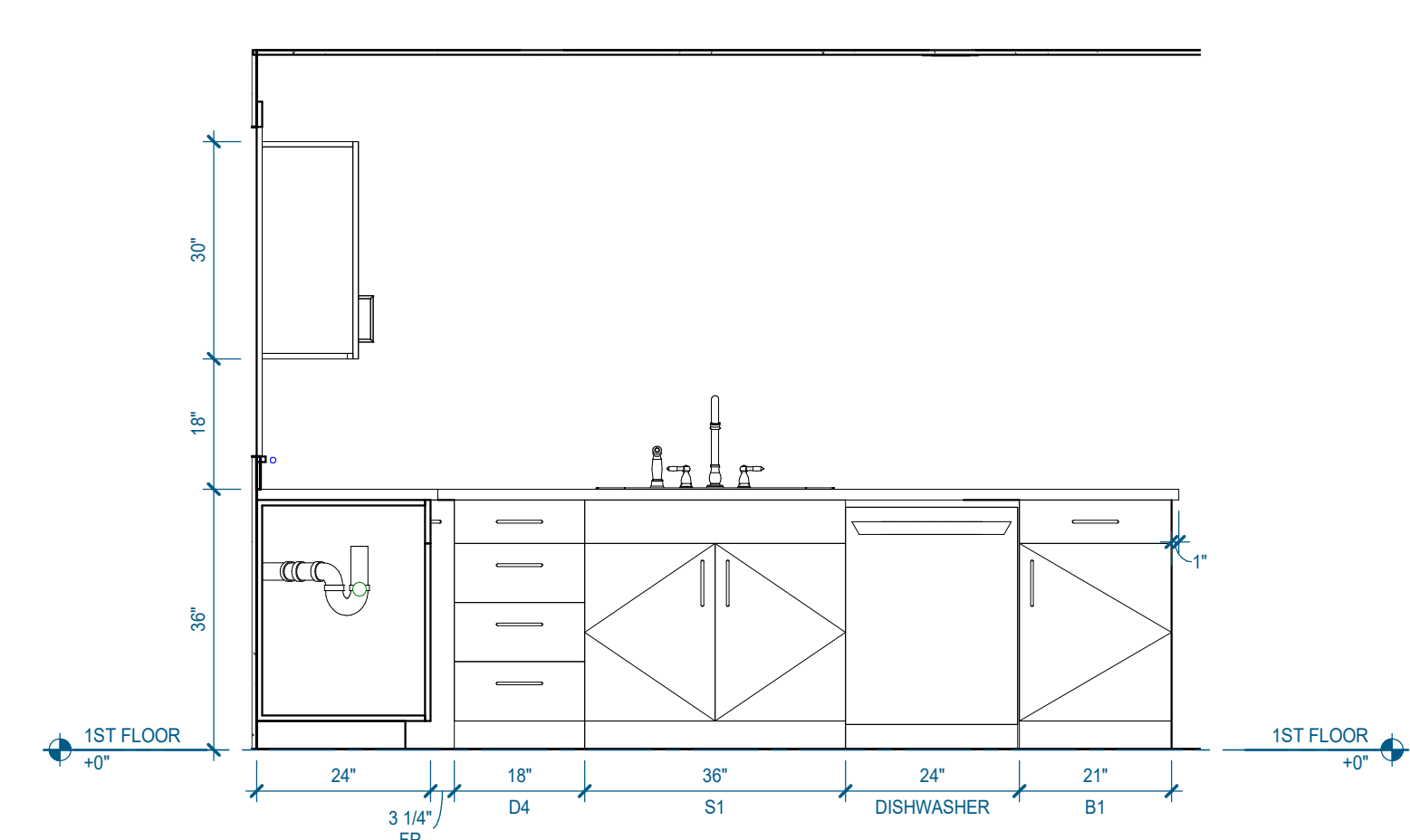
**A06** 3.2.C - ENLARGED FLOOR PLAN - UNIT KITCHEN (TYP.)  
1/2" = 1'-0" | A-471



**A12** 3.2.C - KITCHEN - N. ELEVATION  
1/2" = 1'-0" | A-471



**A18** 3.2.C - KITCHEN - E. ELEVATION  
1/2" = 1'-0" | A-471



**A24** 3.2.C - KITCHEN - S. ELEVATION  
1/2" = 1'-0" | A-471

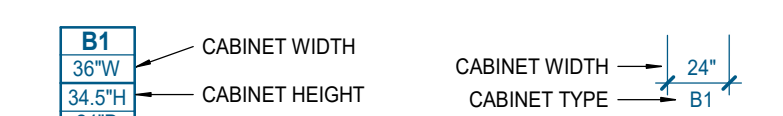


### ARCHITECTURAL WOODWORK GENERAL NOTES

- GENERAL:**
- ALL SECTION DETAILS ON THIS SHEET MAY NOT APPLY TO THIS PROJECT.
  - ARCHITECTURAL WOODWORK TYPES: REFER TO TYPE LEGEND.
  - VERIFY AND COORDINATE CLEAR DIMENSIONS REQUIRED FOR OWNER-FURNISHED EQUIPMENT LOCATED WITHIN OR ADJACENT TO ANY CABINETS.
  - COORDINATE INSTALLATION OF SINKS WITH ASSOCIATED PIPING AND FITTINGS PLUS WITH INSTALLATION OF ACCESSIBLE COVER PANELS.
  - REQUIRED SCRIBES AND FILLER PIECES SHALL BE INSTALLED TO ALLOW PROPER OPERATION OF DRAWERS AND DOORS. THEY SHALL BE EVENLY DISTRIBUTED AND OF EQUAL WIDTH ALONG A SINGLE RUN OF CABINETS. THEY SHALL BE 2" WIDE, MAXIMUM, EXCEPT INSIDE CORNER FILLERS SHALL BE 2 1/2" WIDE, MINIMUM. REF. **TYP INSIDE CORNER PLAN DETAIL.**
  - WHERE BASE CABINETS INTERSECT AT INSIDE CORNER CONDITIONS PROVIDE WALL MOUNTED LEDGERS TO SUPPORT COUNTERTOP AT CORNERS. WHERE UPPER CABINETS INTERSECT AT INSIDE CORNER CONDITIONS PROVIDE HORIZONTAL FILLER PANEL FLUSH WITH BOTTOM OF CABINETS.
  - PROVIDE PLASTIC SCREW COVERS TO CONCEAL SCREW HEADS AT ALL SEMI-EXPOSED CABINET SURFACES. ALL EXPOSED SCRIBES SHALL BE COUPLERS/SINK.
  - CORE MATERIAL FOR SHELVING GREATER THAN 30" WIDE SHALL BE 1" THICK.
  - REFERENCE MOUNTING HEIGHTS SHEET FOR GENERAL OUTLET AND WIREMOLD MOUNTING HEIGHT INFORMATION.
  - ALL VERTICAL JOINTS BETWEEN CABINETS SHALL BE FLUSH OVERLAY BUTT JOINTS. THEY SHALL LOCK "SEAMLESS" AND COVERED IN PLASTIC LAMINATE.
  - FIELD VERIFY DIMENSIONS BEFORE CABINET FABRICATION. NOTIFY ARCHITECT OF CONFLICTS AND DISCREPANCIES PRIOR TO FABRICATION.
  - PROVIDE FILLER PANELS AS NEEDED BETWEEN BUILT-IN APPLIANCES AND ADJACENT CABINETS OR WALLS. ALL FILLER PANELS TO MATCH CABINET DOOR FINISH.
  - REFER TO SPECIFICATIONS FOR CABINET FULL TYPES, SIZES AND FINISHES.
- COUNTERTOP:**
- ALL COUNTERTOPS 25" DEEP U.N.O. ON INTERIOR ELEVATIONS.
  - ALL OUTSIDE EXPOSED COUNTERTOP CORNERS TO HAVE A 1" RADIUS U.N.O.
  - PROVIDE WALL MOUNTED BRACKETS FOR SUPPORT OF COUNTERTOPS AT KNEE SPACES. COUNTERTOPS SHALL BE SUPPORTED BY MINIMUM 30" MAXIMUM O.C.
  - PROVIDE ALL BACK AND SIDE SPLASHES THAT ARE 4" TALL X 3/4" THICK IF PLASTIC LAMINATE, 1/2" THICK IF SOLID SURFACE MATERIAL, U.N.O. ON THE INTERIOR ELEVATIONS. ALL SPLASHES SHALL BE SCRIBED TO CONFORM TO THE SURFACE OF ABUTTING WALLS. ALL SPLASHES SHALL BE SEALED TO THE WALL WITH CLEAR SILICONE BEAUTY. PROVIDE SPLASHES ON ALL REAR AND SIDE WALLS AT BASE CABINETS, U.N.O.
  - PROVIDE SCHEDULED BASE ALONG BOTTOM OF EXPOSED FRONTS, BACKS, SIDES, AND ENDS OF ALL FIXED CABINETS, PEDESTALS, VERTICAL SUPPORT PANELS, KNEE SPACES, ETC. UNO ON THE INTERIOR ELEVATIONS.
  - ALL HORIZONTAL AND VERTICAL JOINTS SHALL BE 1/8" MAX. U.N.O.
  - ALL TOE KICK SPACES SHALL BE 4" TALL X 3/4" DEEP. UNO. PROVIDE BLOCKING BASE WITH HORIZONTAL BRACING AT 24" O.C. U.N.O.
  - PROVIDE 1 1/2" THICK END PANEL AT KNEE SPACES, UNDER COUNTER APPLIANCE OPENINGS AND ACCESSIBLE LAV/SINKS THAT DO NOT ABUT A WALL OR OTHER CABINETS.
  - BACKS OF BASE CABINETS SHALL BE 1/4" THICK U.N.O.
  - WHERE PLAM IS SPECIFIED, PROVIDE PLAM ON 3/4" ON ALL SIDES AND EDGES OF EXPOSED SURFACES, U.N.O.
  - SCRIBE ALL SCHEDULED FLOORING TO BASE AT TOE KICKS.
  - CABINET PULLS: REFER TO SPECIFICATIONS
- WALL CABINETS:**
- TOP OF UPPER AND FULL HEIGHT CABINETS SHALL BE 7-2" AFF U.N.O. ON INTERIOR ELEVATIONS.
  - REFERENCE REFLECTED CEILING PLANS FOR FURR DOWN LOCATIONS. WALL CABINETS WITHOUT A FURR DOWN ABOVE SHALL RECEIVE A CONTINUOUS 6" HIGH SLOPED PANEL, FINISHED TO MATCH CABINETS. REF W2/A811.
  - TOPS AND BOTTOMS OF WALL HUNG CABINETS SHALL BE 3/4" THICK WITH PLASTIC LAMINATE ON EXPOSED SURFACES.
  - BACKS OF WALL HUNG CABINETS SHALL BE 1/4" THICK UNO.
  - WALL MOUNTED UPPER CABINETS SHALL INCLUDE ADJUSTABLE SHELF (SHELVES), U.N.O.
- | CABINET HEIGHT  | NUMBER OF SHELVES |
|-----------------|-------------------|
| THROUGH 24"     | 2                 |
| 25" THROUGH 42" | 2                 |
| 43" THROUGH 48" | 3                 |

### ARCHITECTURAL WOODWORK TYPE LEGEND

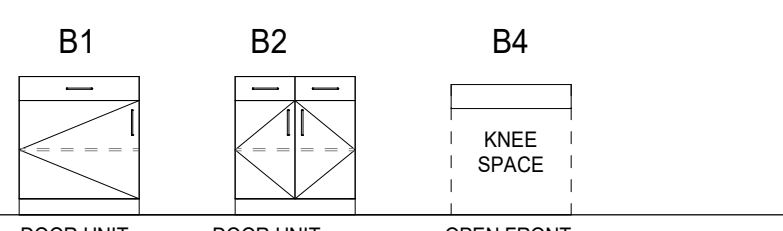
#### CABINET TYPE



NOTE: VERIFY ALL DIMS ON PLANS AND INTERIOR ELEVATIONS

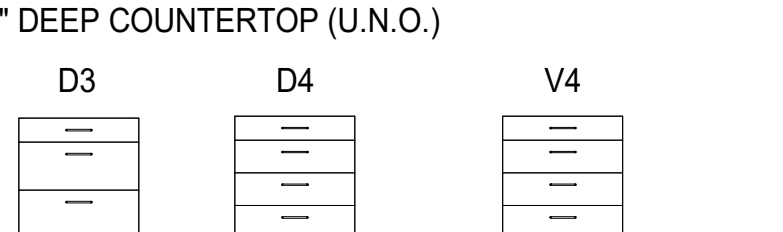
#### CABINET TYPE: B1, B2, B3, B4

25" DEEP COUNTERTOP (U.N.O.)



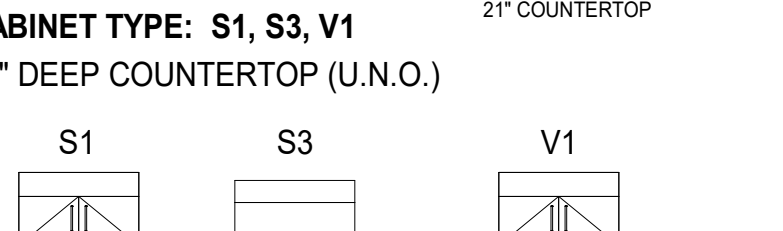
#### CABINET TYPE: D3, D4

25" DEEP COUNTERTOP (U.N.O.)



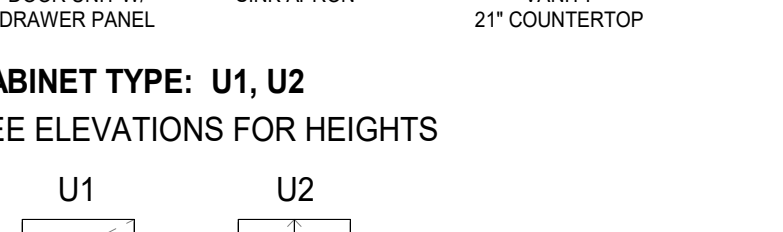
#### CABINET TYPE: S1, S3, V1

25" DEEP COUNTERTOP (U.N.O.)



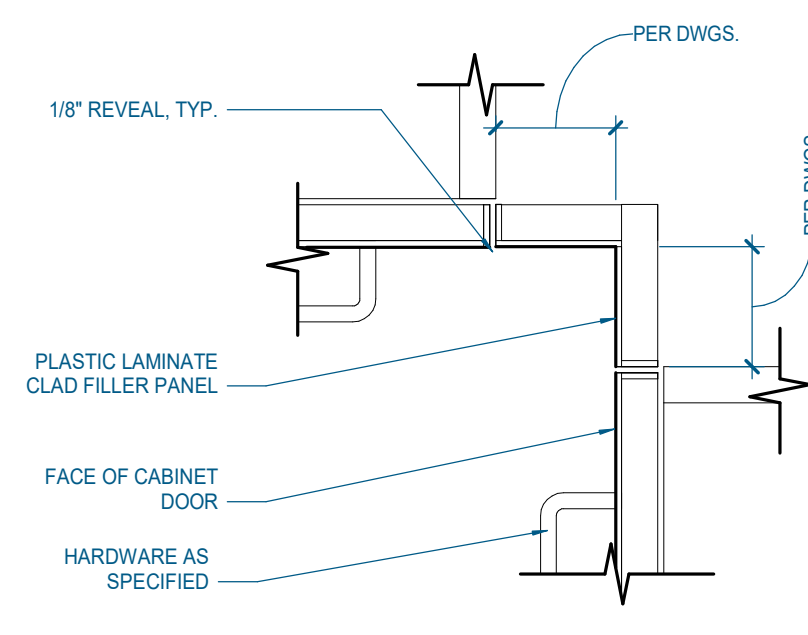
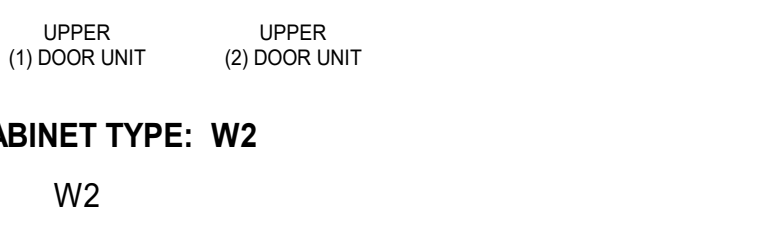
#### CABINET TYPE: U1, U2

SEE ELEVATIONS FOR HEIGHTS

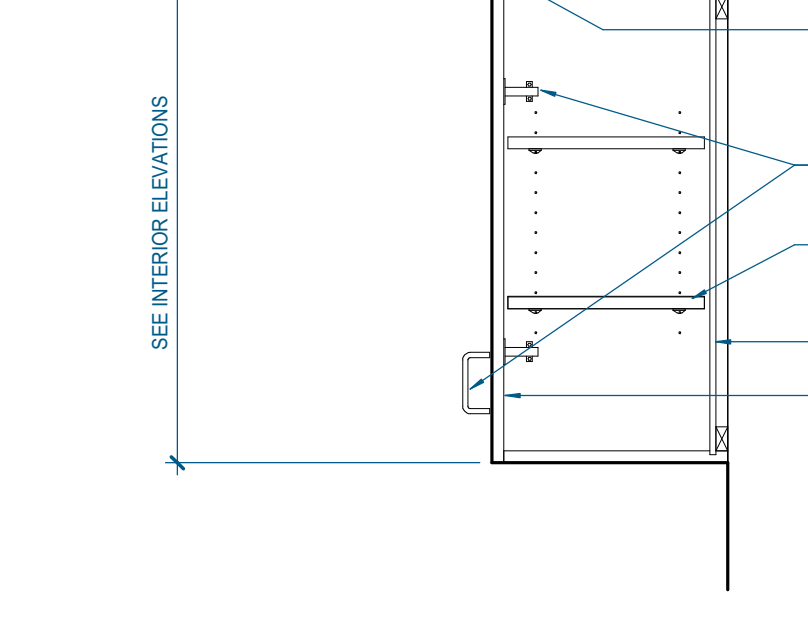


#### CABINET TYPE: W2

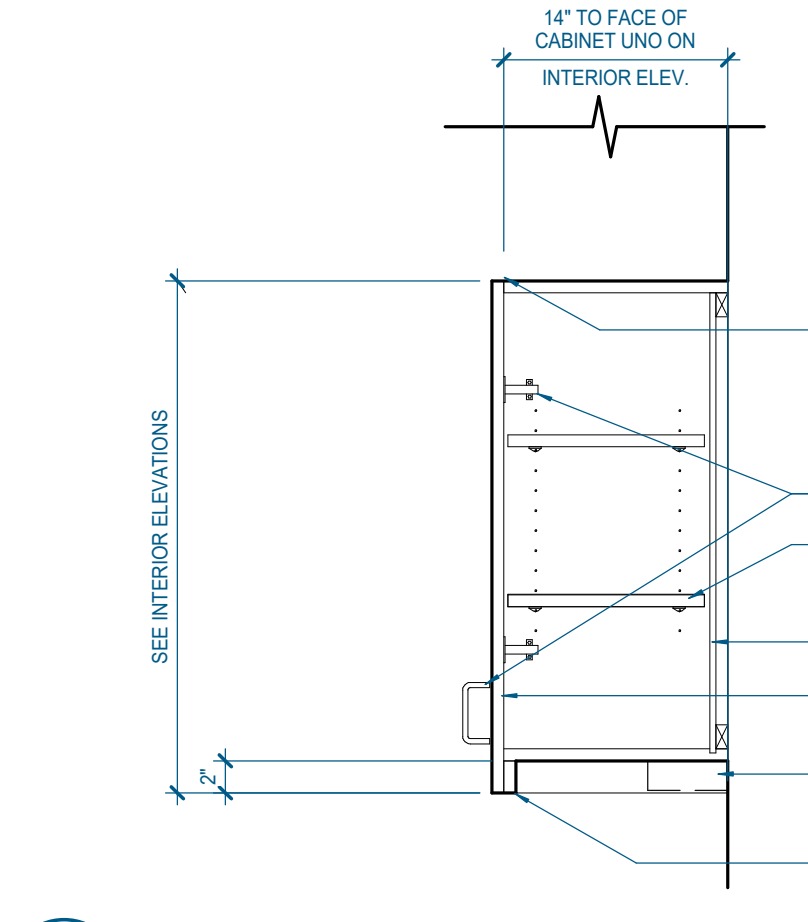
DOUBLE DOOR UNIT



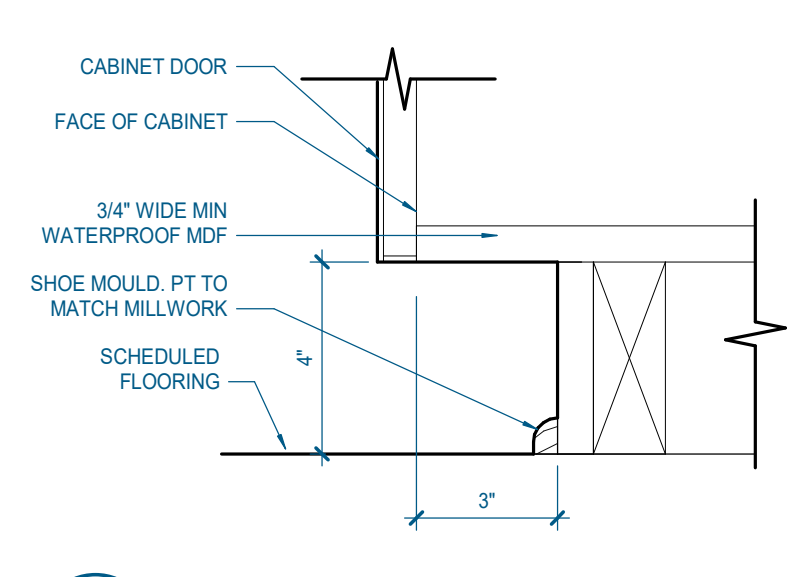
**03 INSIDE CORNER PLAN DETAIL**  
3" = 1'-0" | A-501



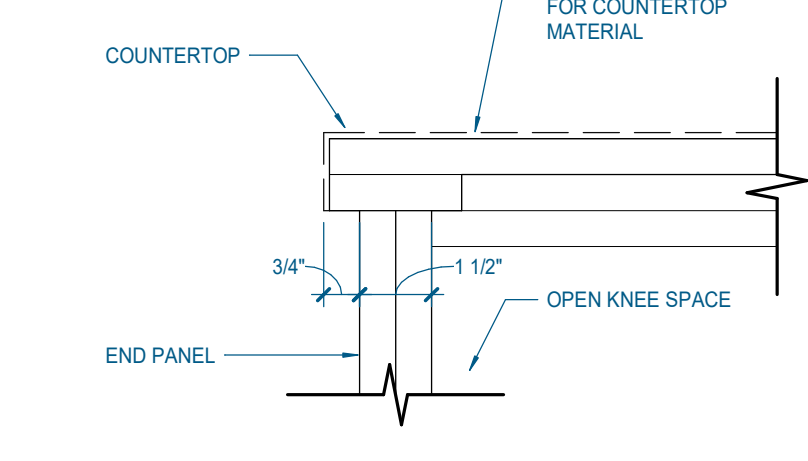
**U1 UPPER WALL CABINET TYPE "U" TYP.**  
1" = 1'-0" | A-501 | TYPICAL UPPER WALL CABINET DETAIL



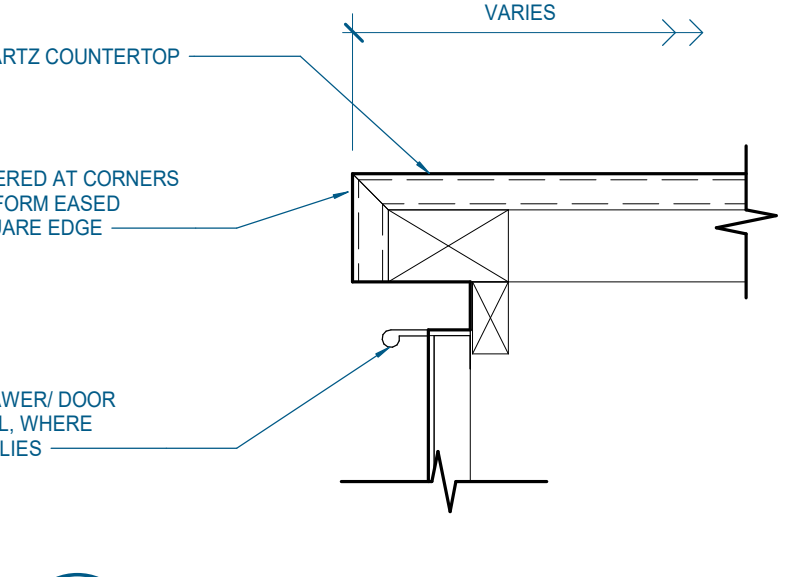
**U2 UPPER WALL CABINET**  
1" = 1'-0" | A-501 | TYPICAL UPPER WALL CABINET DETAIL WITH VALANCE



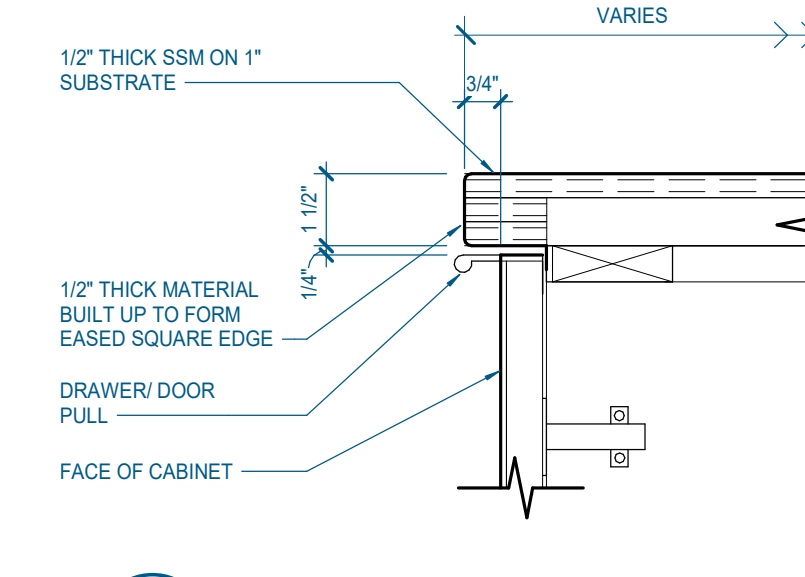
**02 TYP. TOE KICK DETAIL**  
3" = 1'-0" | A-501



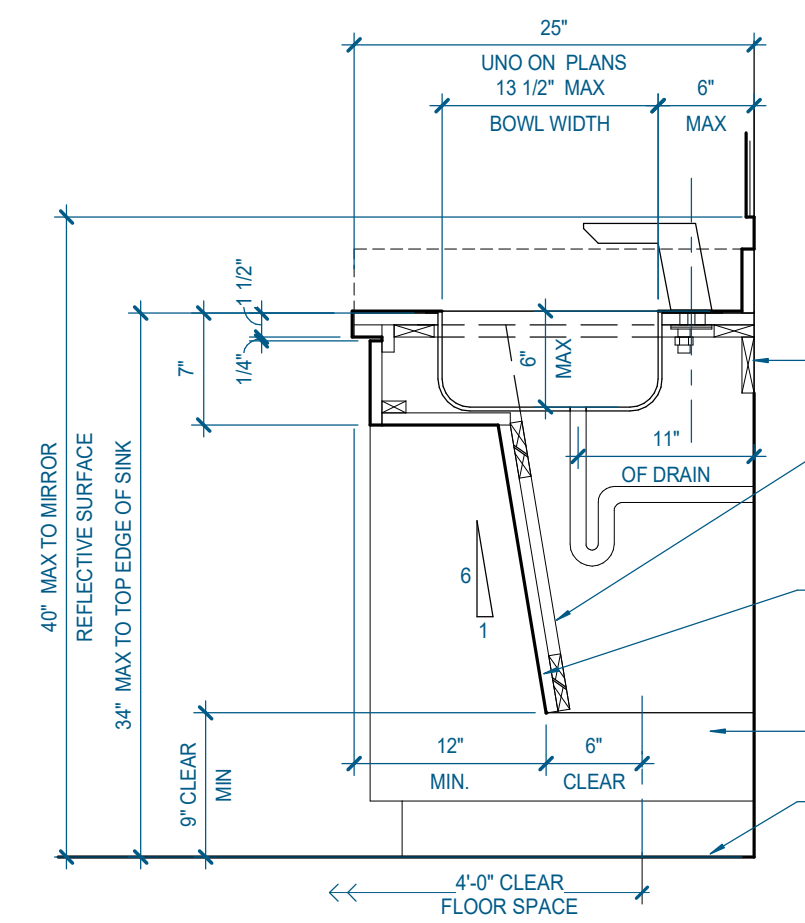
**08 FINISHED END PANEL**  
3" = 1'-0" | A-501



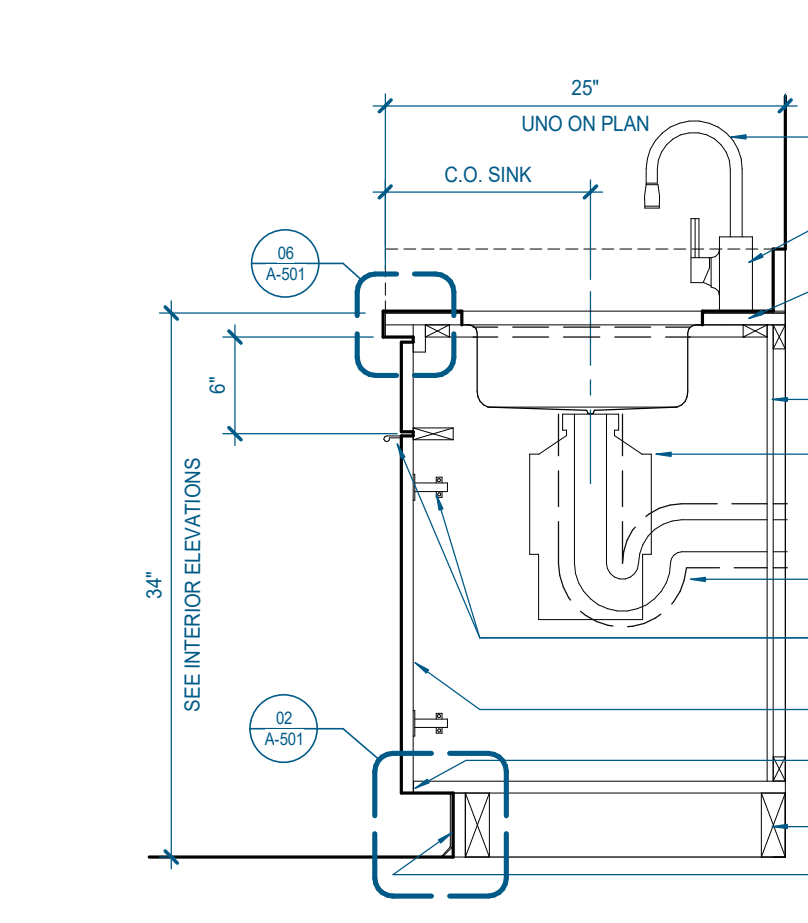
**04 QUARTZ COUNTERTOP**  
3" = 1'-0" | A-501



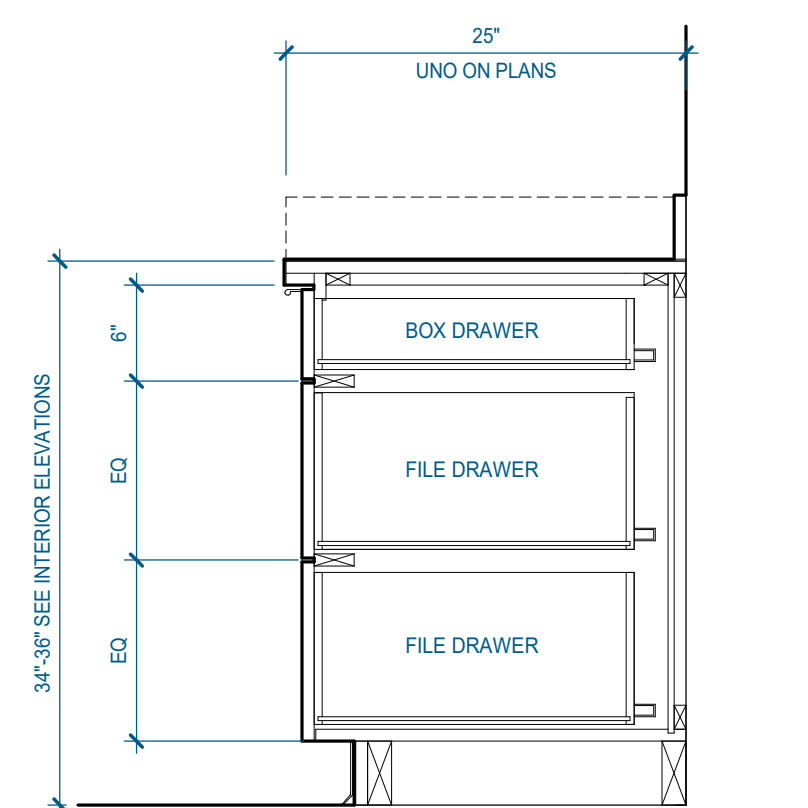
**06 SOLID SURFACE COUNTERTOP**  
3" = 1'-0" | A-501



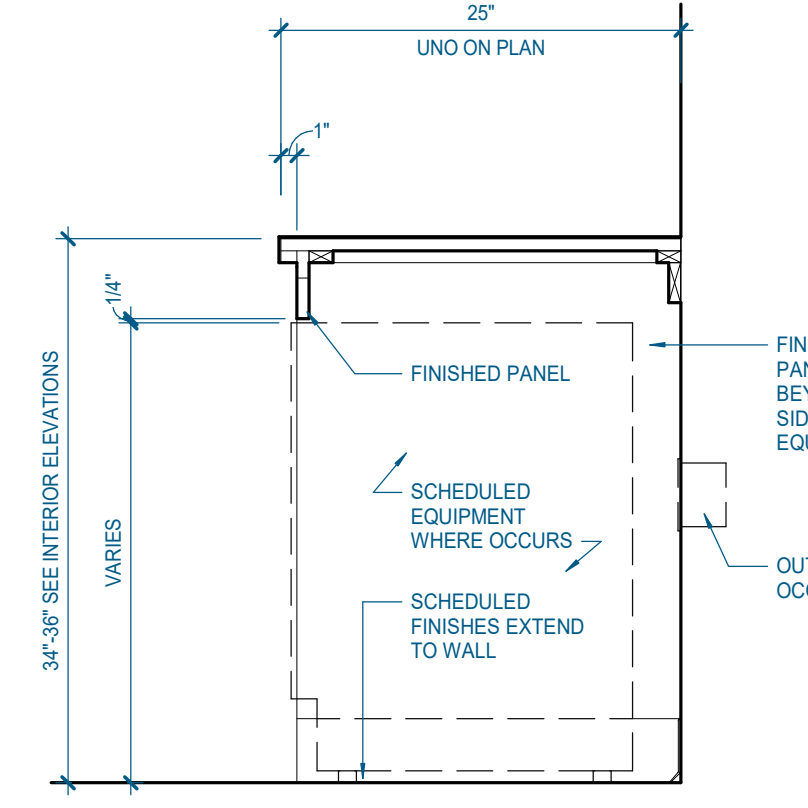
**S3 ACCESSIBLE SINK APRON**  
1" = 1'-0" | A-501 | SEE NOTES ON SINK CABINET TYPE 'S1' TYP.



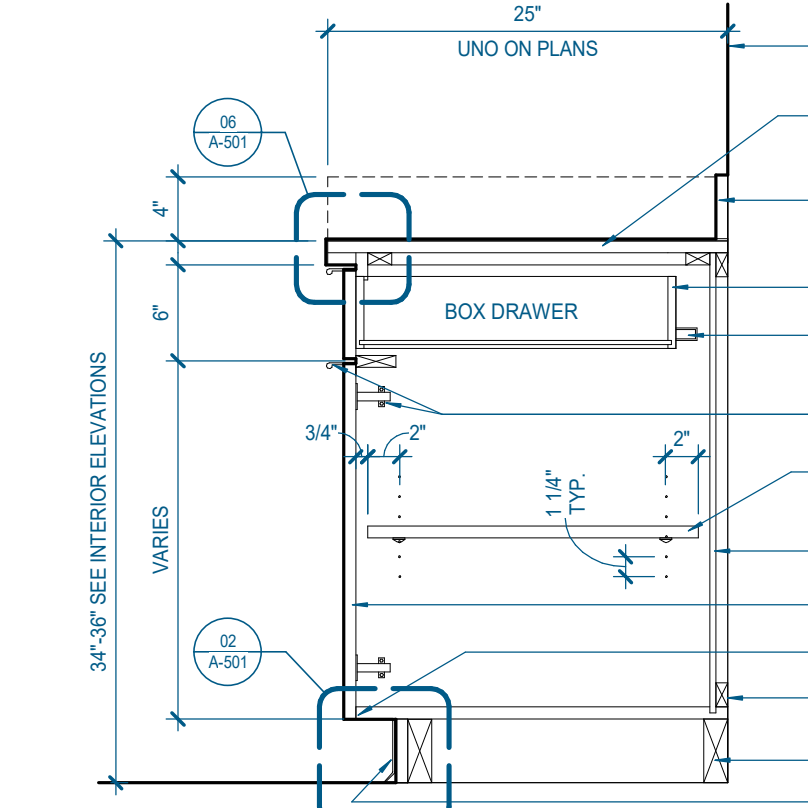
**S1 SINK CABINET - TYPE "S" TYP.**  
1" = 1'-0" | A-501 | REFERENCE FOR MATERIALS, DIMENSIONS, & ENL. DETAILS



**D2 DRAWER CABINETS (+2 EQ + 1)**  
1" = 1'-0" | A-501 | SEE NOTES ON BASE CAB. TYPE 'D3' & 'D4' TYP.



**B5 COUNTERTOP W/ EQUIPMENT OR KNEE SPACE**  
1" = 1'-0" | A-501



**B1 BASE CABINET - TYPE "B" TYP.**  
1" = 1'-0" | A-501 | REFERENCE FOR MATERIALS, DIMENSIONS, & ENL. DETAILS



#	ISSUED BY:	DATE

Issue Date: MAY 11, 2023

PIC: M. BUTLER

PM: M. BUTLER

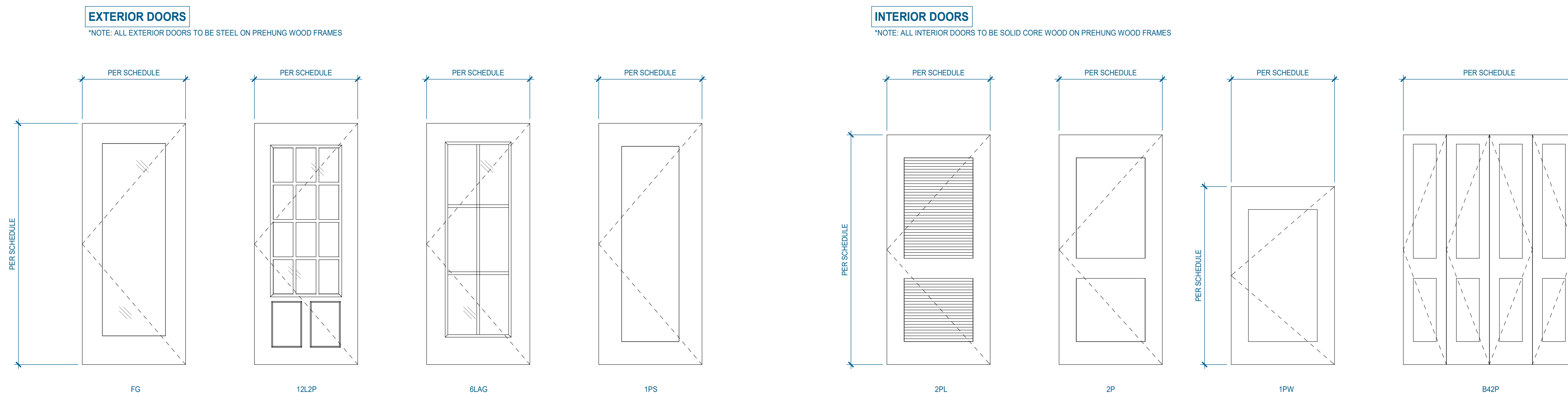
PA: G. TAYLOR C. MYERS

Drawn By: Author

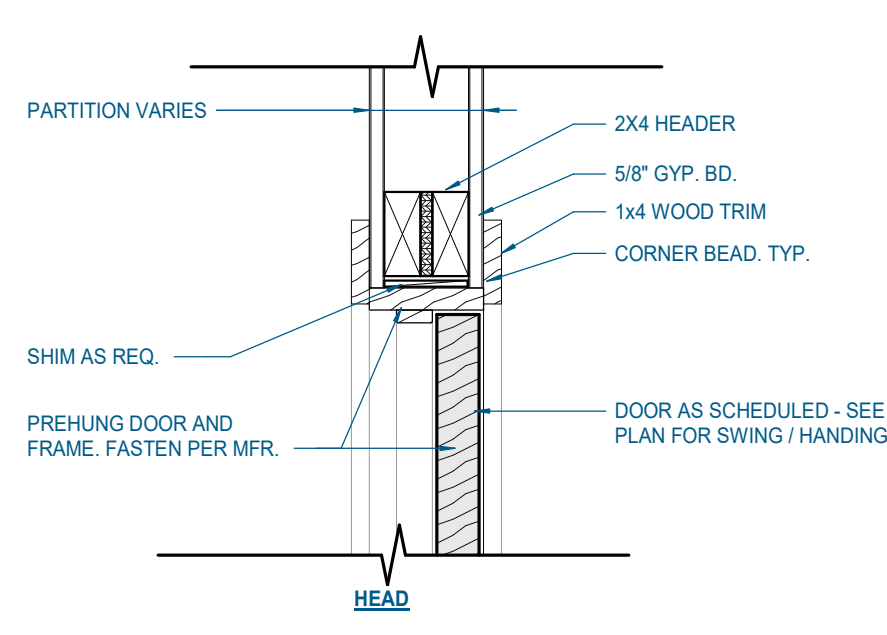
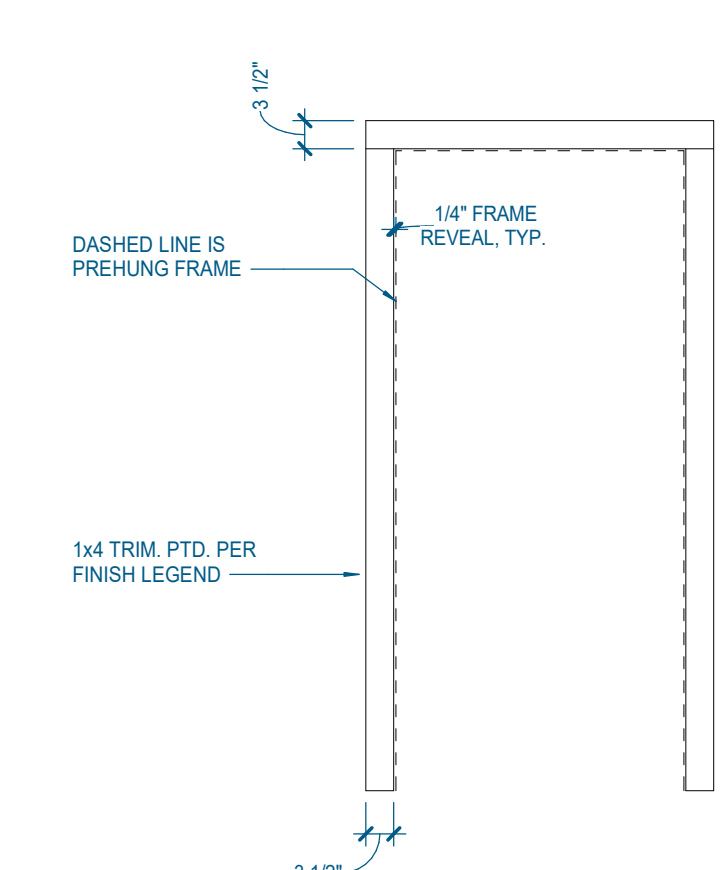
Checked By: Project Checked By

Sheet Information:

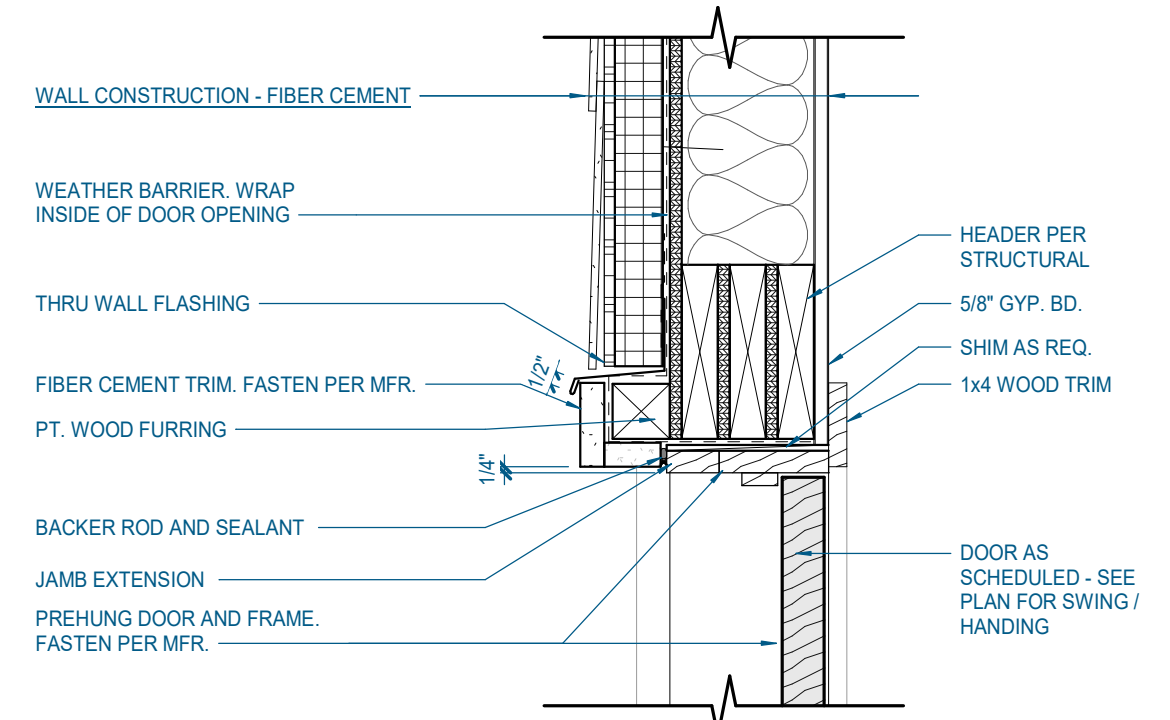
## DOOR LEAF LEGEND



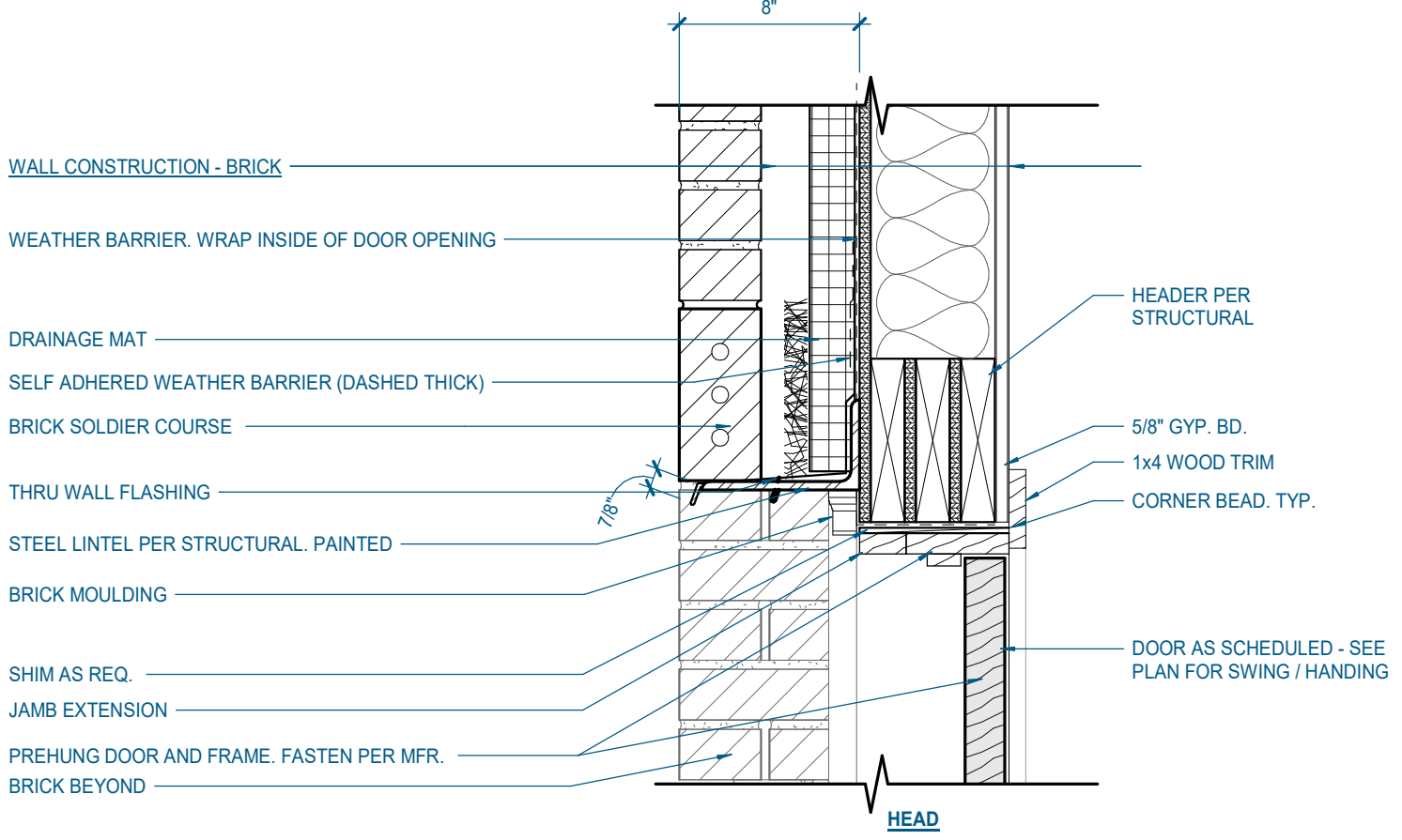
## DOOR TRIM LEGEND



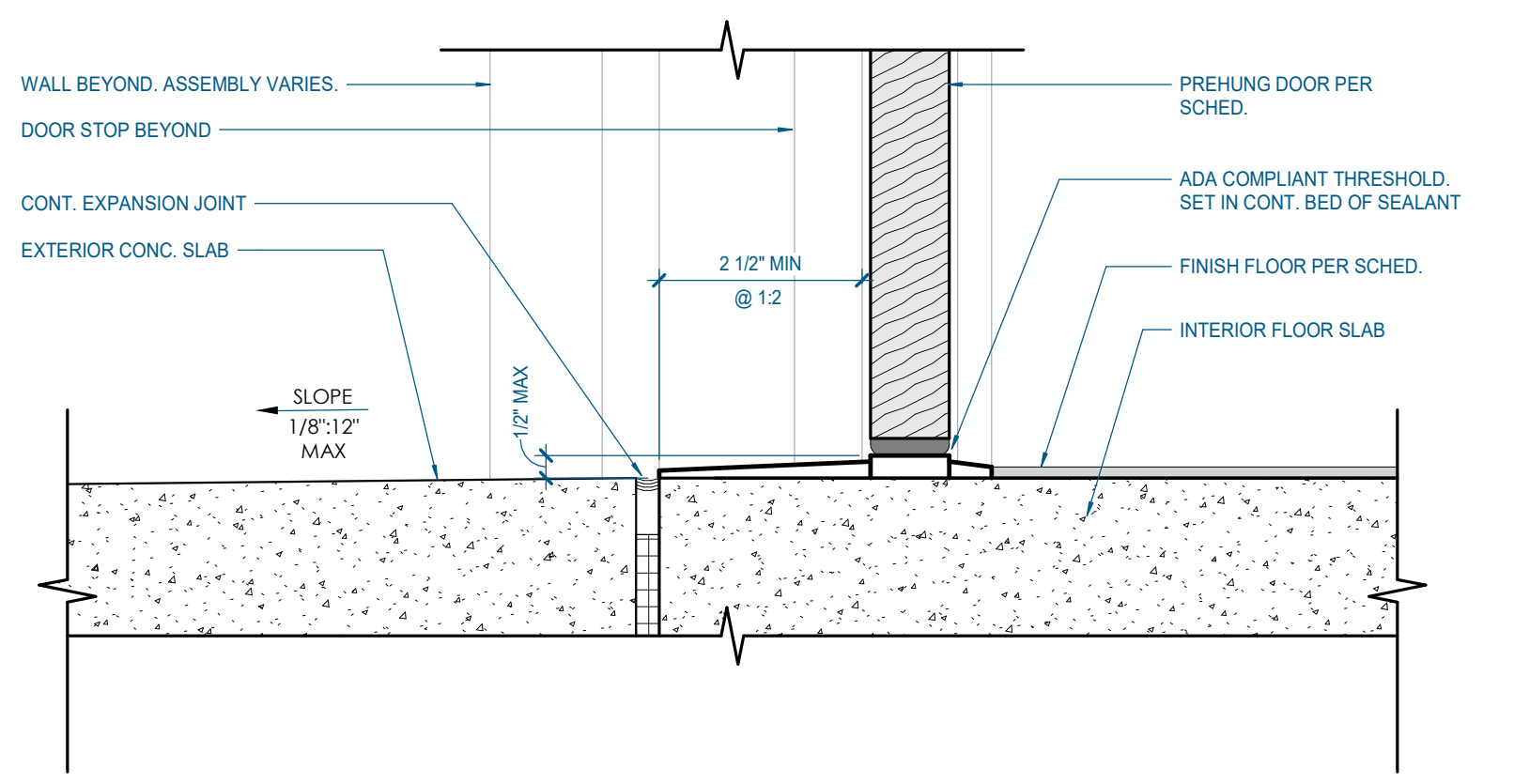
**G24** TYPICAL INTERIOR DOOR HEAD  
1 1/2" = 1'-0" | A-601



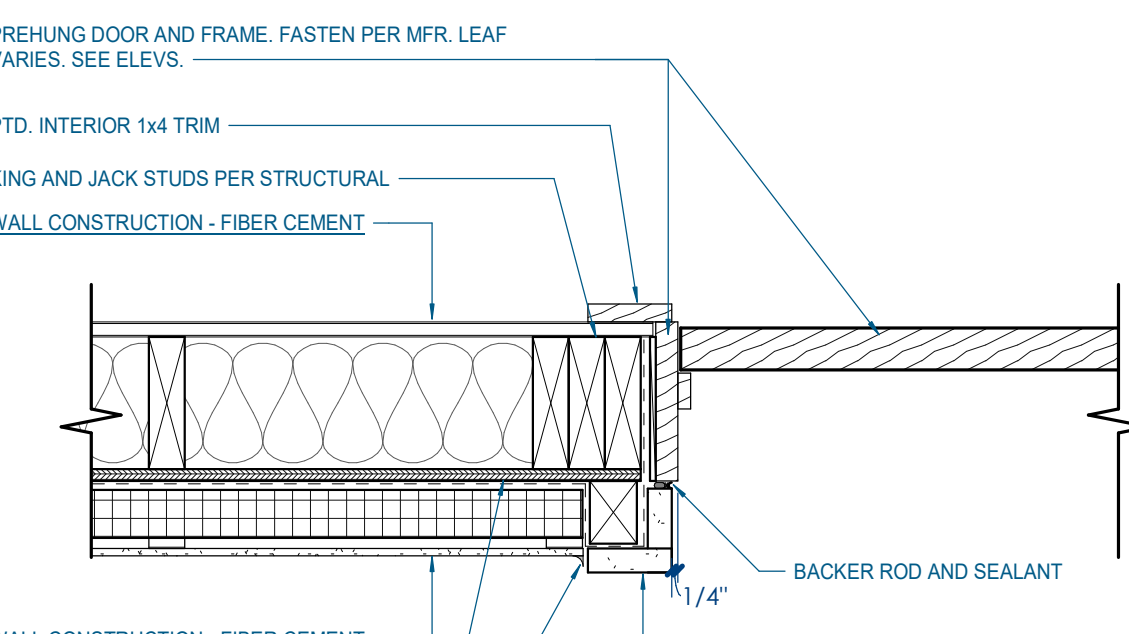
**G16** EXTERIOR DOOR - FIBER CEMENT HEAD DETAIL  
1 1/2" = 1'-0" | A-601



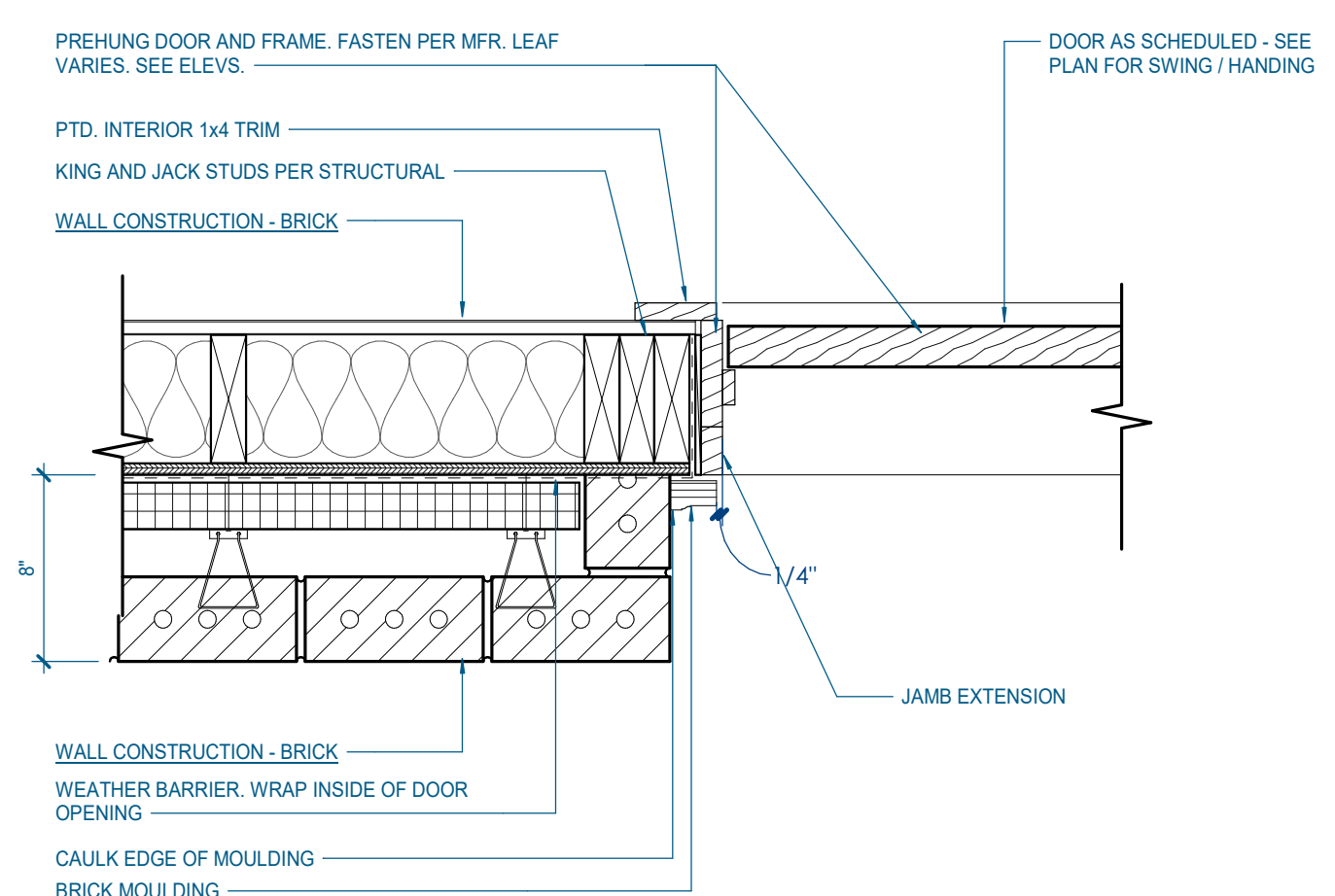
**G10** EXTERIOR DOOR - BRICK HEAD DETAIL  
1 1/2" = 1'-0" | A-601



**A24** TYP. EXTERIOR THRESHOLD  
3" = 1'-0" | A-601



**A16** EXTERIOR DOOR - FIBER CEMENT JAMB DETAIL  
1 1/2" = 1'-0" | A-601



**A10** EXTERIOR DOOR - BRICK JAMB DETAIL  
1 1/2" = 1'-0" | A-601

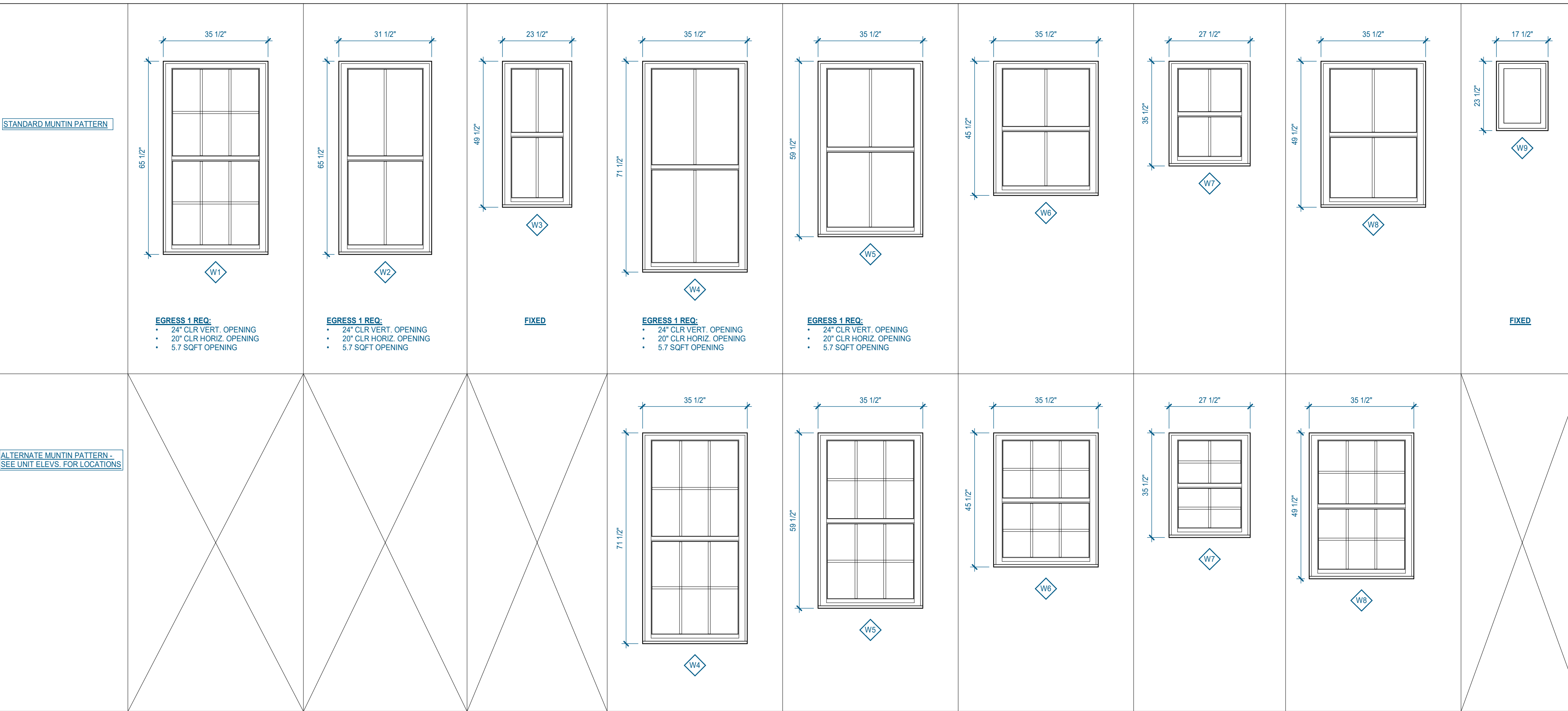
### DOORS AND FRAMES GENERAL NOTES

- ALL EXTERIOR DOORS TO HAVE ADA COMPLIANT THRESHOLD.
- ALL INTERIOR DOORS TO BE PREHUNG.
- INTERIOR DOORS TO BE PAINTED TO MATCH TRIM.
- SEE AS200 FOR EXTERIOR DOOR COLORS.
- ALL EXTERIOR STORAGE DOORS TO HAVE DOOR STOP.

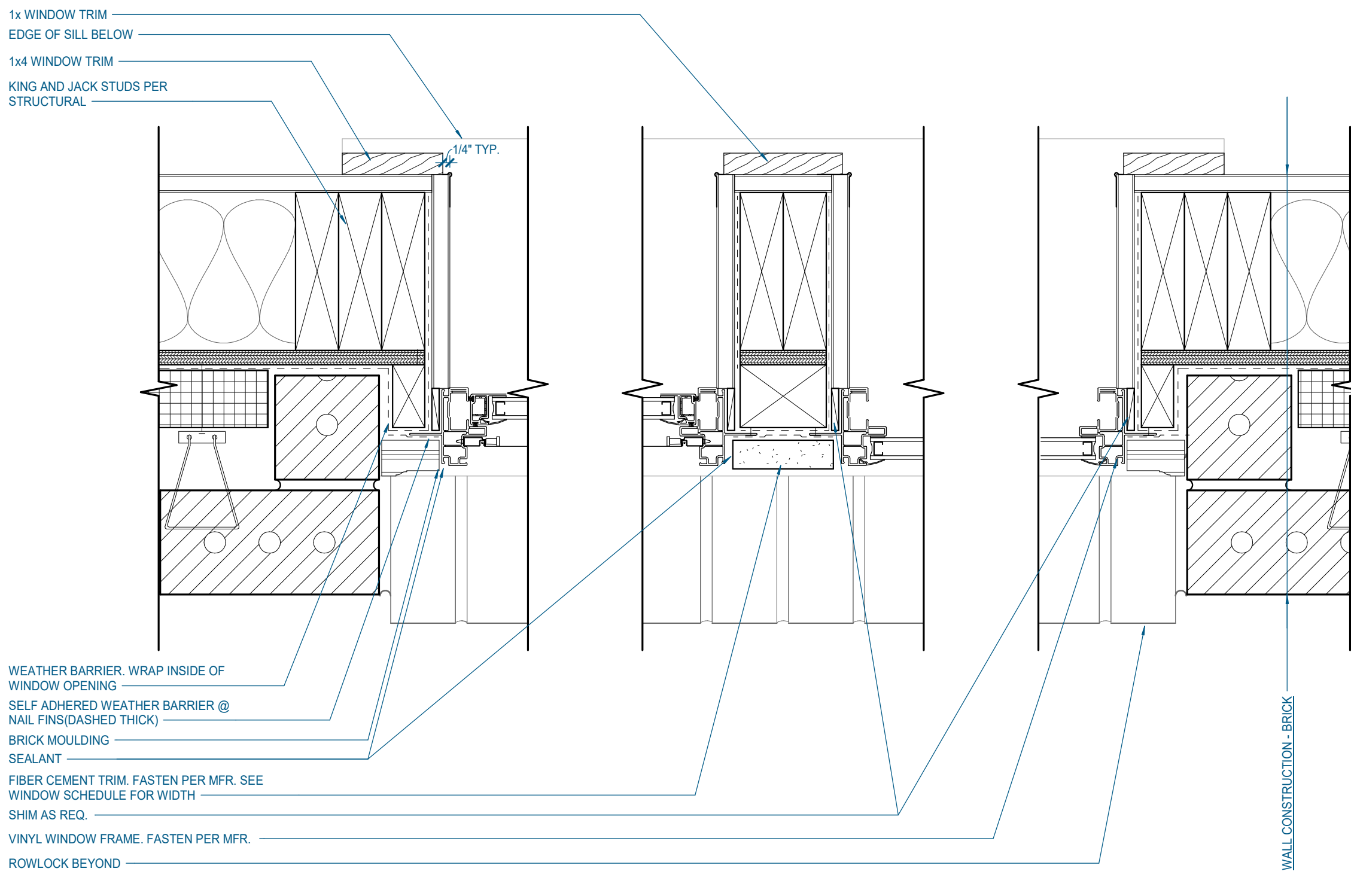
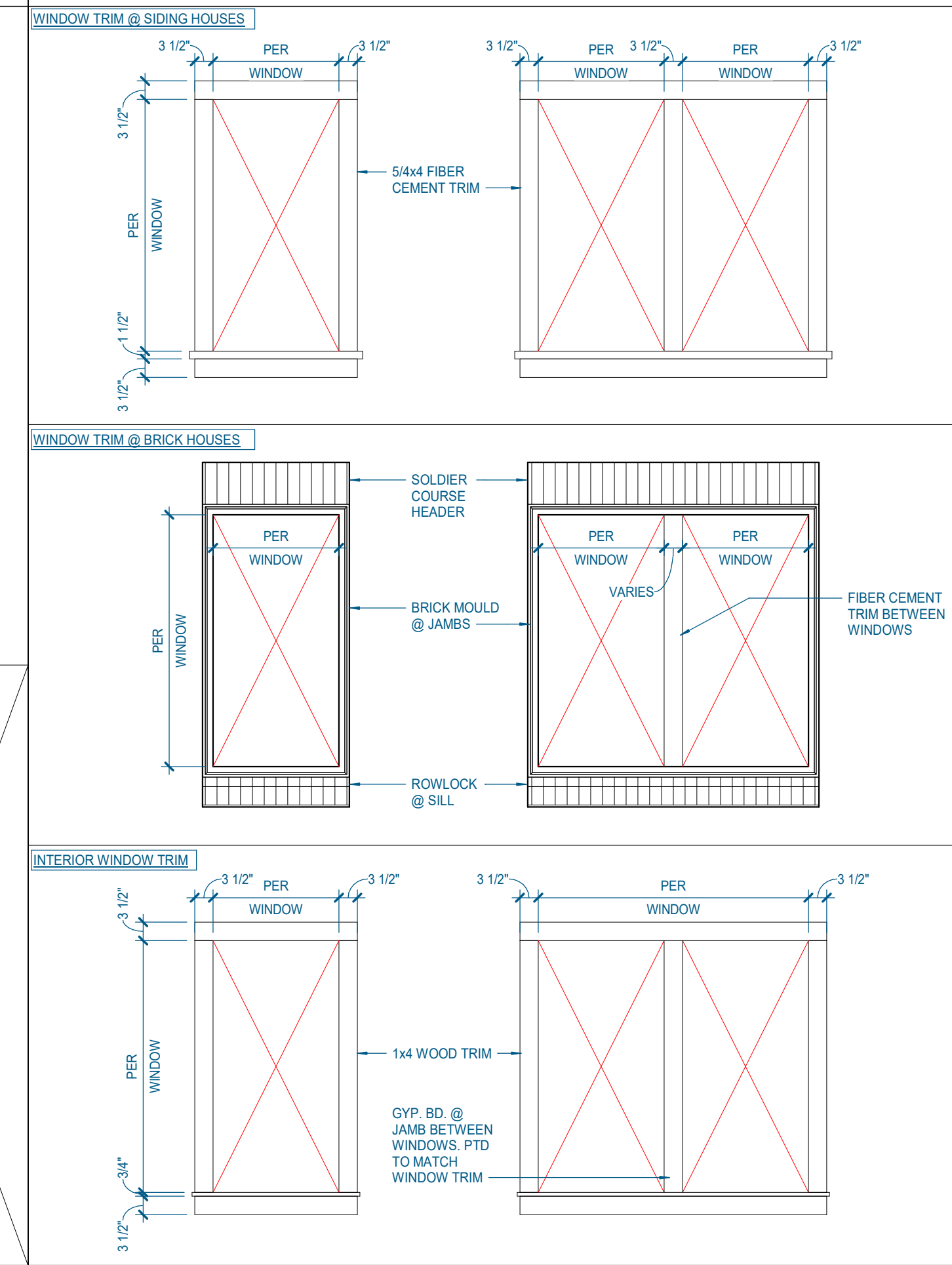
### DOOR SCHEDULE REMARKS

FINISH ABBREVIATIONS	FRAME FUNCTION ABBREVIATIONS
AL-x ANODIZED ALUMINUM	RB RABBETED
AL-x BLACK ANODIZED ALUMINUM	DE DOUBLE EGRESS
HC:WD HOLLOW CORE WOOD VENEER	CA CASED
SC:WD SOLID CORE WOOD VENEER	DA DOUBLE ACTING
HM HOLLOW METAL	OP OFFSET PIVOT
PLAM PLASTIC LAMINATE FACED DOOR	
PT-x PAINTED FINISH	
ST-x STAINED FINISH	
SS STAINLESS STEEL FINISH	

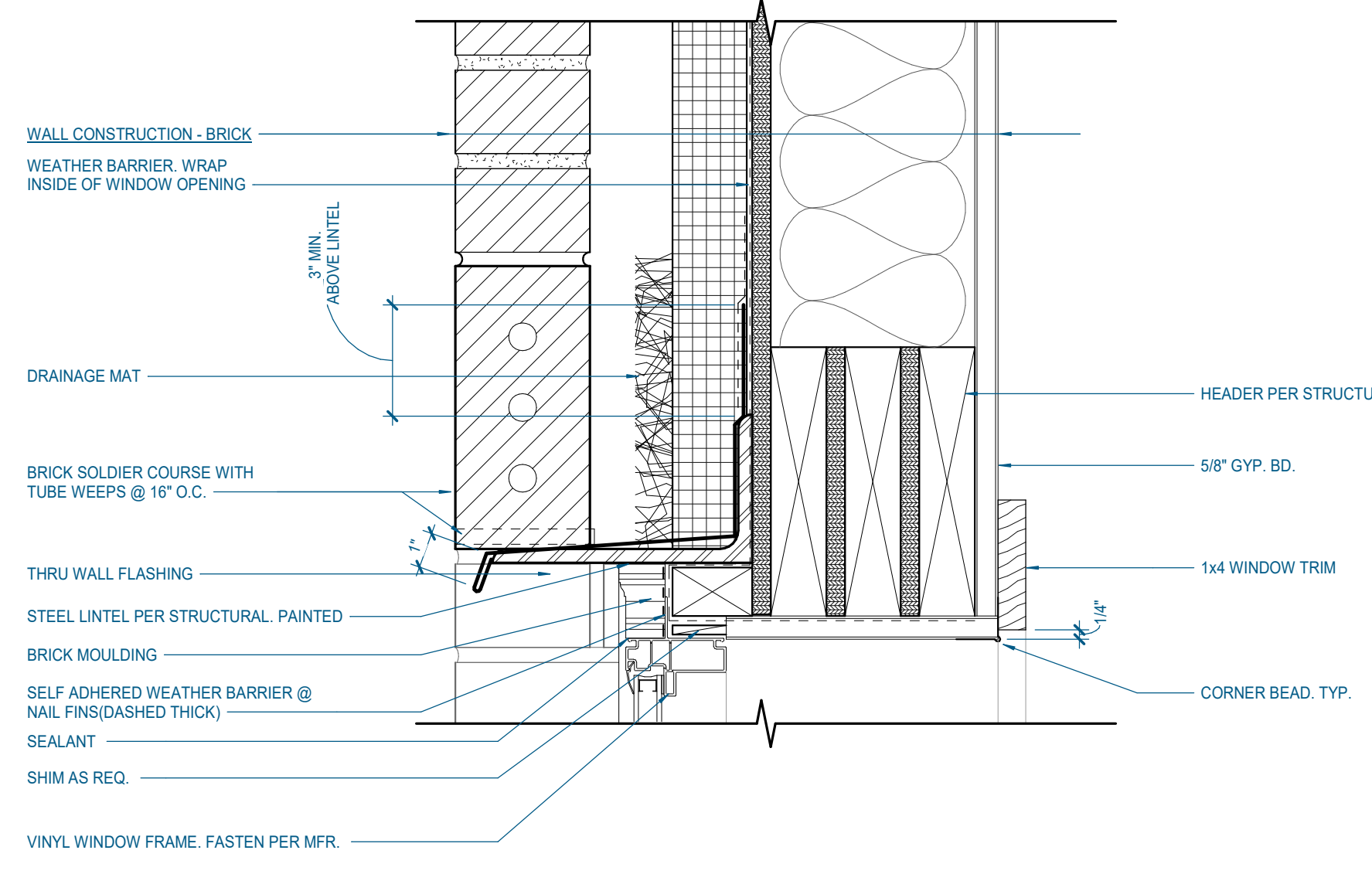
### WINDOW LEGEND



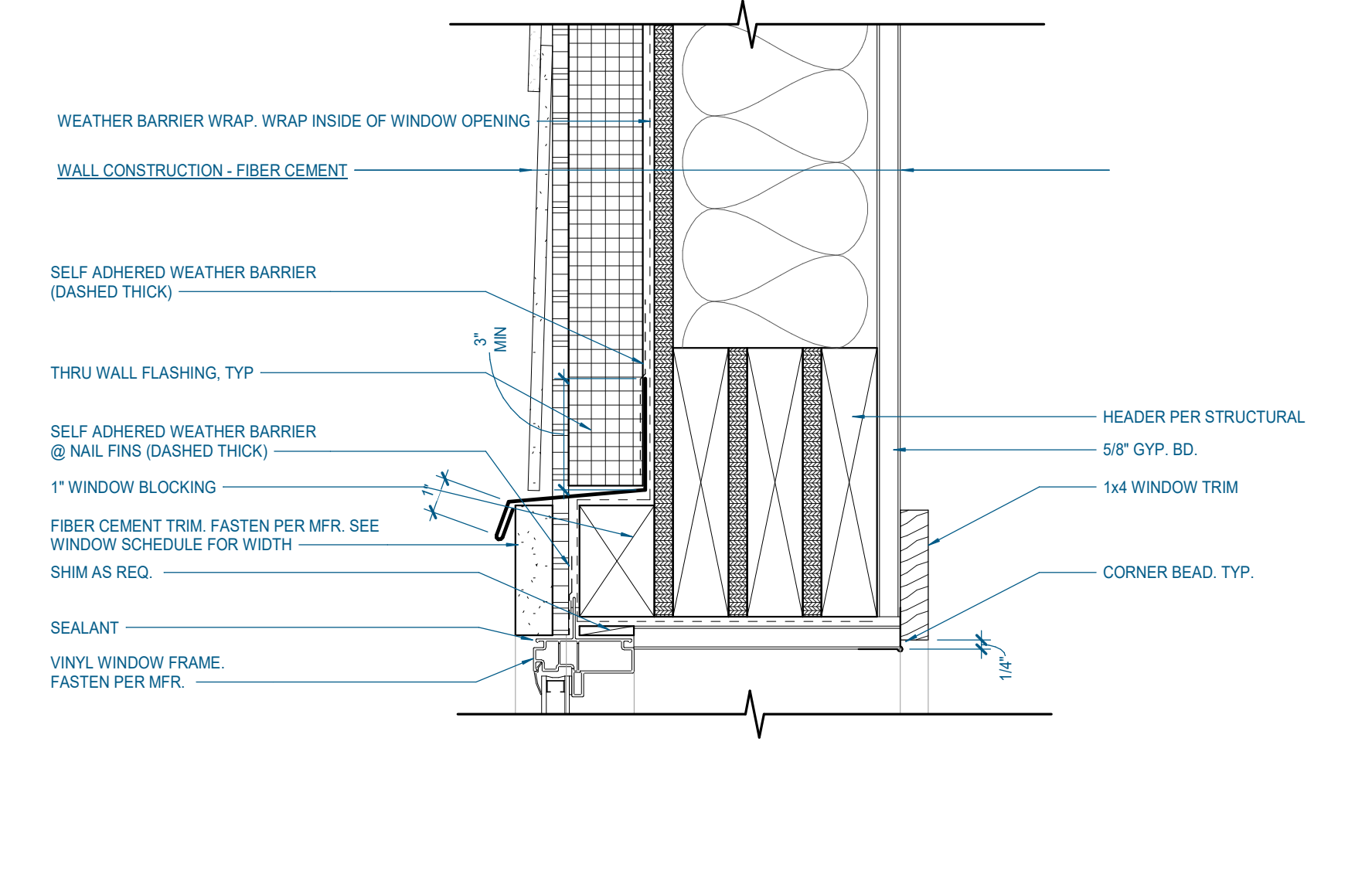
### WINDOW TRIM LEGEND



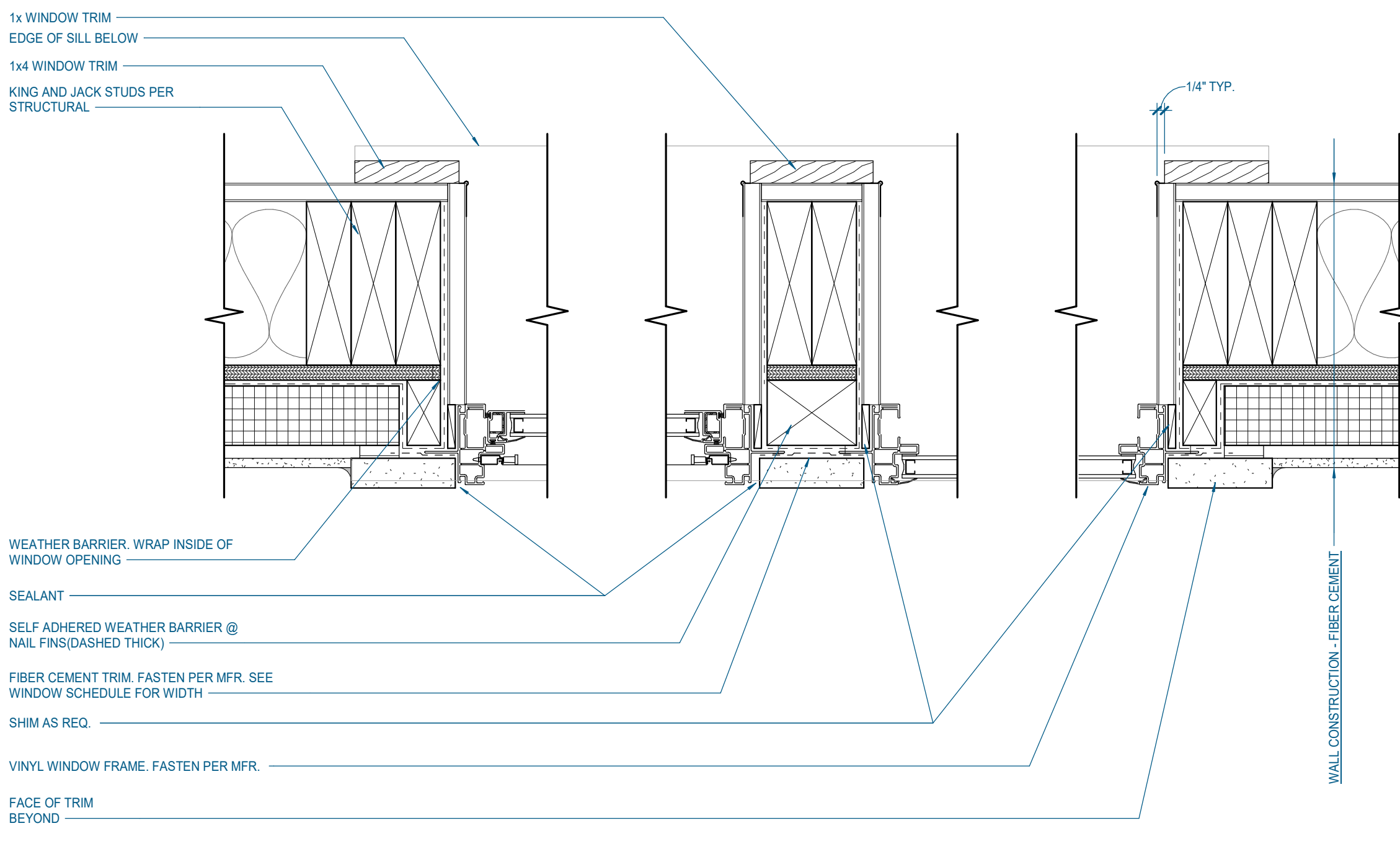
**G24** WINDOW JAMB DETAILS - BRICK  
3" = 1'-0" | A-611



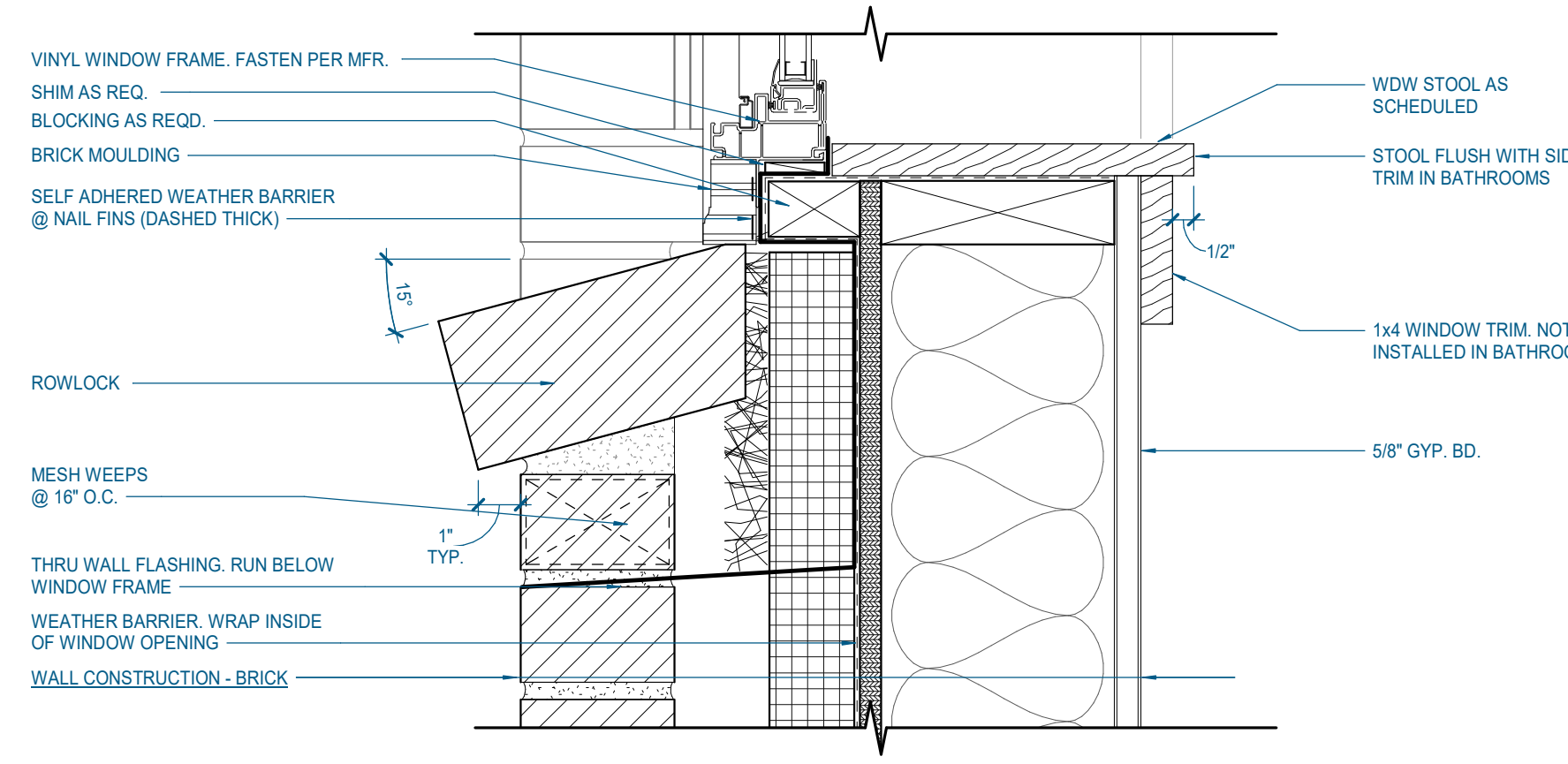
**G14** WINDOW HEAD DETAIL - BRICK  
3" = 1'-0" | A-611



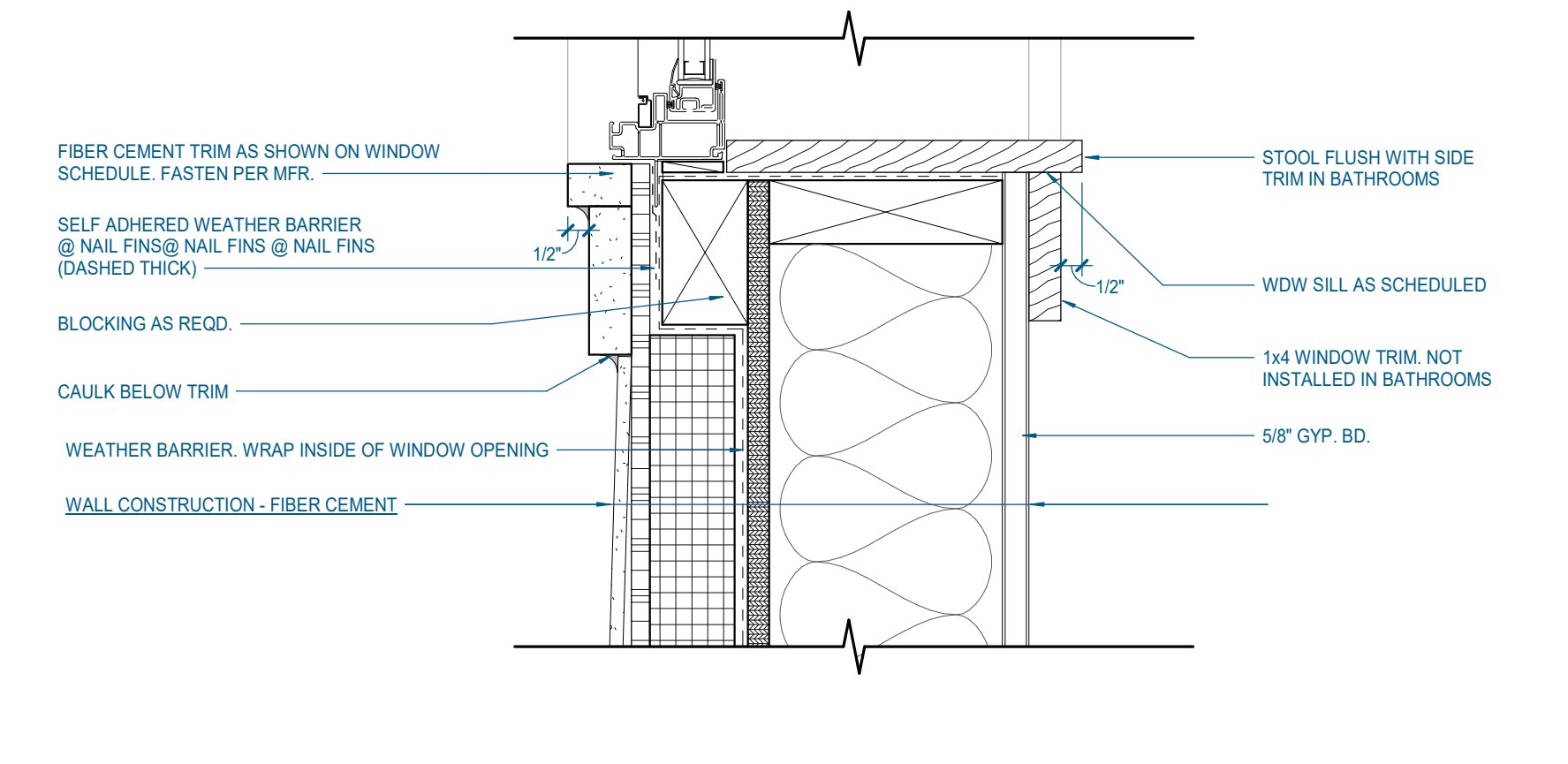
**G07** WINDOW HEAD DETAIL - FIBER CEMENT  
3" = 1'-0" | A-611



**A24** WINDOW JAMB DETAILS - FIBER CEMENT  
3" = 1'-0" | A-611



**A14** WINDOW SILL DETAIL - BRICK  
3" = 1'-0" | A-611



**A07** WINDOW SILL DETAIL - FIBER CEMENT  
3" = 1'-0" | A-611



#	ISSUED BY:	DATE

Issue Date: MAY 11, 2023

PIC: M. BUTLER  
PM: M. BUTLER  
PA: G. TAYLOR C. MYERS

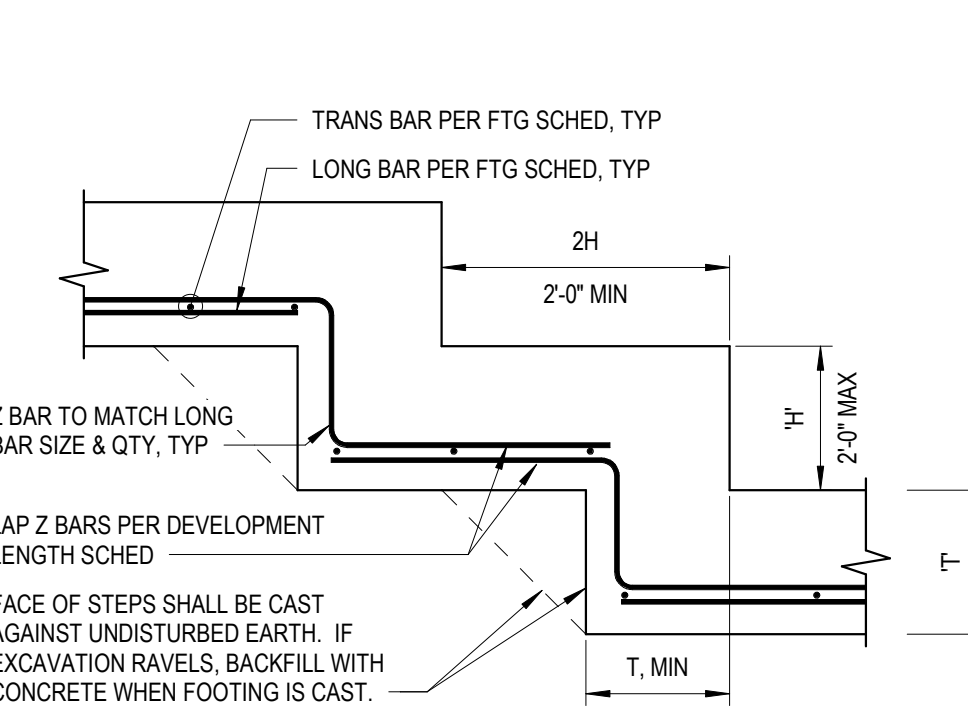
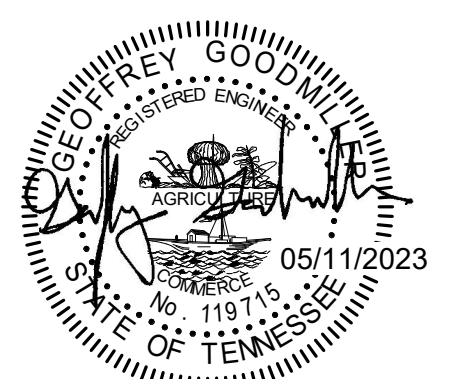
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Checked By: Project Checked By

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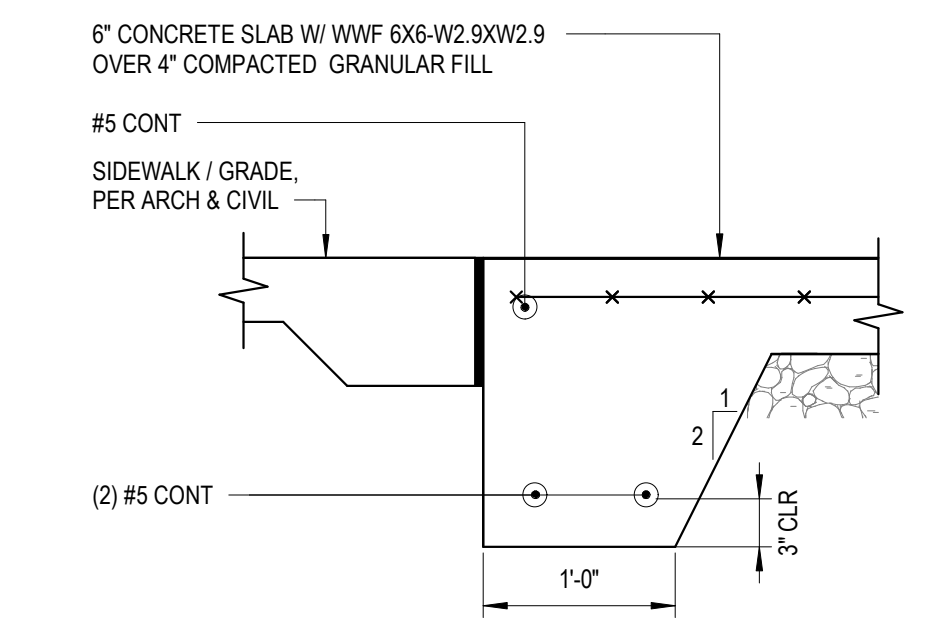




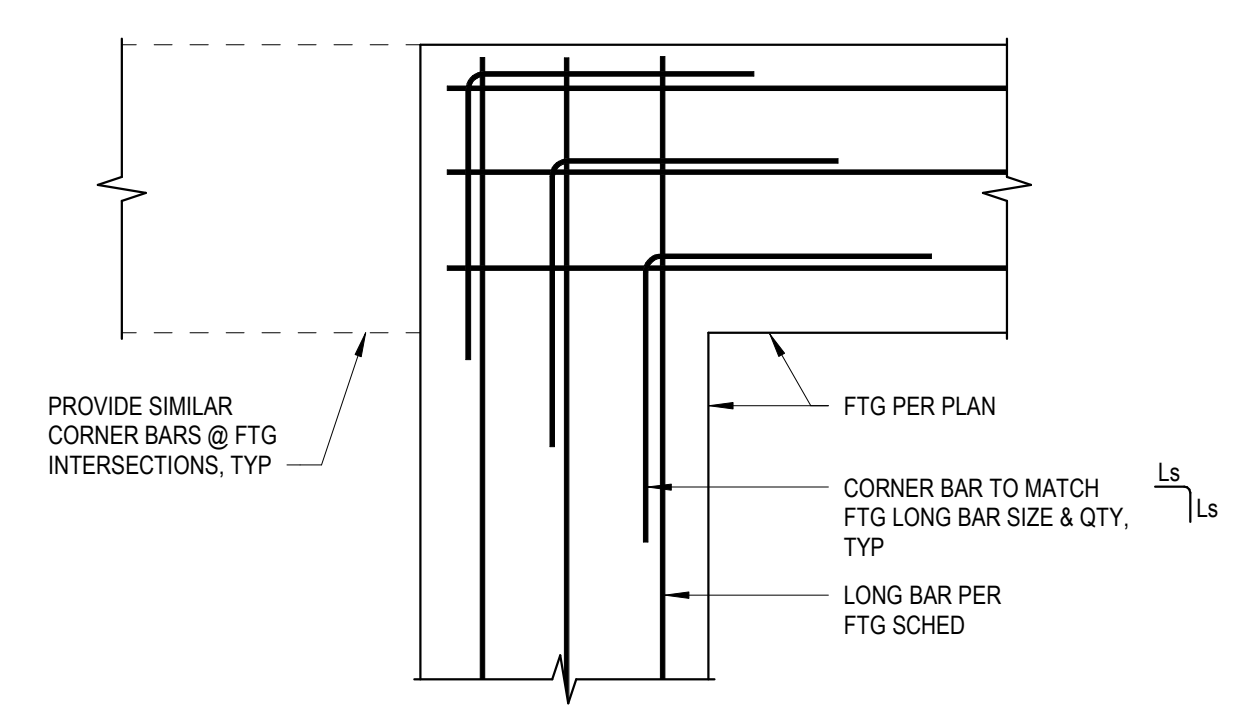




5 3/4" = 1'-0"



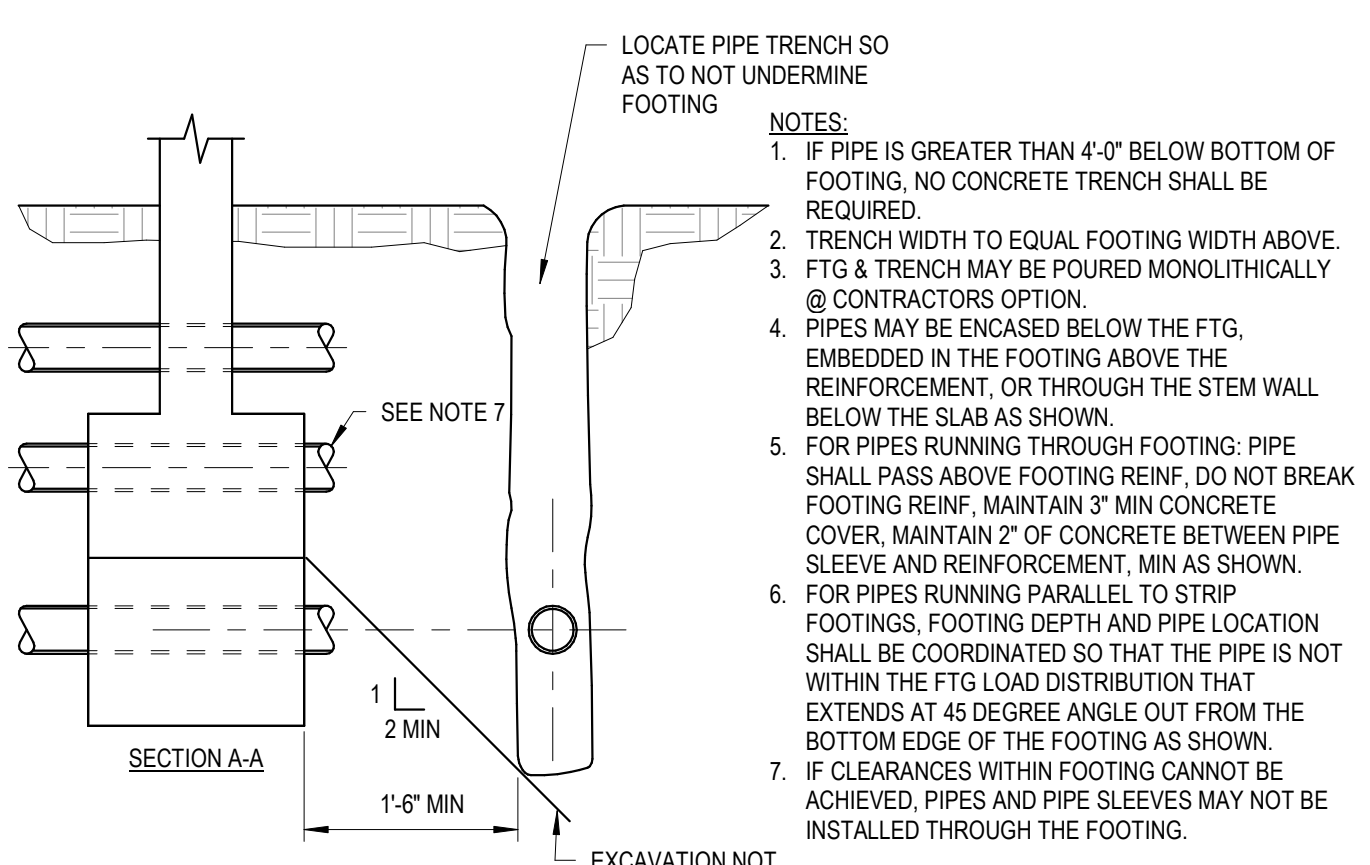
10 1' = 1'-0"



4 3/4" = 1'-0"

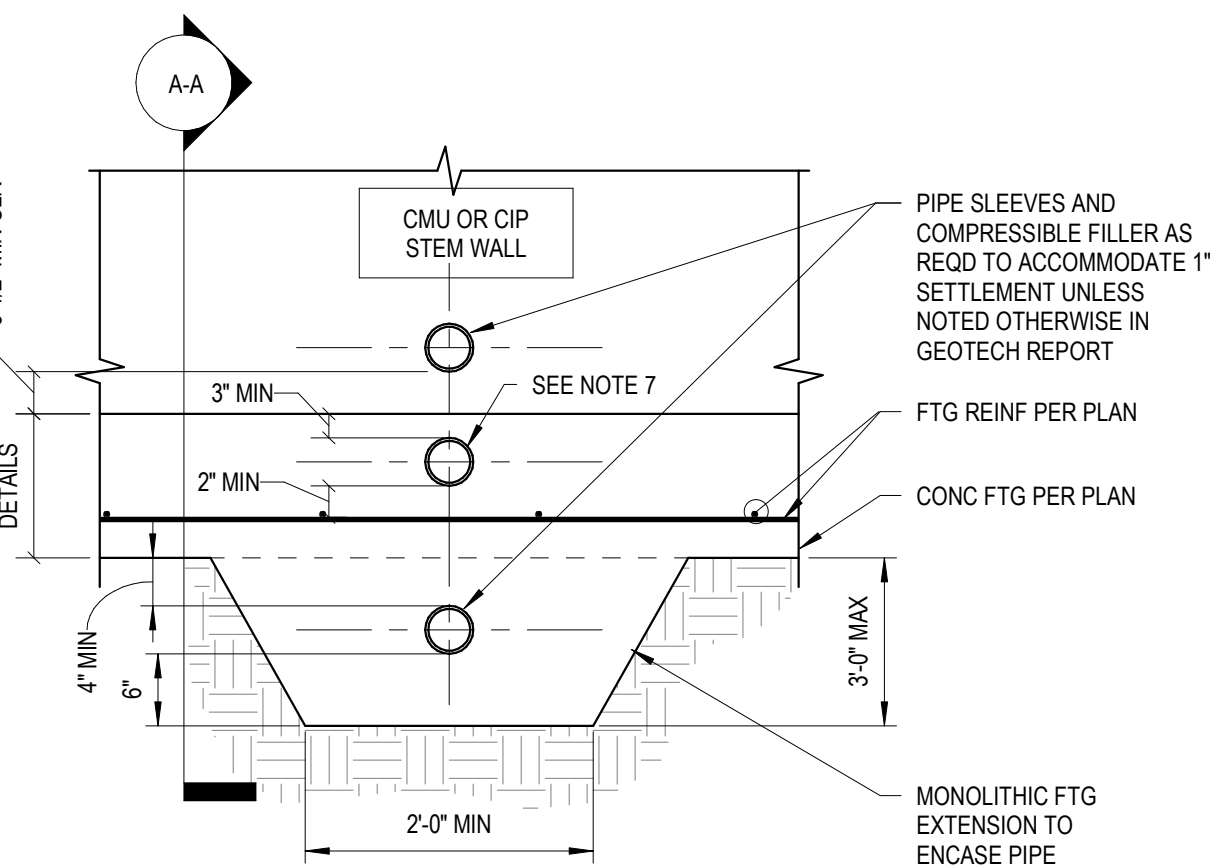
Development length schedule tables for concrete strengths of 3,000 PSI, 4,000 PSI, and 4,500 PSI, listing bar sizes and development lengths for various conditions.

8 3/4" = 1'-0"



(IF REQUIRED)

1 3/4" = 1'-0"

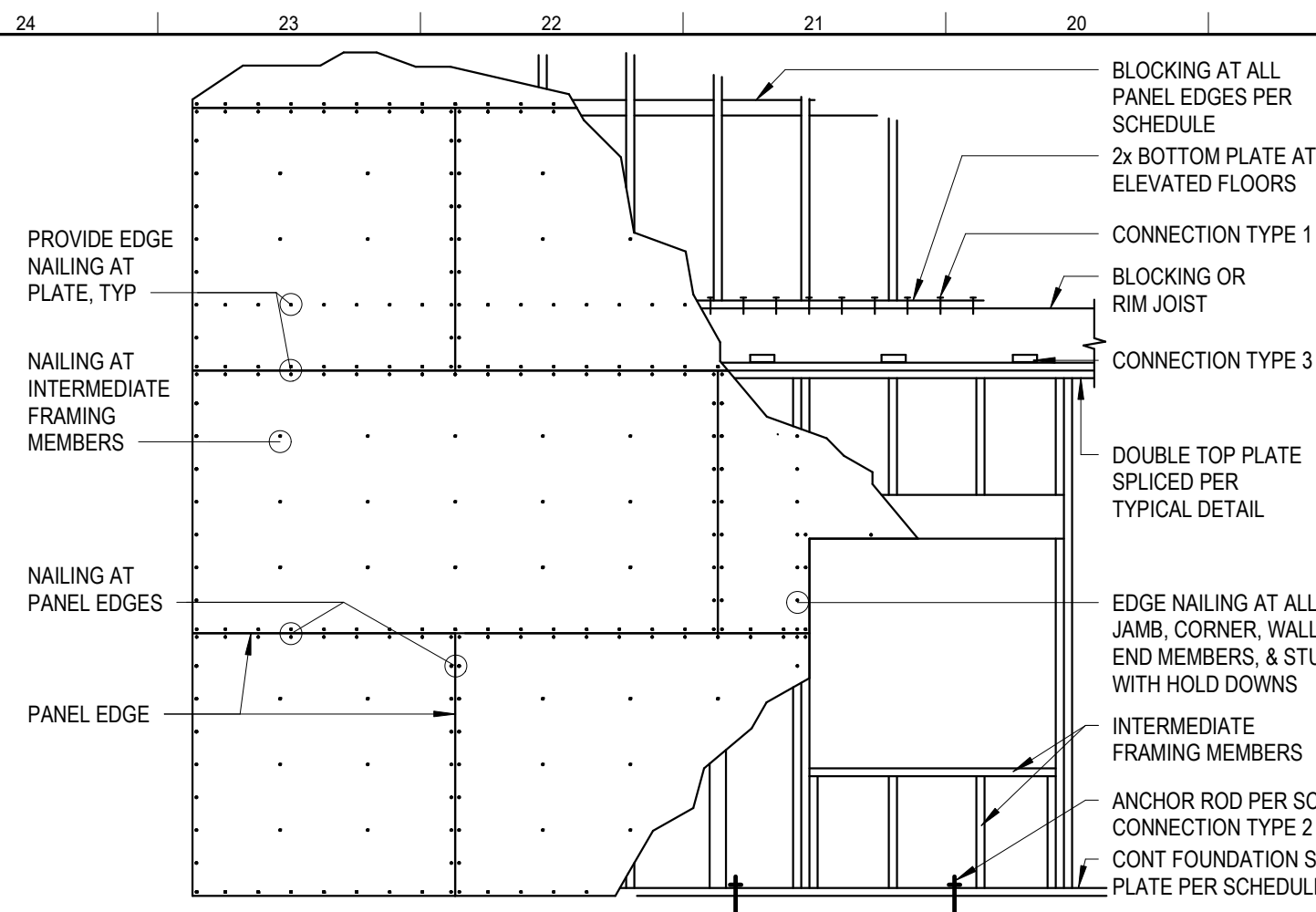


6 NTS

- NOTES: 1. ALL SLAB-ON-GRADE CONSTRUCTION SHALL FOLLOW THE RECOMMENDATIONS OF ACI 302.1 'GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION'... 2. PROVIDE CURING, FINISHING & SEALING OF SLABS PER ACI 302.1 GUIDELINES... 3. PROVIDE CURING USING A LIQUID MEMBRANE-FORMING CURING COMPOUND... 4. WIRE FABRIC SHALL BE PLACED 2" BELOW TOP OF SLAB... 5. A VAPOR BARRIER SHALL BE PROVIDED BELOW SLAB-ON-GRADE AT ALL INTERIOR LOCATIONS... 6. PROVIDE CONTROL JOINTS THAT DIVIDE THE SLAB-ON-GRADE INTO RECTANGULAR AREAS... 7. ALL CONSTRUCTION JOINTS SHALL BE PLACED AT COLUMN LINES OR UNDER PARTITIONS AT DISCRETION OF CONTRACTOR.







SHEAR WALL TYPE	FRAMING REQUIREMENTS		NAILING REQUIREMENTS		WALL BOTTOM PLATE CONNECTION		CONNECTION TO TOP PLATE	CAPACITY (PLF)
	SHEATHING (NOTES 1,2)	FON SILL PLATE, WALL STUDS OCCURRING AT ABUTTING PANEL EDGES, & BLOCKING (NOTES 4,5,6)	PANEL EDGES (NOTES 7,8)	INTERMEDIATE FRAMING MEMBERS	SILL TO WOOD FRAMING BELOW (CONNECTION TYPE 1)	SILL TO CONCRETE BELOW (CONNECTION TYPE 2) (NOTES 9,10)		
SW6	7/16" SHEATHING 1 SIDE	2x	8d @ 6" OC	8d @ 12" OC	16d @ 8" OC	5/8" @ 7" EMBED AB @ 48" OC	CLIPS @ 24" OC	239
SW3	7/16" SHEATHING 1 SIDE	2x	8d @ 3" OC	8d @ 12" OC	16d @ 4" OC	5/8" @ 7" EMBED AB @ 16" OC	CLIPS @ 12" OC	451
GSW7	5/8" GYP WALL BOARD 1 SIDE	2x	6d @ 7" OC (NOTE 13)	6d @ 7" OC (NOTE 13)	16d @ 16" OC	5/8" @ 7" EMBED AB @ 48" OC	CLIPS @ 32" OC	115

**NOTES:**

- SHEATHING TO BE APPLIED WITH THE LONG PANEL DIMENSION PERPENDICULAR TO WALL STUDS.
- USE 1/2" SHEATHING IF PANELS ARE INSTALLED WITH LONG DIMENSION PARALLEL TO WALL STUDS.
- PANEL JOINTS ON OPPOSITE SIDES OF THE WALL SHALL NOT OCCUR AT THE SAME FRAMING MEMBER.
- IN LIEU OF 3x MEMBERS, DOUBLE 2x MEMBERS MAY BE USED WHEN NAILED TOGETHER PER WALL BOTTOM PLATE TO WOOD FRAMING BELOW.
- WALL STUDS NOT OCCURRING AT ABUTTING PANEL EDGES MAY BE 2x.
- WALL BOTTOM PLATES OCCURRING ABOVE WOOD FRAMING MAY BE 2x.
- STAGGER NAILS AT ABUTTING PANEL EDGES.
- INSTALL BLOCKING AT PANEL EDGES NOT OCCURRING AT STUDS OR PLATES.
- PROVIDE SIMPSON BPS TYPE BEARING PLATES OR EQUIVALENT ON ALL ANCHOR BOLTS TO CONCRETE. PROVIDE BPS5/8-3 AT 2x4 WALLS AND BPS5/8-6 AT 2x6 WALLS. EDGE OF BPS PLATE SHALL BE WITHIN 1/2" OF THE EDGE OF THE SILL PLATE. PROVIDE STANDARD CUT WASHER BETWEEN NUT AND BPS.
- ANCHOR BOLTS SHALL BE CAST-IN-PLACE, ADHESIVE, OR SCREW-ANCHOR TYPE CONNECTORS AND EMBEDMENT SHALL BE MEASURED TO THE TOP SIDE OF THE EMBEDDED NUT. LOCATE ANCHOR BOLTS WITHIN 8" OF ENDS OF WALLS.
- FRAMING CLIPS SHALL BE SIMPSON ASS, SIMPSON LTPS, OR APPROVED EQUAL.
- DO NOT OVER DRIVE NAILS. REFER TO GENERAL NOTES.
- 6d COOLER (0.092" X 1 7/8" LONG, 1/4" HEAD) OR WALLBOARD NAIL (0.0915" X 1 3/4" LONG, 1/4" HEAD) OR 0.120" NAIL X 1 3/4" LONG, MIN 3/8" HEAD

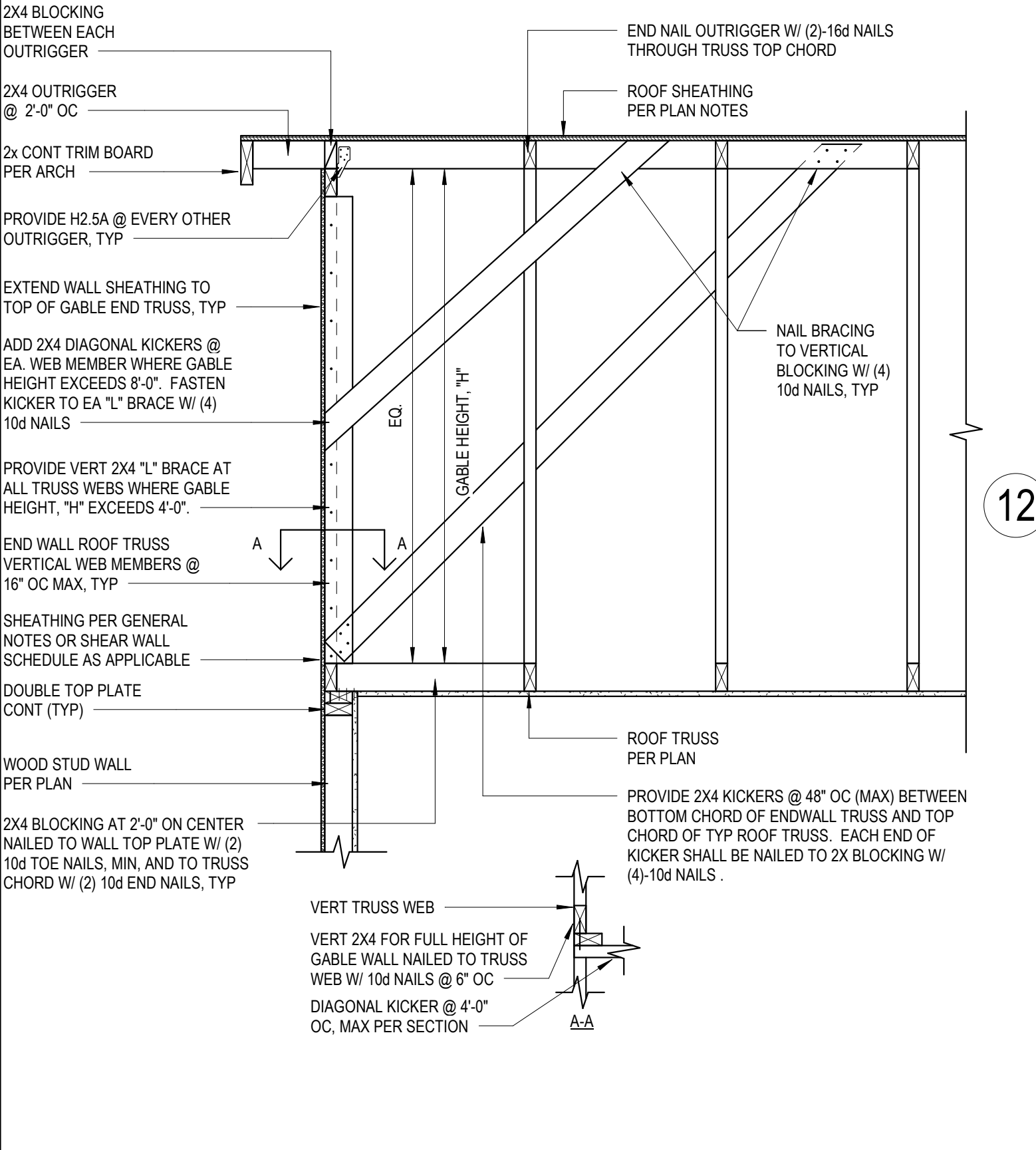
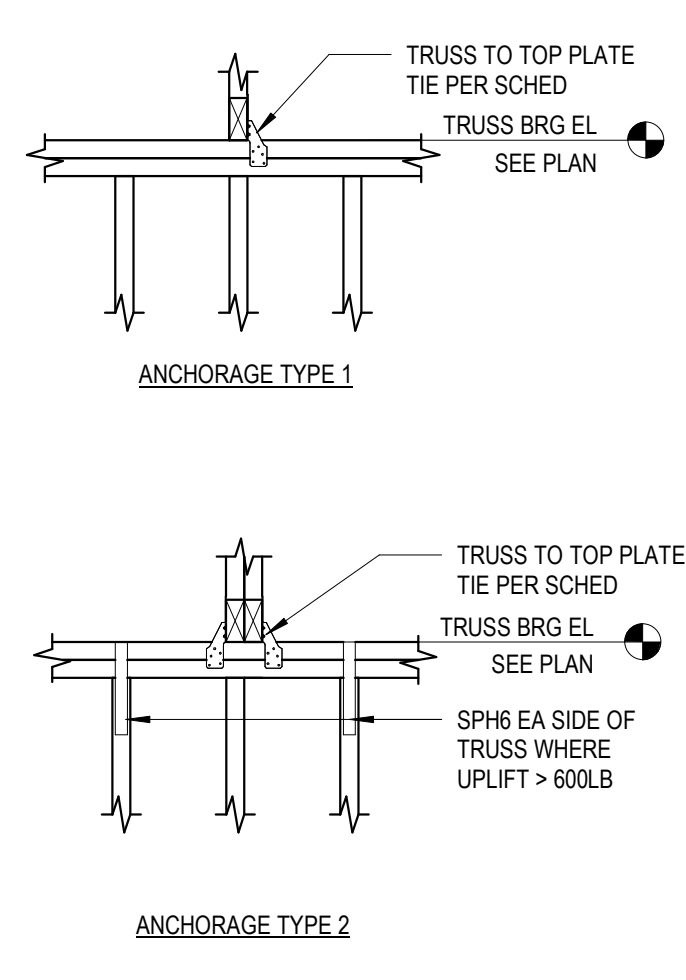
**1 SHEAR WALL SCHEDULE - SPRUCE-PINE-FIR**  
3/4" = 1'-0"

ROOF TRUSS FASTENER SCHEDULE												
UPLIFT	MIN BUNDLED STUDS BELOW BEARING	MIN # OF TRUSS PILES	TRUSS TO TOP PLATE TIE	TRUSS ANCHORAGE TYPE	TIE TO STUDS BELOW	FLR-FLR TIE	# FLOORS REQUIRED (NOTE 8)	TIE TO FOUNDATION	FASTENERS TO TRUSS	FASTENERS TO WALL TOP PLATES	FASTENERS TO STUDS BELOW	FOUNDATION ANCHOR (NOTE 7)
<600#	NOT REQUIRED	1	H2.5A	1	NOT REQUIRED	NOT REQUIRED	0	NOT REQUIRED	(5) - 8d	(5) - 8d	NOT REQUIRED	NOT REQUIRED
<1200#	NOT REQUIRED	1	(2)-H2.5A (NOTE 2)	2	SPH6 EACH SIDE OF BRG	NOT REQUIRED	0	NOT REQUIRED	(10) - 8d	(10) - 8d	NOT REQUIRED	NOT REQUIRED
<1340#	NOT REQUIRED	1	H10A	2	SPH6 EACH SIDE OF BRG	NOT REQUIRED	0	NOT REQUIRED	(9) - 10d X 1 1/2"	(9) - 10d X 1 1/2"	NOT REQUIRED	NOT REQUIRED

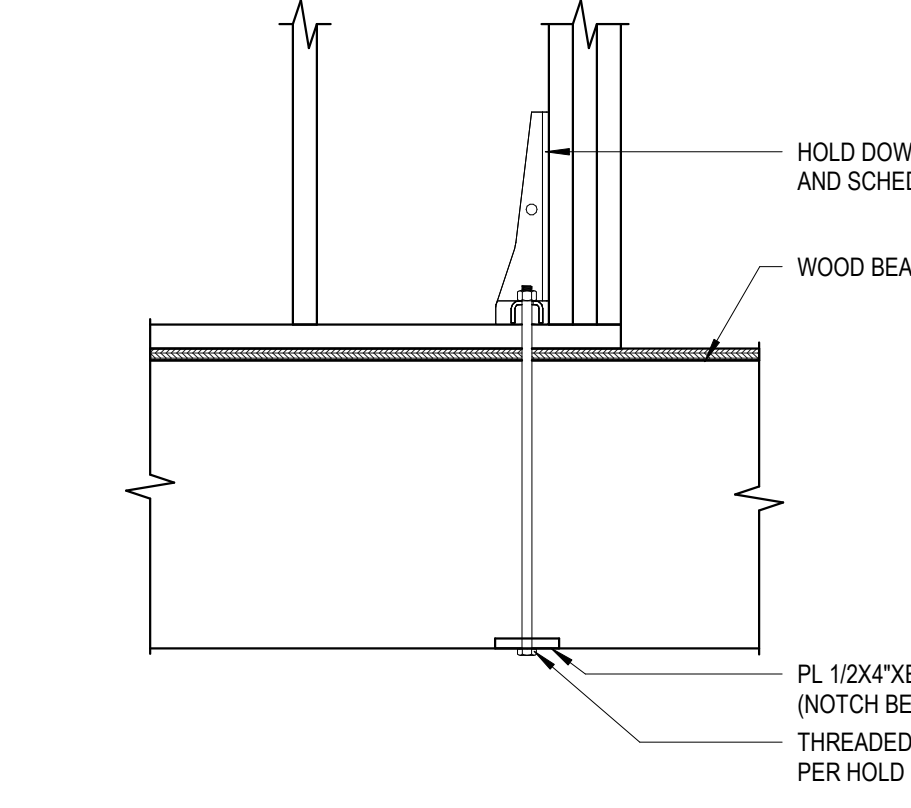
**NOTES:**

- PROVIDE APPLICABLE HOT FASTENER ACCORDING TO NUMBER OF TRUSS PILES AND STAGGER HDU-5 HOLD DOWNS TO AVOID SCREW INTERFERENCE ON EACH SIDE OF BUNDLED STUD POST.
- WHERE TWO FASTENERS ARE CALLED FOR, INSTALL ONE ON EACH SIDE OF WALL TOP PLATES.
- BOLTS CONNECT THE ABOVE PLATES TO THE BELOW PLATES. USE SPECIFIED BOLT TO CONNECT FLR-FLR TIES.
- ALL CONNECTORS LISTED ARE SIMPSON STRONG-TIE. STRUCTURAL CONNECTORS WITH EQUAL OR GREATER LOAD CAPACITIES MAY BE USED AT CONTRACTOR'S OPTION. ALTERNATE CONNECTORS MUST BE SUBMITTED TO COR FOR APPROVAL.
- SCREW & NAIL SIZE AND NUMBER SHALL BE IN ACCORDANCE WITH MANUFACTURER'S CATALOG.
- ROOF TRUSS CLIPS SHALL BE SELECTED TO PROVIDE THE UPLIFT RESISTANCE SHOWN ON THE ROOF TRUSS SHOP DRAWINGS AND CALCULATIONS.

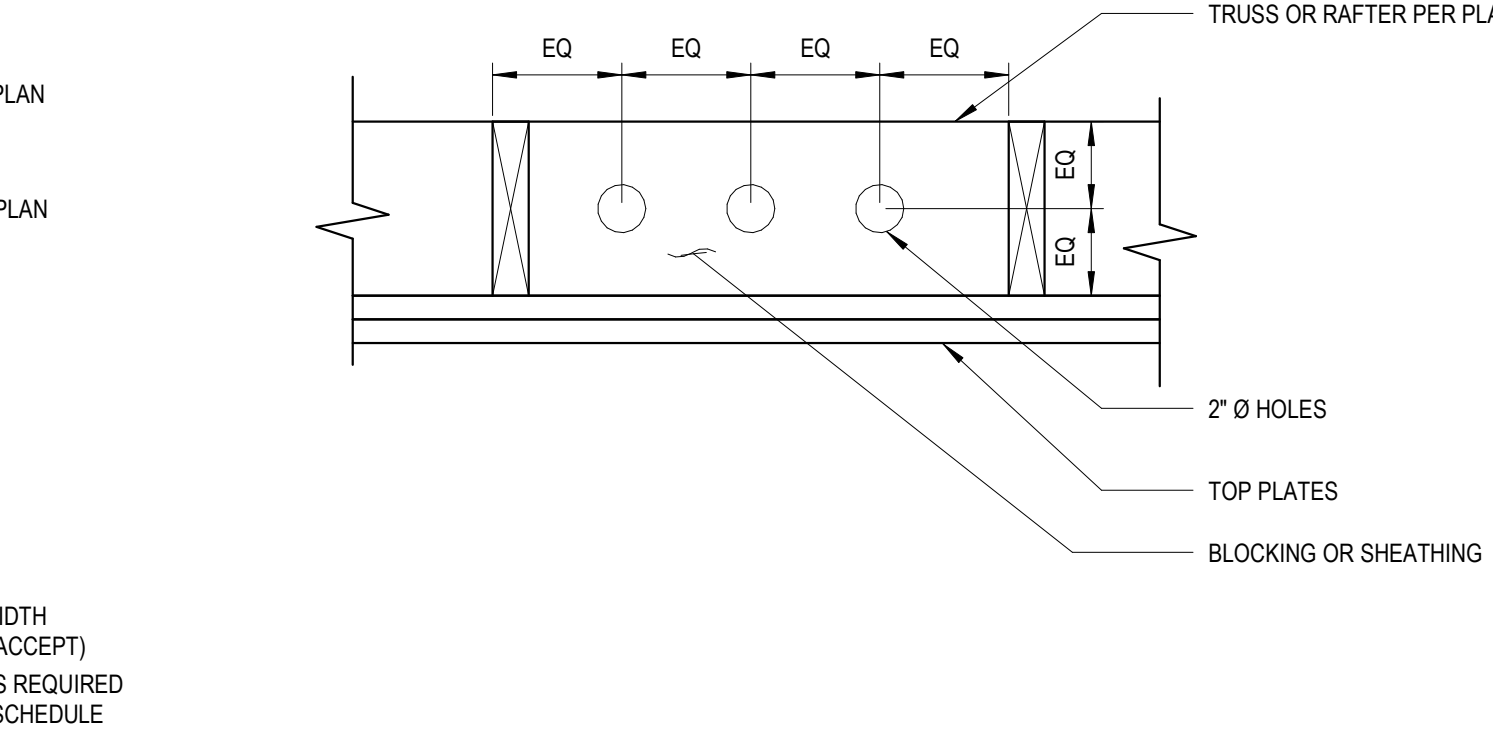
**6 ROOF TRUSS FASTENER SCHEDULE**  
3/4" = 1'-0"



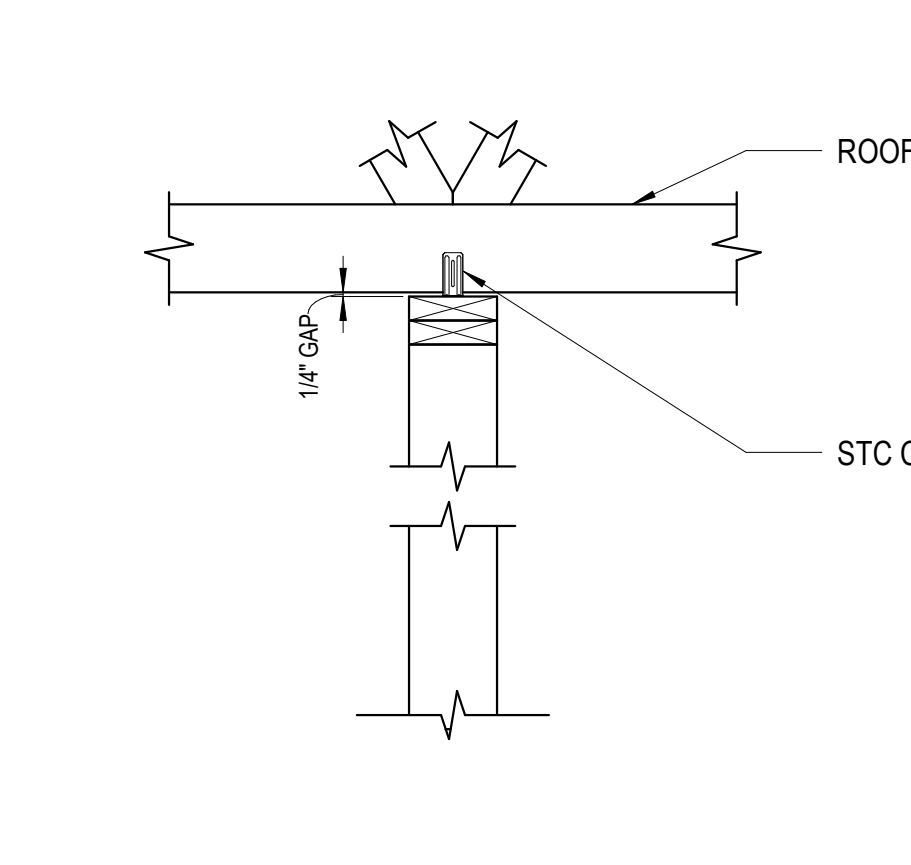
**16 GABLE BRACING DETAIL**  
3/4" = 1'-0"



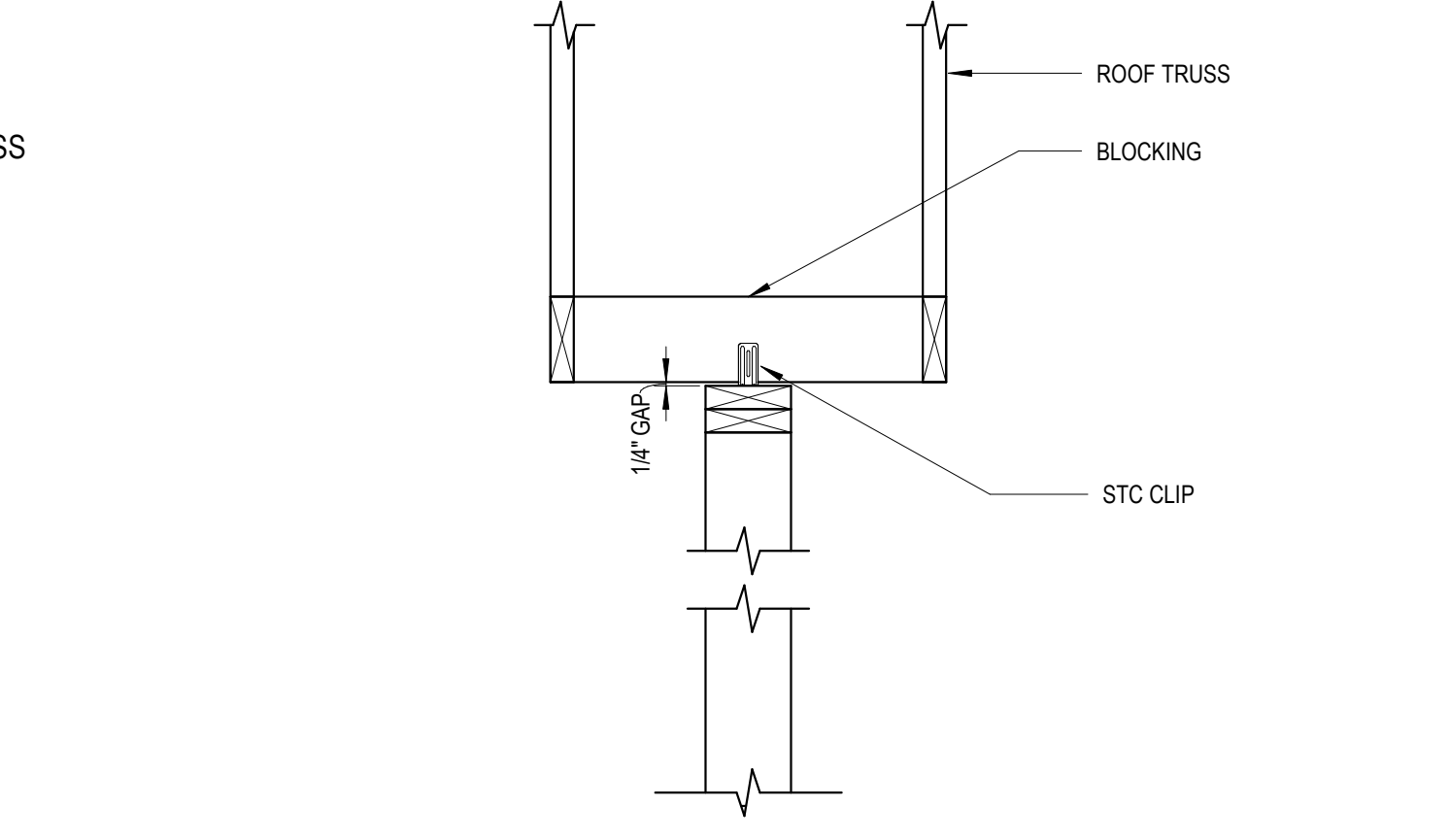
**12 HOLD DOWN ANCHORAGE TO WOOD BEAM**  
1" = 1'-0"



**13 TYPICAL VENTED BLOCKING DETAIL**  
1 1/2" = 1'-0"

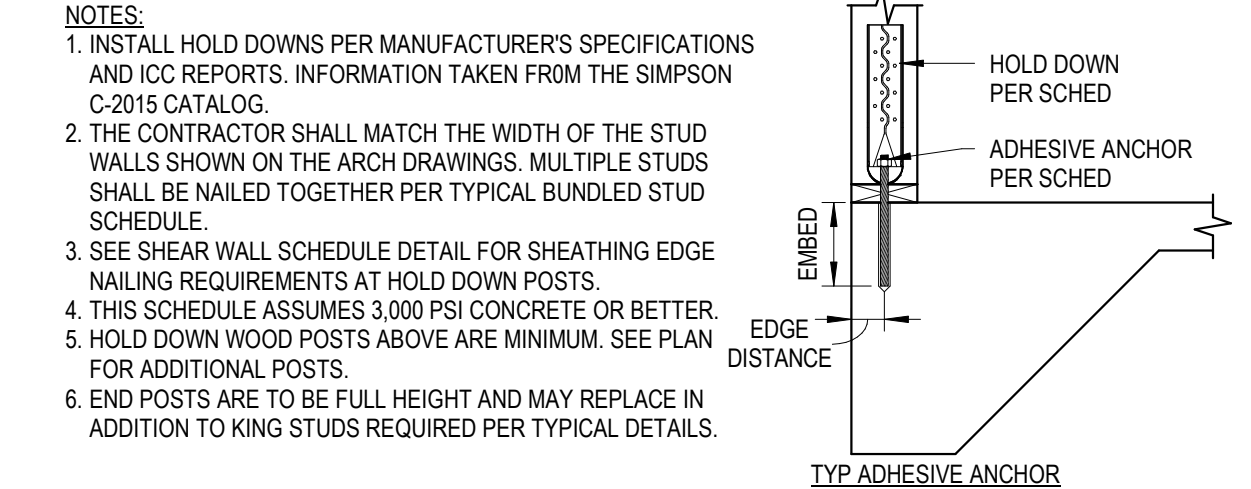


**17 NON-BEARING WALL PERP TO TRUSS**  
1" = 1'-0"

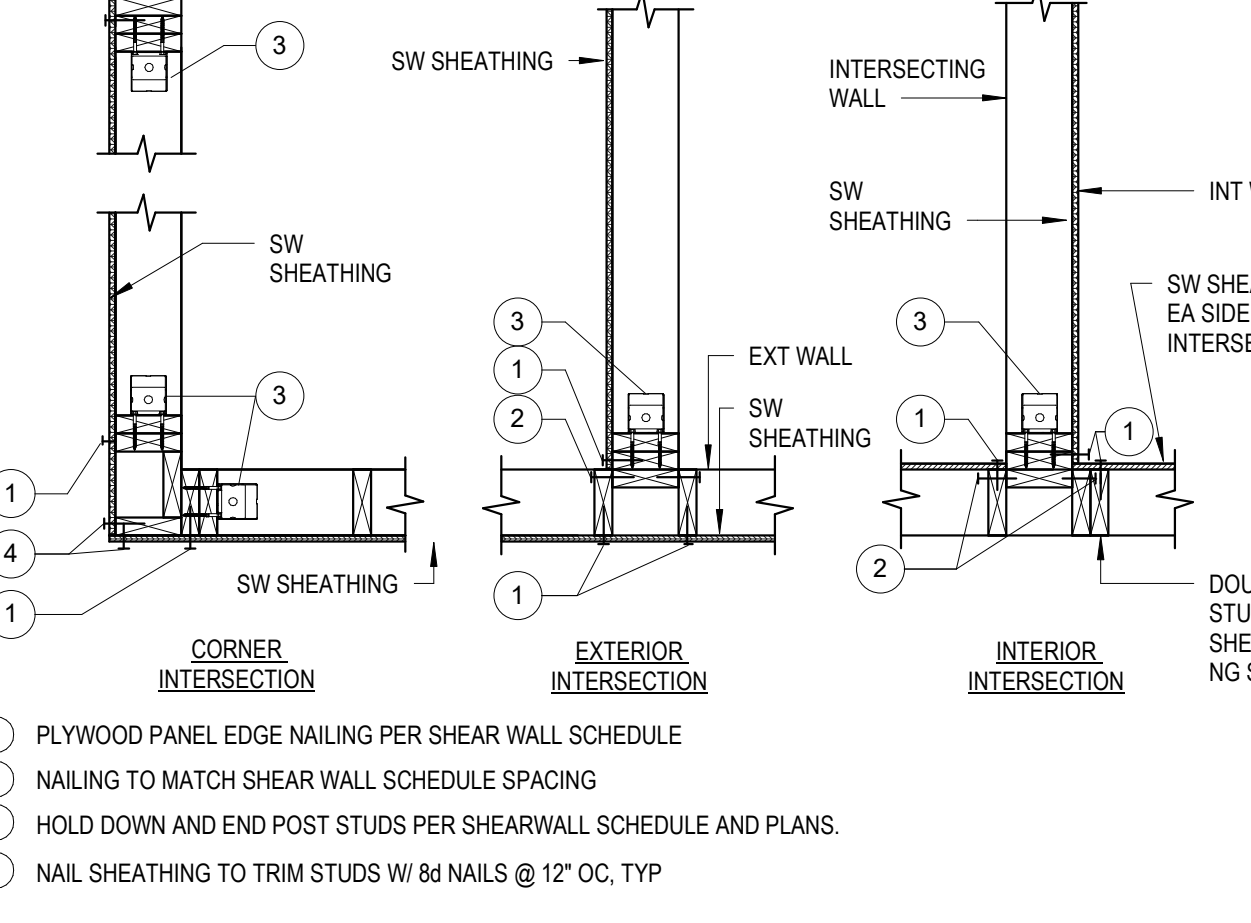


**18 NON-BEARING WALL PARALLEL TO TRUSS**  
1" = 1'-0"

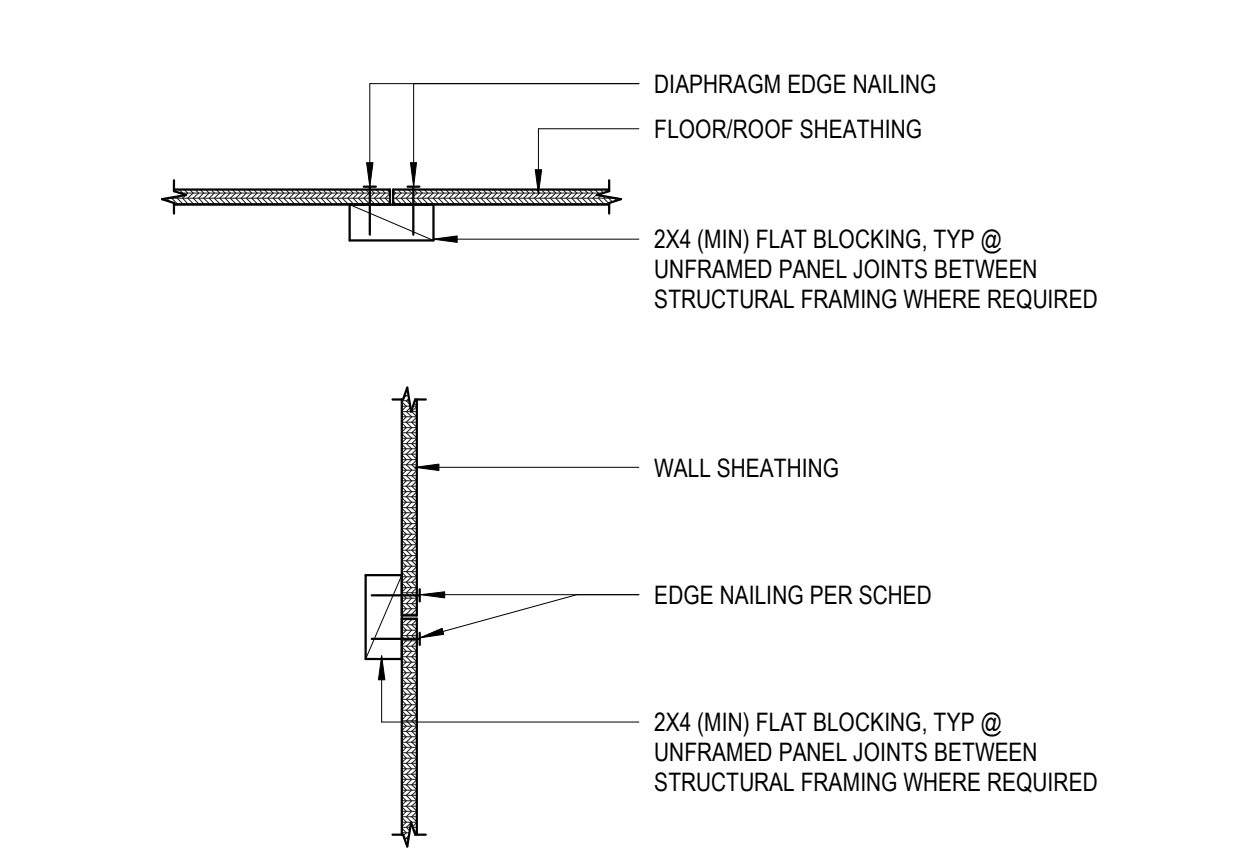
HOLD DOWN SCHEDULE, ANCHOR BOLT TYPES AND INSTALLATION CRITERIA						
HOLD DOWN MARK	WOOD POST AND CONNECTION	HOLD DOWN CAPACITY	ANCHOR SIZE	ADHESIVE ANCHOR TO FND		
HOLD DOWN TYPE	HOLD DOWN WOOD POST (S)	WOOD FASTENERS	DESIGN FORCE	DIAMETER (IN)	EMBED (IN)	EDGE DISTANCE (IN)
HDU2-SDS2.5	(2) 2x	6-SDS 1/4x2.5	2,215	5/8	8	2-3/4
HDU4-SDS2.5	(2) 2x	10-SDS 1/4x2.5	3,285	5/8	12	2-3/4



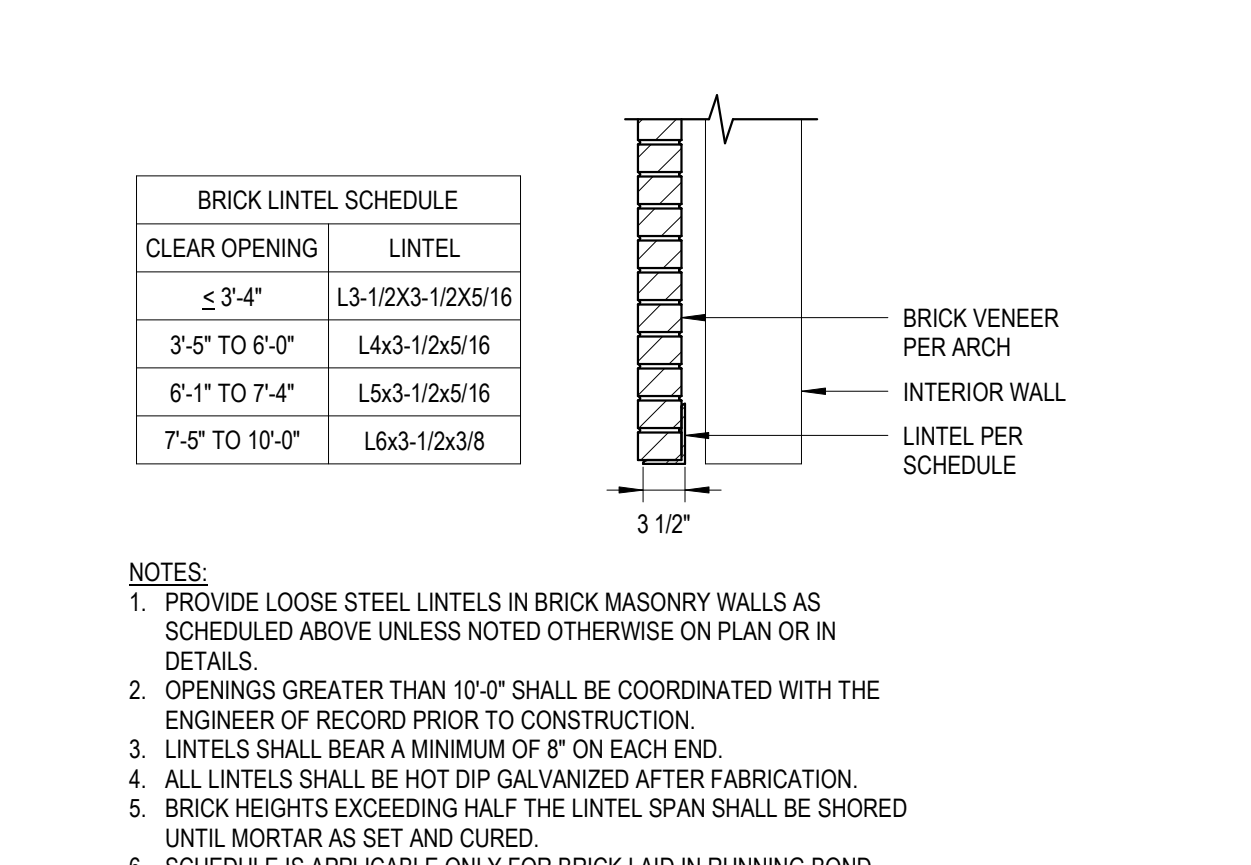
**4 HOLD DOWN SCHEDULE**  
3/4" = 1'-0"



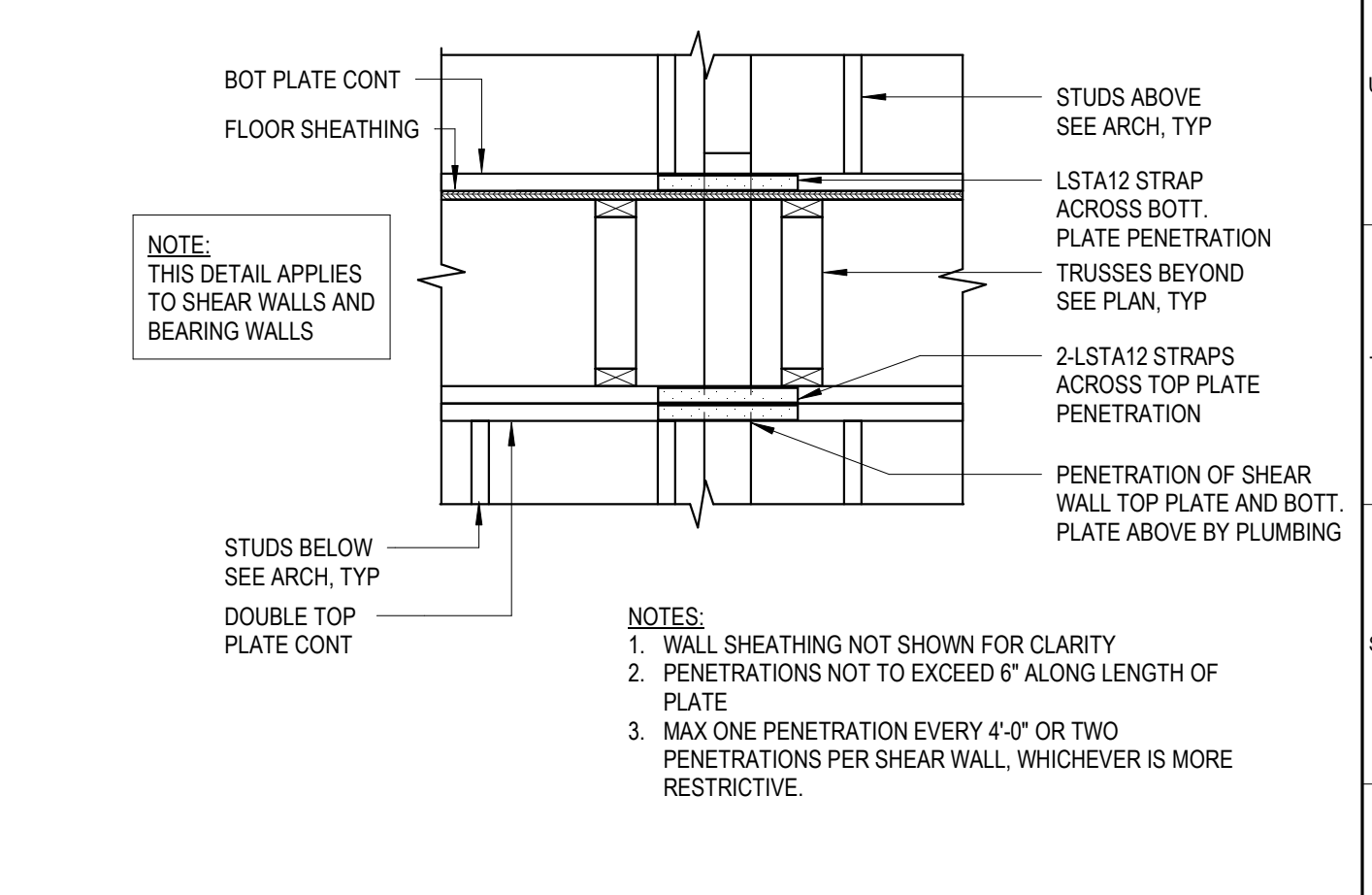
**9 TYPICAL WALL INTERSECTION**  
3/4" = 1'-0"



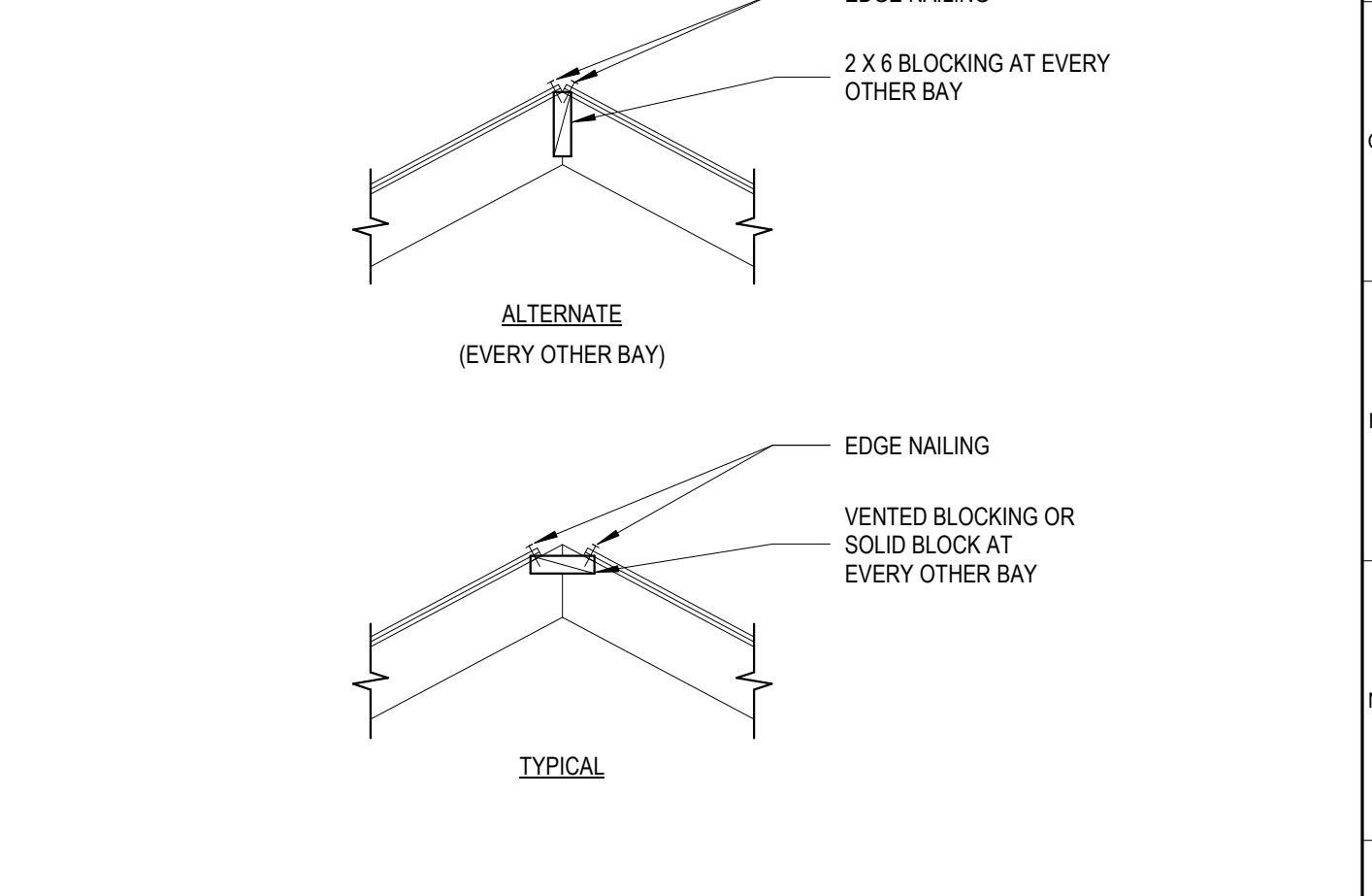
**14 TYPICAL FLAT BLOCKING DETAIL**  
1 1/2" = 1'-0"



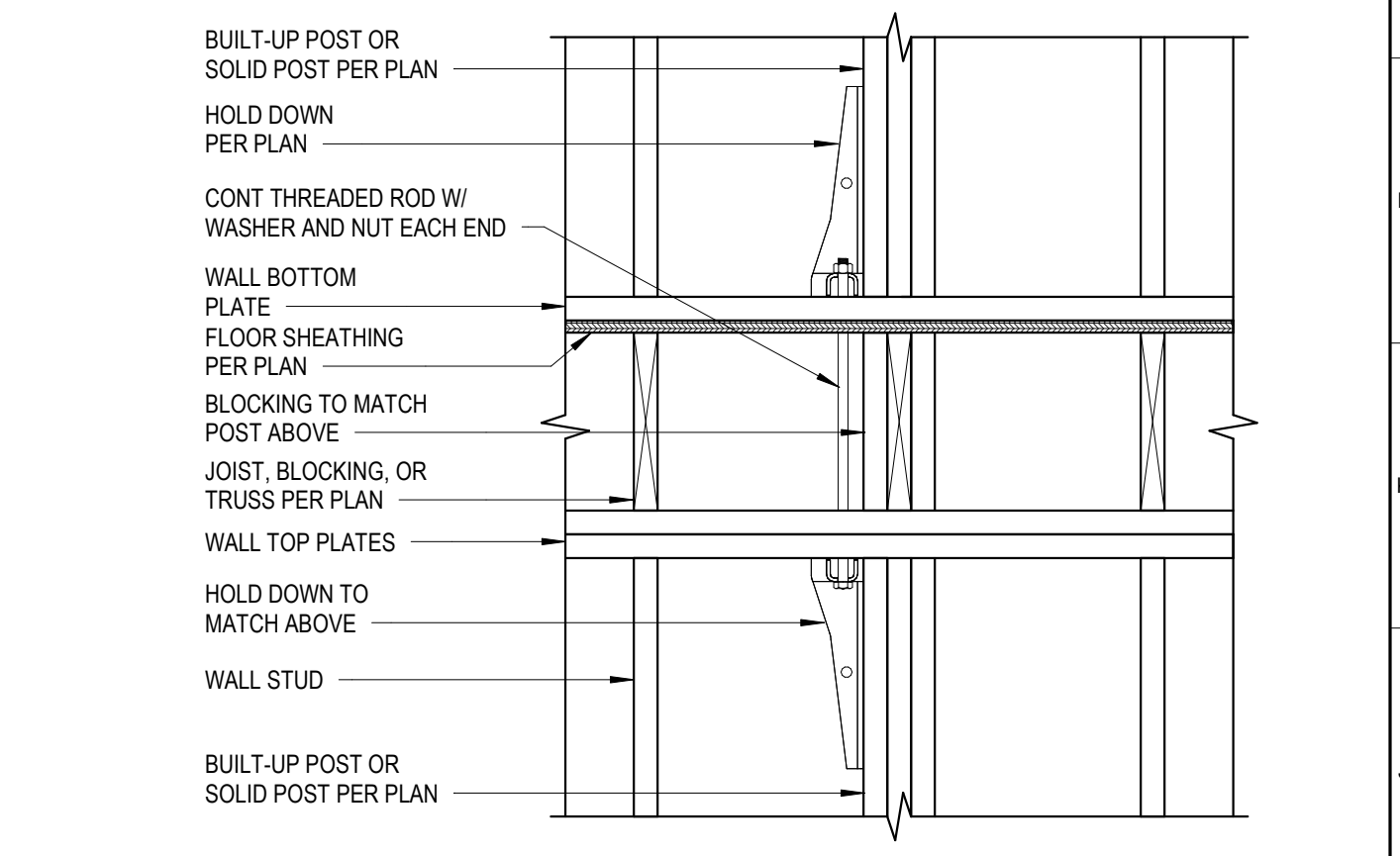
**15 TYPICAL UPPER LEVEL HOLD DOWN**  
1" = 1'-0"



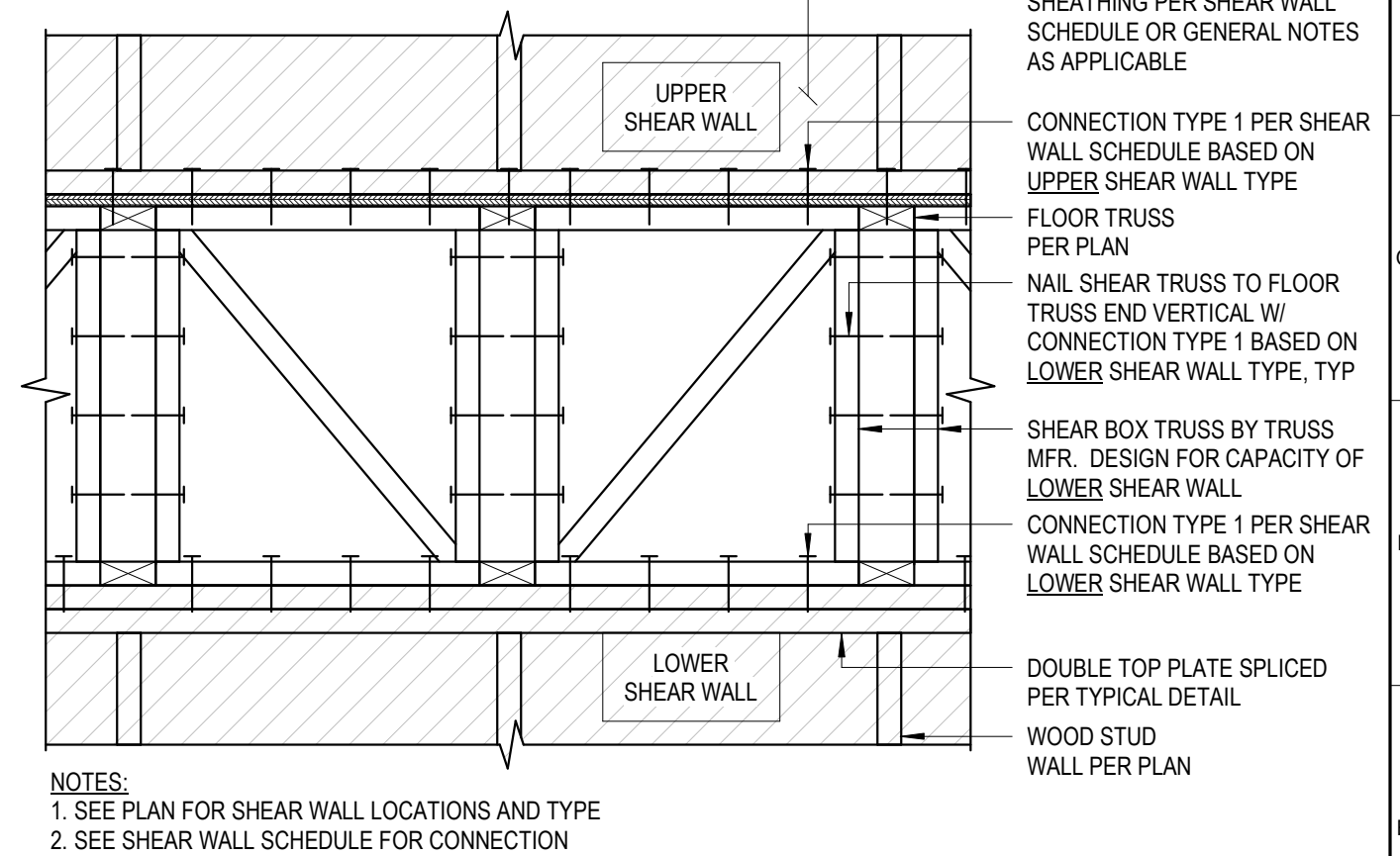
**5 TYPICAL WALL PLATE PENETRATION**  
3/4" = 1'-0"



**10 TYPICAL RIDGE VENT AT PRE-FAB TRUSS**  
3/4" = 1'-0"



**15 TYPICAL UPPER LEVEL HOLD DOWN**  
1" = 1'-0"



**20 TYP SHEAR BOX TRUSSES @ FLOOR**  
1" = 1'-0"

**MHM**

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Project Information:  
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Consultant:

#	ISSUED BY:	DATE

Issue Date: 05/11/2023

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PM	GRG
PA	G.TAYLOR C. MYERS

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Checked By: CGJ

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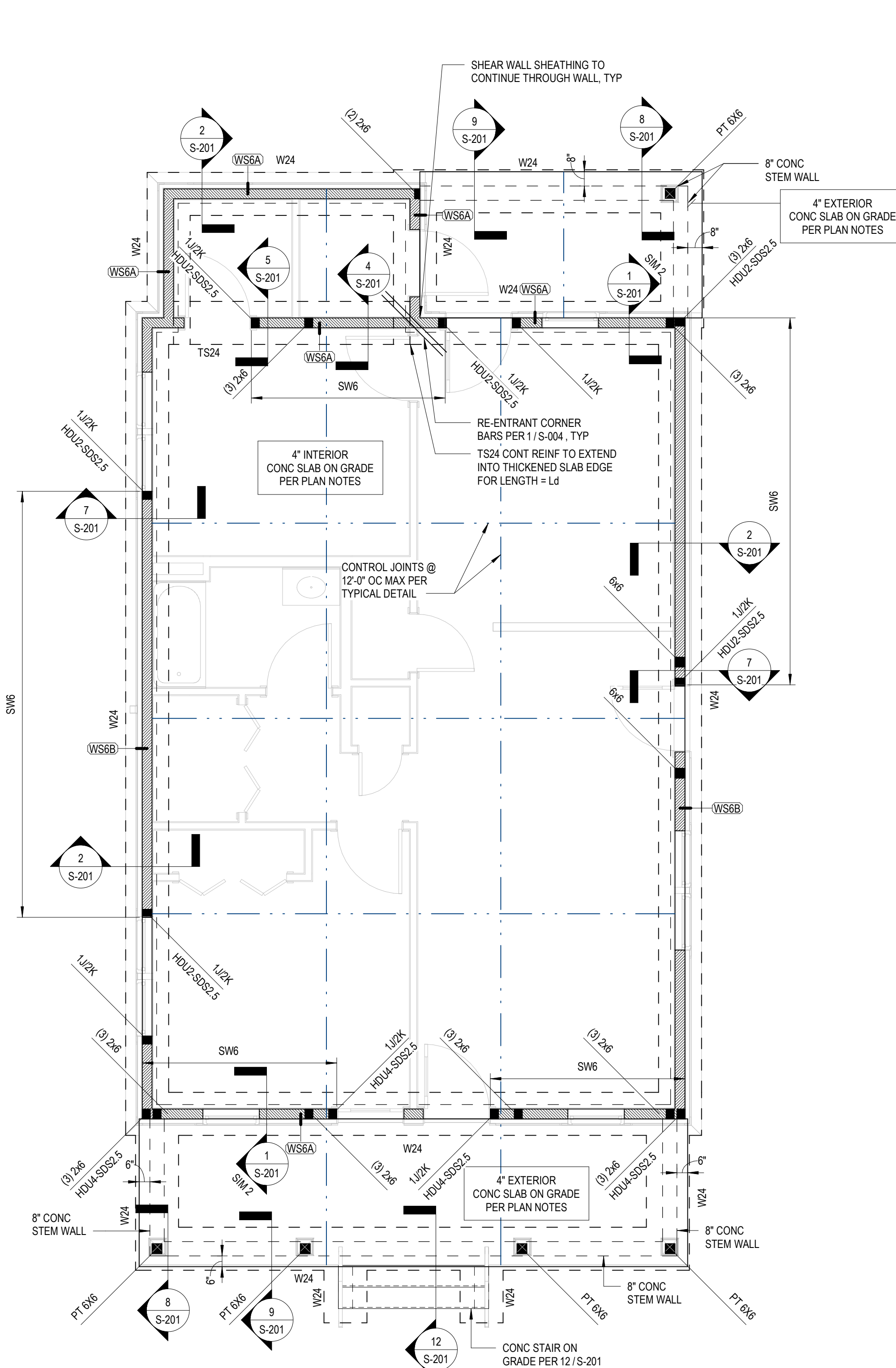
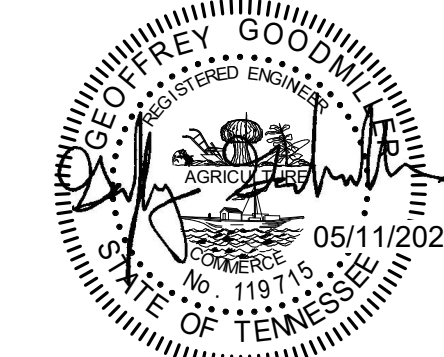
**S-006**

TYPICAL WOOD DETAILS

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WALL FOOTING SCHEDULE			
MARK	WIDTH	DEPTH	REINFORCEMENT
TS18	1'-6"	1'-0"	(3) #5 CONT W #5 X 1'-0" TRANS @ 1'-6" OC
TS24	2'-0"	1'-4"	(3) #5 CONT W #5 X 1'-6" TRANS @ 1'-6" OC
W24	2'-0"	1'-0"	(3) #5 CONT W #5 X 1'-6" TRANS @ 1'-6" OC

2.1.B - FOUNDATION PLAN

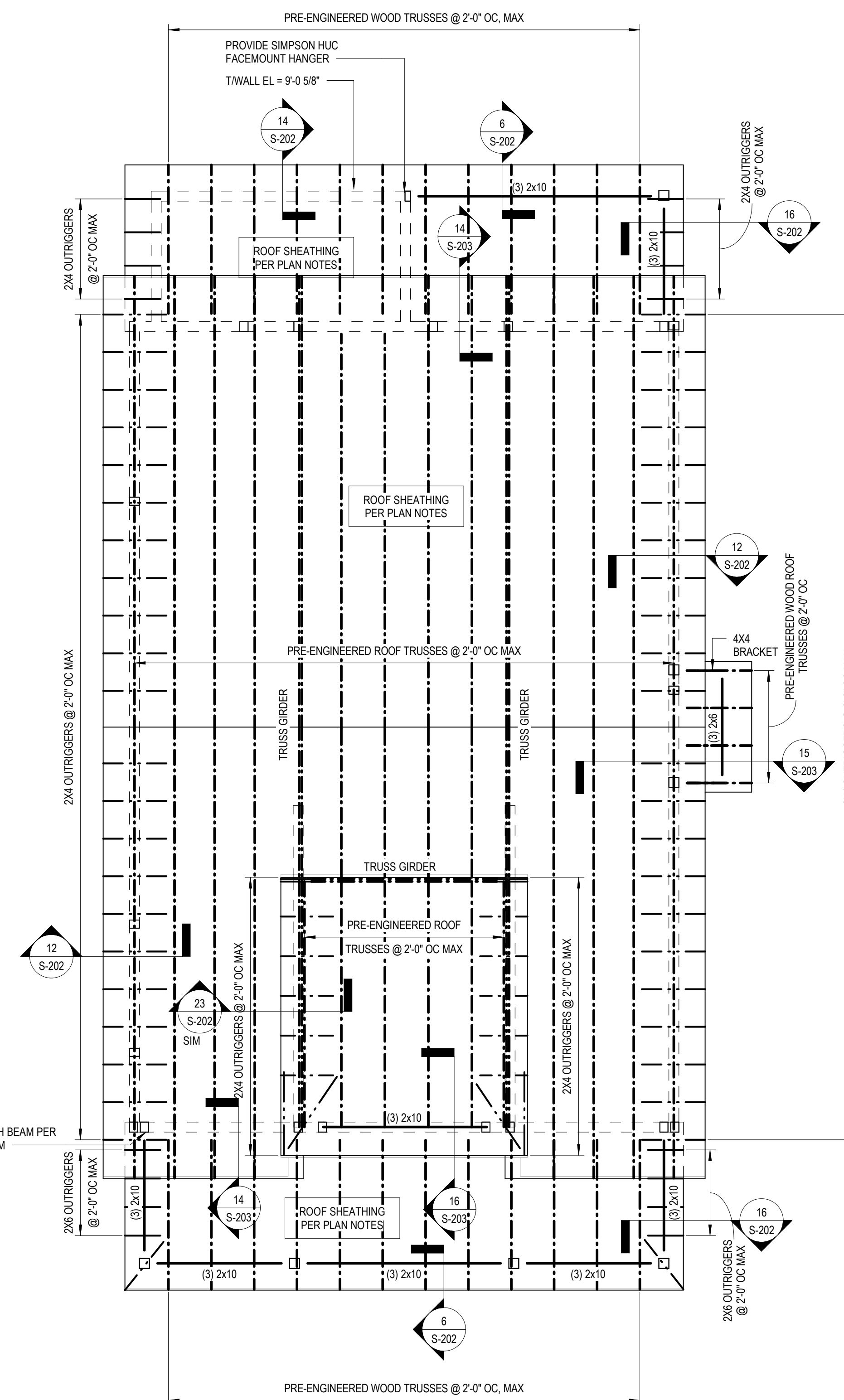
1/4" = 1'-0"

FOUNDATION PLAN NOTES

- FOUNDATION PLAN NOTES:**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0". UNO. TOP OF SLAB ON GRADE IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
  - TI EXTERIOR FOOTING ELEVATION = 2'-0". TYP. UNO.
  - SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF #5 X 1'-6" TRANS @ 1'-6" OC. SLAB ON GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
  - EXTERIOR SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF #5 X 1'-6" TRANS @ 1'-6" OC. SLAB ON GRADE SHALL BE PLACED OVER 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
  - INDICATES TOP OF FOOTING ELEVATION AT NON-TYPICAL LOCATIONS.
  - W24 INDICATES WALL OR CONTINUOUS FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
  - TS24 & TS24 INDICATE THICKENED SLAB AREAS TO BE POURED MONOLITHICALLY WITH SLAB ON GRADE. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
  - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
  - FOR SIDEWALKS, PAVING, AND SITE DETAILS AT THE BUILDING EXTERIOR, SEE ARCHITECTURAL AND CIVIL DRAWINGS.

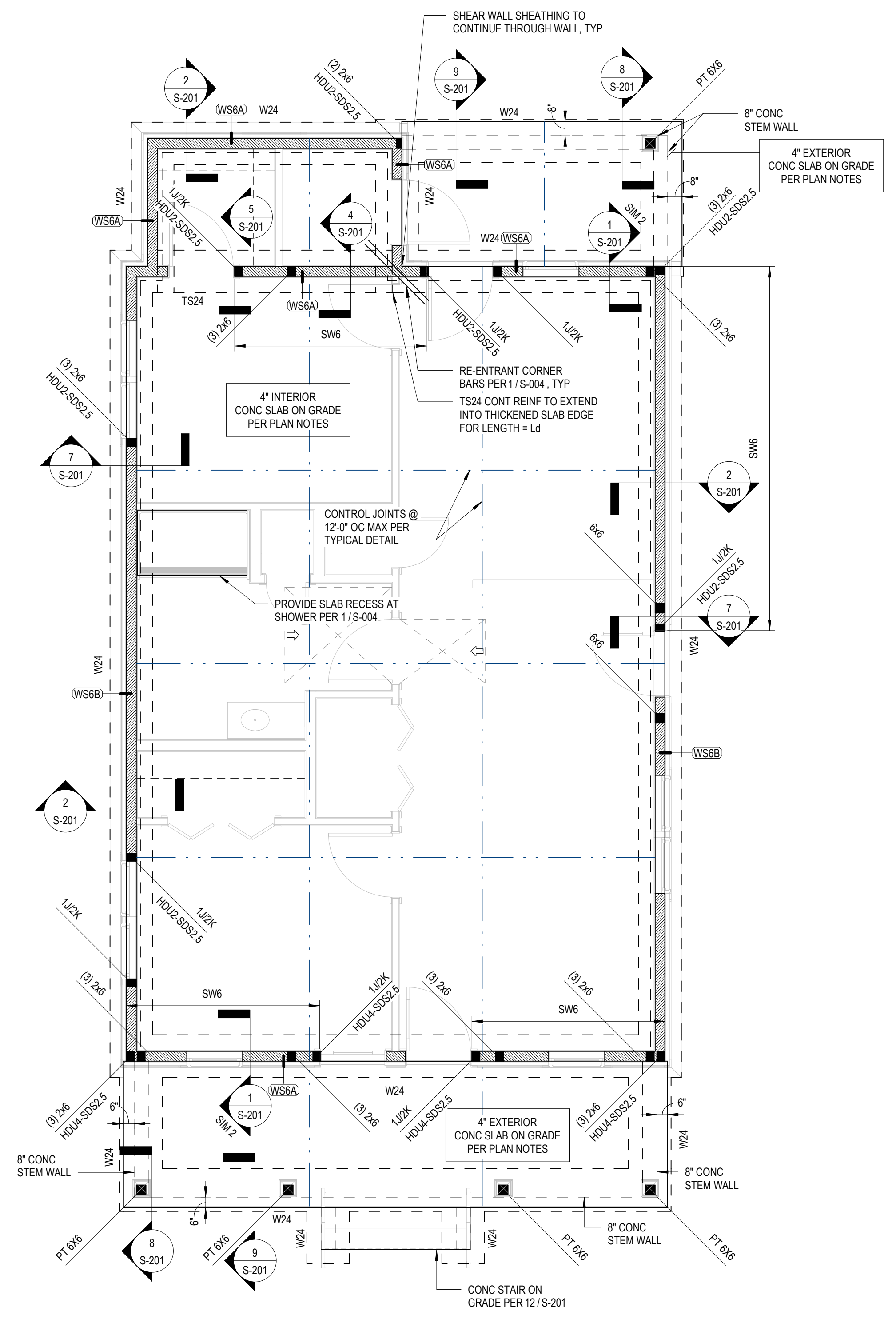
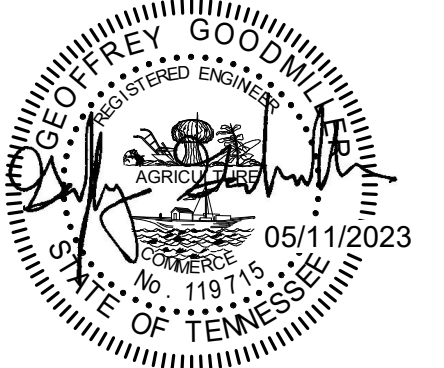
2.1.B - ROOF FRAMING PLAN

1/4" = 1'-0"



- ROOF FRAMING PLAN NOTES:**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0". UNO. TOP OF SLAB ON GRADE BELOW IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
  - ROOF FRAMING SHALL BE PRE-ENGINEERED WOOD ROOF TRUSSES AT 2'-0" OC MAX UNO. ALL TRUSSES SHALL BE ORIENTED IN THE DIRECTION SHOWN. ROOF TRUSS GIRDERS MAY BE ADJUSTED +/- 6". UNLESS THE ADJUSTMENT LOCATES THE TRUSS GIRDER OVER A WINDOW HEADER, TRUSS LAYOUT SHALL NOT BE SIGNIFICANTLY ALTERED FROM THE CONSTRUCTION DOCUMENTS. IF THERE IS A CONFLICT, OR THE LAYOUT AS SHOWN IN THE CONSTRUCTION DOCUMENTS CANNOT PHYSICALLY BE CONSTRUCTED, CONTACT STRUCTURAL ENGINEER PRIOR TO ISSUING SHOP DRAWINGS.
  - WOOD ROOF SHEATHING SHALL BE 19/32" UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAIL FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
  - WINDOW AND DOOR HEADERS TO BE (3) 2X8 MIN. TYP UNO.
  - ROOF TRUSSES SHALL BEAR ONLY ON EXTERIOR WALLS.
  - ALL TRUSS GIRDERS SHALL BEAR DIRECTLY OVER (3) 2X6 IN THE WALL BELOW.
  - TRUSS BEARING ELEVATION = 9'-0 5/8". TYP. UNO.

ROOF FRAMING PLAN NOTES

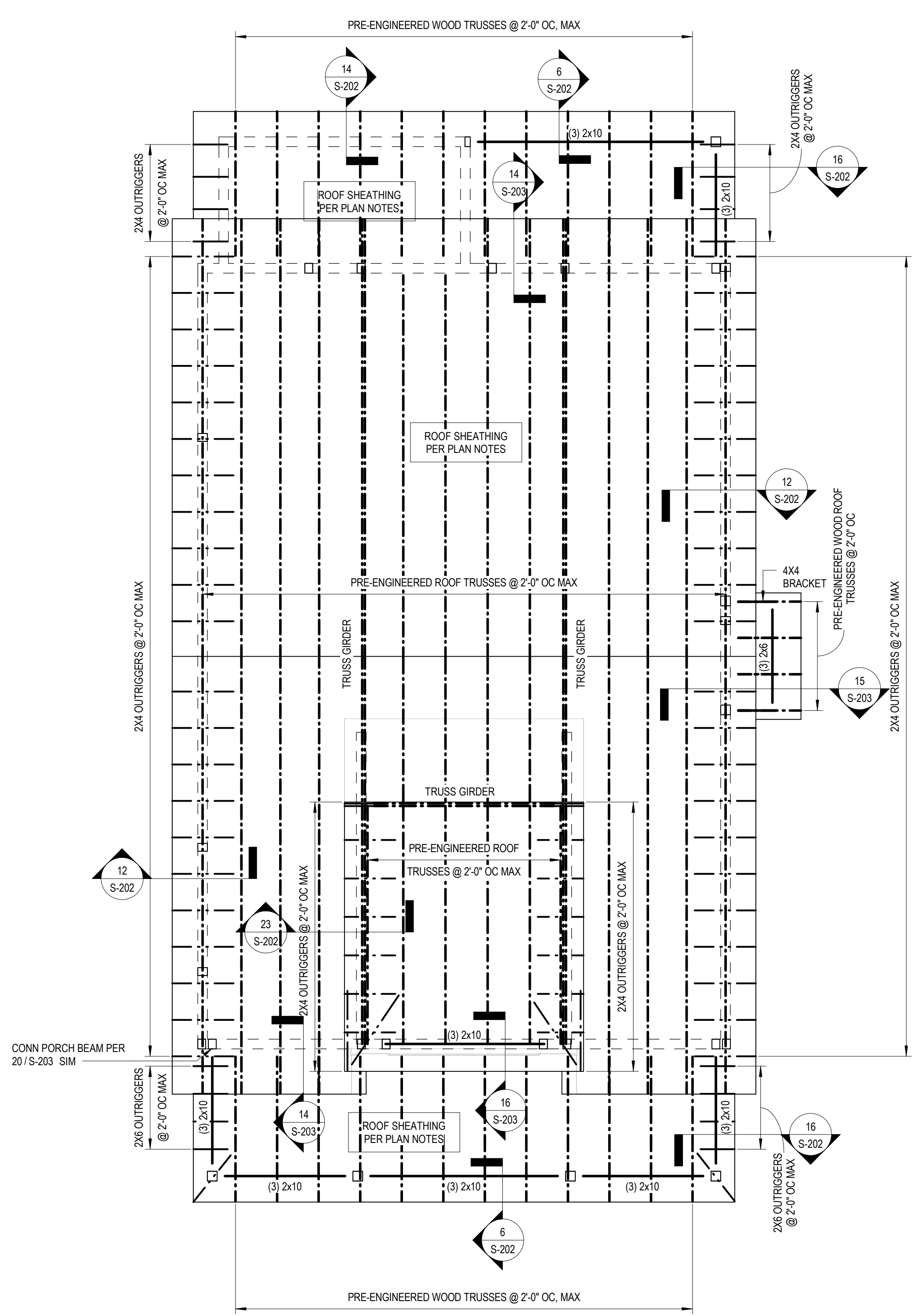


MARK	WIDTH	DEPTH	REINFORCEMENT
TS18	1'-6"	1'-0"	(3)-#5 CONT W #5 X 1'-0" TRANS @ 1'-6" OC
TS24	2'-0"	1'-4"	(3)-#5 CONT W #5 X 1'-6" TRANS @ 1'-6" OC
W24	2'-0"	1'-0"	(3)-#5 CONT W #5 X 1'-6" TRANS @ 1'-6" OC

### 2.1.B(U) - FOUNDATION PLAN

### FOUNDATION PLAN NOTES

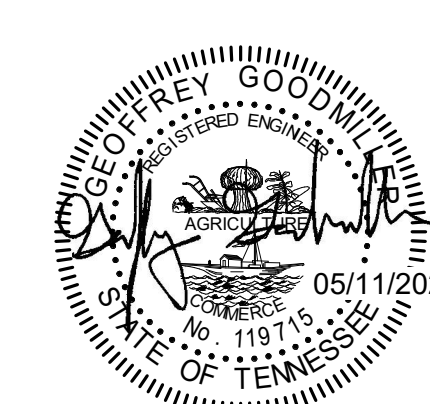
- FOUNDATION PLAN NOTES:**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO. TOP OF SLAB ON GRADE IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
  - EXTERIOR FOOTING ELEVATION = 2'-0" TYP UNO
  - SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF 6X6 W2.1XW2.1. SLAB ON GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
  - EXTERIOR SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF 6X6 W2.1XW2.1. SLAB ON GRADE SHALL BE PLACED OVER 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
  - ( ) INDICATES TOP OF FOOTING ELEVATION AT NON-TYPICAL LOCATIONS.
  - W24 INDICATES WALL OR CONTINUOUS FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
  - TS24 & TS24 INDICATE THICKENED SLAB AREAS TO BE POURED MONOLITHICALLY WITH SLAB ON GRADE. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
  - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
  - FOR SIDEWALKS, PAVING, AND SITE DETAILS AT THE BUILDING EXTERIOR, SEE ARCHITECTURAL AND CIVIL DRAWINGS.



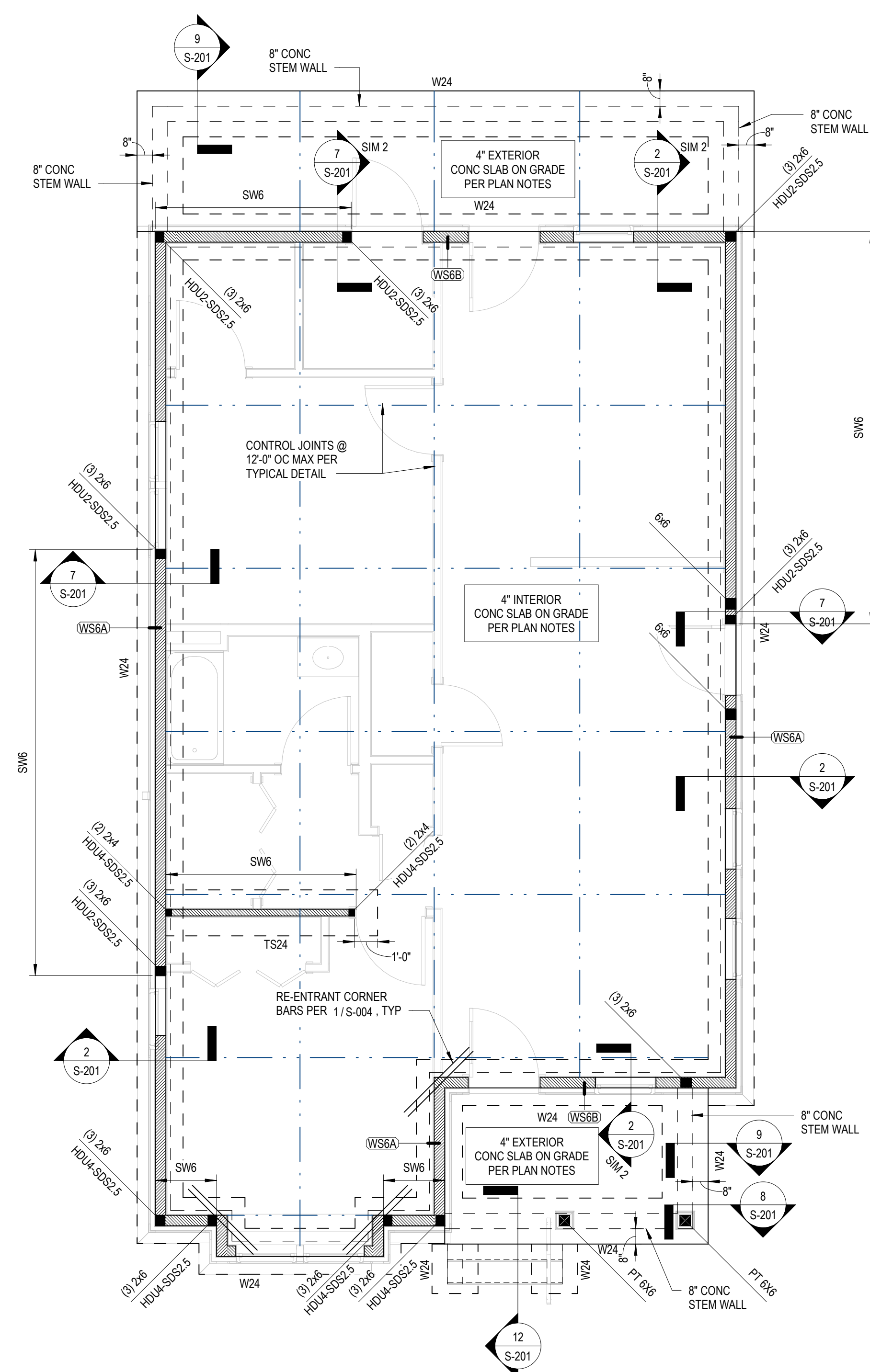
### 2.1.B(U) - ROOF FRAMING PLAN

### ROOF FRAMING PLAN NOTES

- ROOF FRAMING PLAN NOTES:**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO. TOP OF SLAB ON GRADE BELOW IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
  - ROOF FRAMING SHALL BE PRE-ENGINEERED WOOD ROOF TRUSSES AT 2'-0" OC MAX UNO. ALL TRUSSES SHALL BE ORIENTED IN THE DIRECTION SHOWN. ROOF TRUSS GIRDERS MAY BE ADJUSTED +/- 6" UNLESS THE ADJUSTMENT LOCATES THE TRUSS GIRDER OVER A WINDOW HEADER. TRUSS LAYOUT SHALL NOT BE SIGNIFICANTLY ALTERED FROM THE CONSTRUCTION DOCUMENTS. IF THERE IS A CONFLICT, OR THE LAYOUT AS SHOWN IN THE CONSTRUCTION DOCUMENTS CANNOT PHYSICALLY BE CONSTRUCTED, CONTACT STRUCTURAL ENGINEER PRIOR TO ISSUING SHOP DRAWINGS.
  - WOOD ROOF SHEATHING SHALL BE 1/2" UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAIL FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
  - WINDOW AND DOOR HEADERS TO BE (3)-2X8 MIN. TYP UNO.
  - ROOF TRUSSES SHALL BEAR ONLY ON EXTERIOR WALLS.
  - ALL TRUSS GIRDERS SHALL BEAR DIRECTLY OVER (3)-2X8 IN THE WALL BELOW.
  - TRUSS BEARING ELEVATION = 9'-0" 5/8" TYP UNO.



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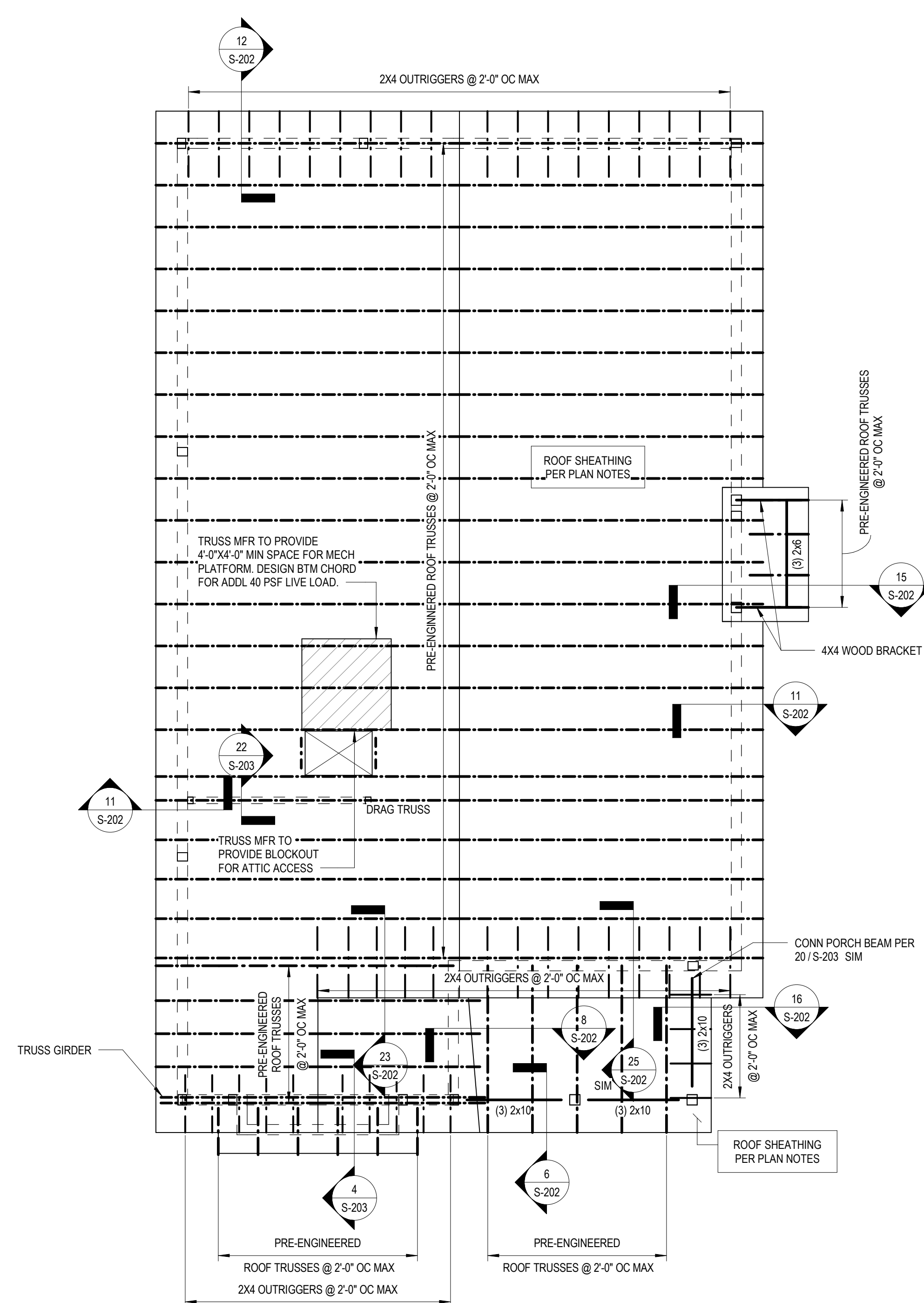


**2.1.C - FOUNDATION PLAN**

**FOUNDATION PLAN NOTES**

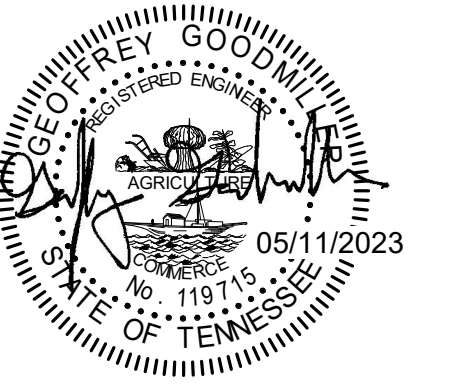
**2.1.C - ROOF FRAMING PLAN**

**ROOF FRAMING PLAN NOTES**

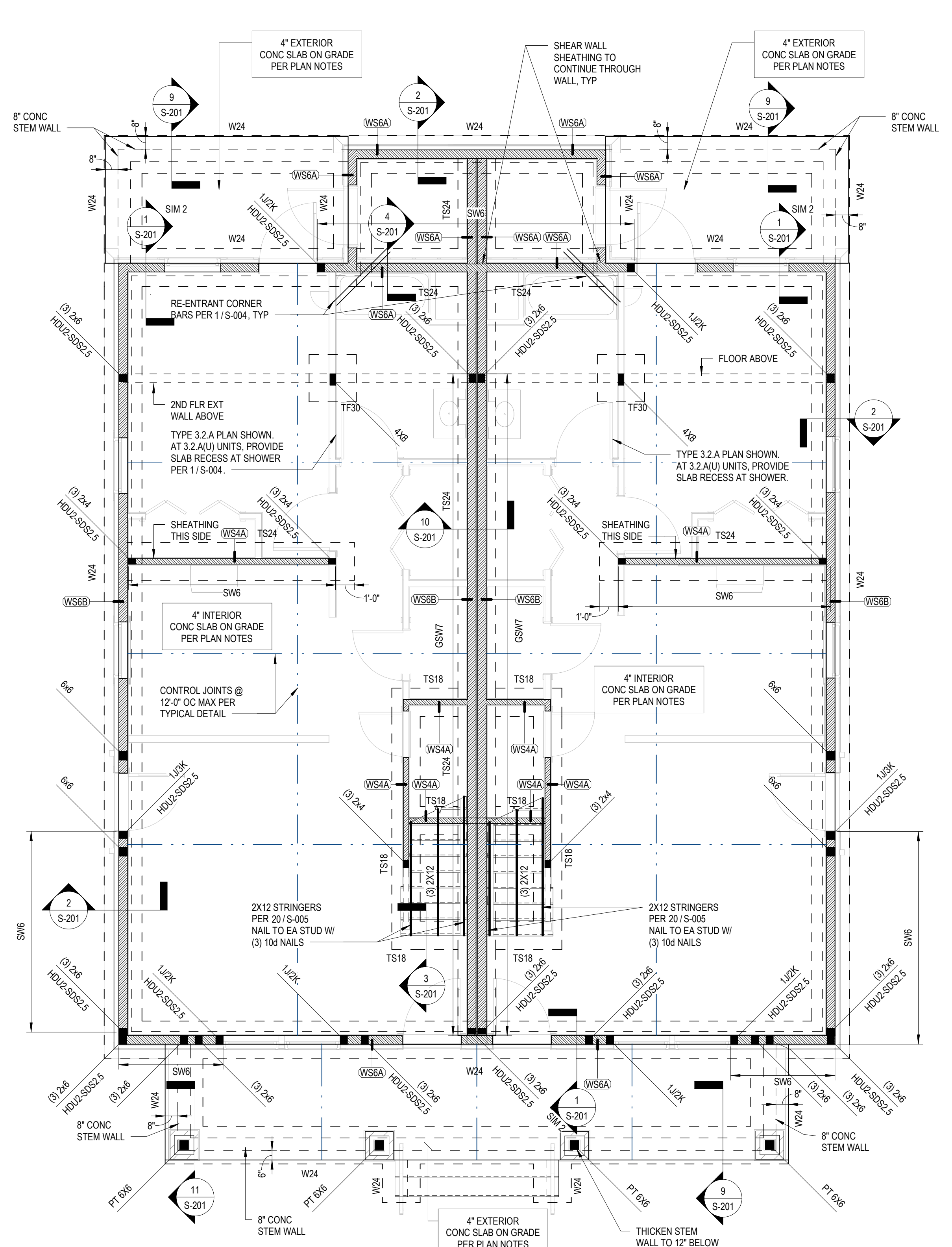


1/4" = 1'-0"

1/4" = 1'-0"



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MARK	LENGTH	WIDTH	DEPTH	REINFORCEMENT
TF30	2'-6"	2'-0"	1'-0"	(4)#5 EW BTM

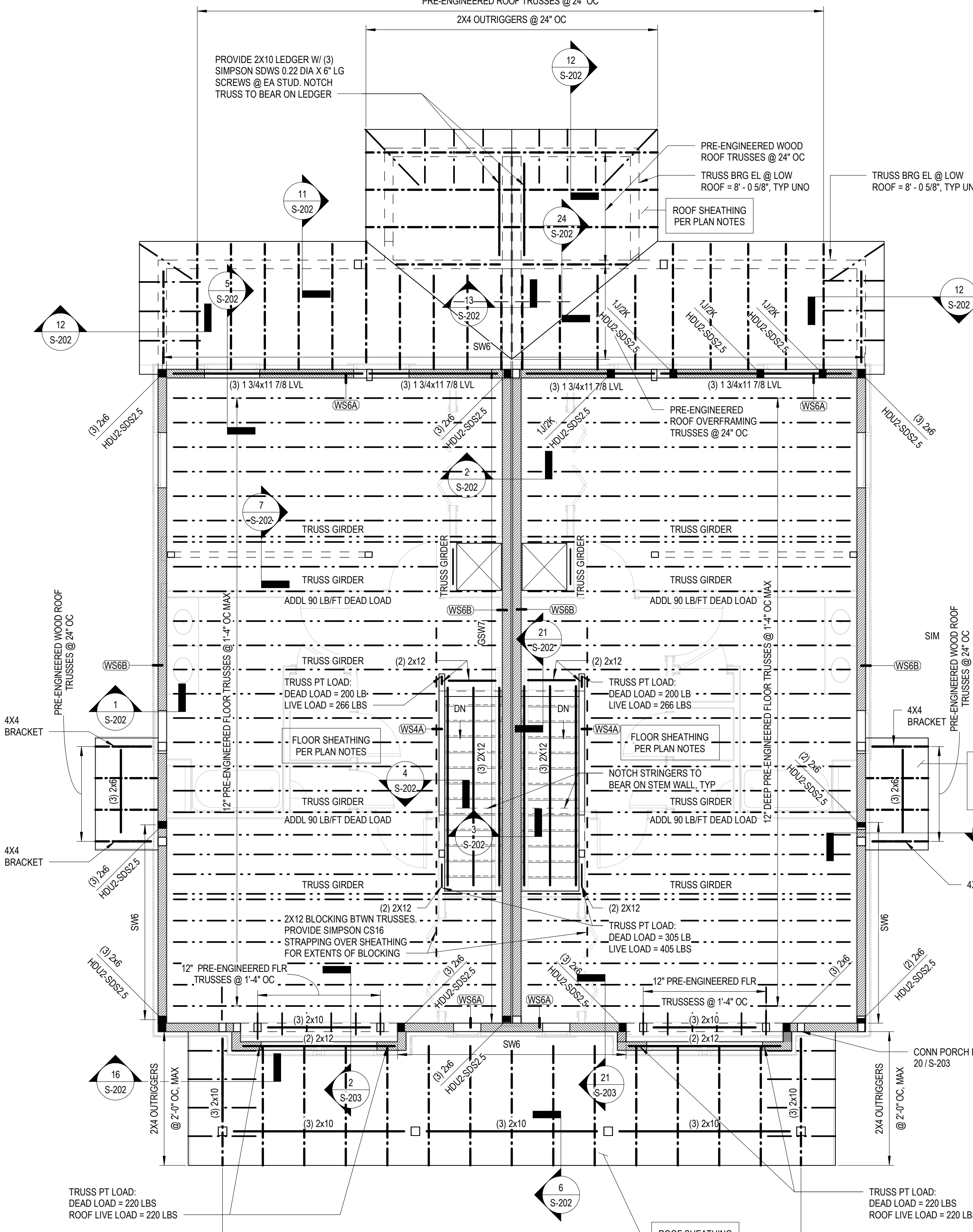
  

MARK	WIDTH	DEPTH	REINFORCEMENT
TS18	1'-6"	1'-0"	(3)#5 CONT W/ #5 X 1'-0" TRANS @ 1'-6" OC
TS24	2'-0"	1'-4"	(3)#5 CONT W/ #5 X 1'-6" TRANS @ 1'-6" OC
W24	2'-0"	1'-0"	(3)#5 CONT W/ #5 X 1'-6" TRANS @ 1'-0" OC

FOUNDATION PLAN NOTES:  
1. ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0". UNO. TOP OF SLAB ON GRADE IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.  
2. T1 EXTERIOR FOOTING ELEVATION = -2'-0". TYP. UNO.  
3. SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF #5 @ 12" X 12". SLAB ON GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.  
4. EXTERIOR SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH WWF #5 @ 12" X 12". SLAB ON GRADE SHALL BE PLACED OVER 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.  
5. I INDICATES TOP OF FOOTING ELEVATION AT NON-TYPICAL LOCATIONS.  
6. W24 INDICATES WALL OR CONTINUOUS FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.  
7. TS24 & TF24 INDICATE THICKENED SLAB AREAS TO BE POURED MONOLITHICALLY WITH SLAB ON GRADE. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.  
8. FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.  
9. FOR SIDEWALKS, PAVING, AND SITE DETAILS AT THE BUILDING EXTERIOR, SEE ARCHITECTURAL AND CIVIL DRAWINGS.

3.2.A - FOUNDATION PLAN

FOUNDATION PLAN NOTES



FLOOR FRAMING PLAN NOTES:  
1. ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0". UNO. TOP OF SLAB ON GRADE BELOW IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.  
2. T1 SHEATHING ELEVATION AT SECOND LEVEL = 10'-11 1/4". TYP. UNO.  
3. TRUSS BEARING ELEVATION AT SECOND LEVEL = 9'-0 5/8". TYP. UNO.  
4. FLOOR FRAMING SHALL BE 12" PRE-ENGINEERED WOOD FLOOR TRUSSES AT 1'-4" OC MAX. UNO. ALL TRUSSES SHALL BE ORIENTED IN THE DIRECTION SHOWN. TRUSS LAYOUT SHALL NOT BE SIGNIFICANTLY ALTERED FROM THE CONSTRUCTION DOCUMENTS. IF THERE IS A CONFLICT, OR THE LAYOUT AS SHOWN IN THE CONSTRUCTION DOCUMENTS CANNOT PHYSICALLY BE CONSTRUCTED, CONTACT STRUCTURAL ENGINEER PRIOR TO ISSUING SHOP DRAWINGS.  
5. WOOD FLOOR SHEATHING SHALL BE 23/32" UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAIL FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.  
6. WINDOW AND DOOR HEADERS TO BE (3)-2X12 MIN. TYP. UNO.  
7. FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.  
8. WOOD ROOF SHEATHING SHALL BE 19/32" UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAIL FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

3.2.A - SECOND FLOOR FRAMING PLAN

FLOOR FRAMING PLAN NOTES

Consultants:

CIVIL ENGINEER:  
**SITE ENGINEERING CONSULTANTS, INC.**

850 MIDDLE TN BLVD.  
MURFREESBORO, TN 37129  
1.615.890.7901

LANDSCAPE ARCHITECT:  
**RAGAN SMITH**

1500 MEDICAL CENTER PKWY., STE 22  
MURFREESBORO, TN 37129  
1.615.546.6050

STRUCTURAL ENGINEER:  
**HAINES STRUCTURAL GROUP**

800 SOUTH GAY ST., STE 1750  
KNOXVILLE, TN 37902  
1.865.329.9900

MECHANICAL/PLUMBING ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

713 SOUTH CENTRAL STREET, STE 101  
KNOXVILLE, TN 37902  
1.865.248.0164

ELECTRICAL ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

713 SOUTH CENTRAL STREET, STE 101  
KNOXVILLE, TN 37902  
1.865.248.0164

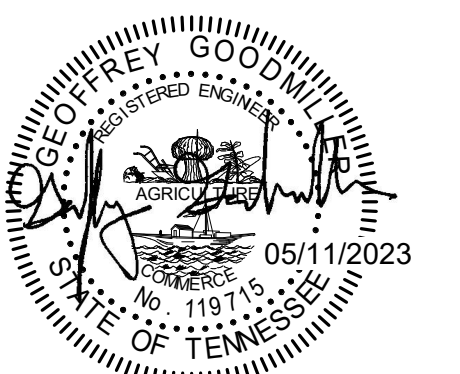
Project Information:

22054

**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130

Seal:



Consultant:



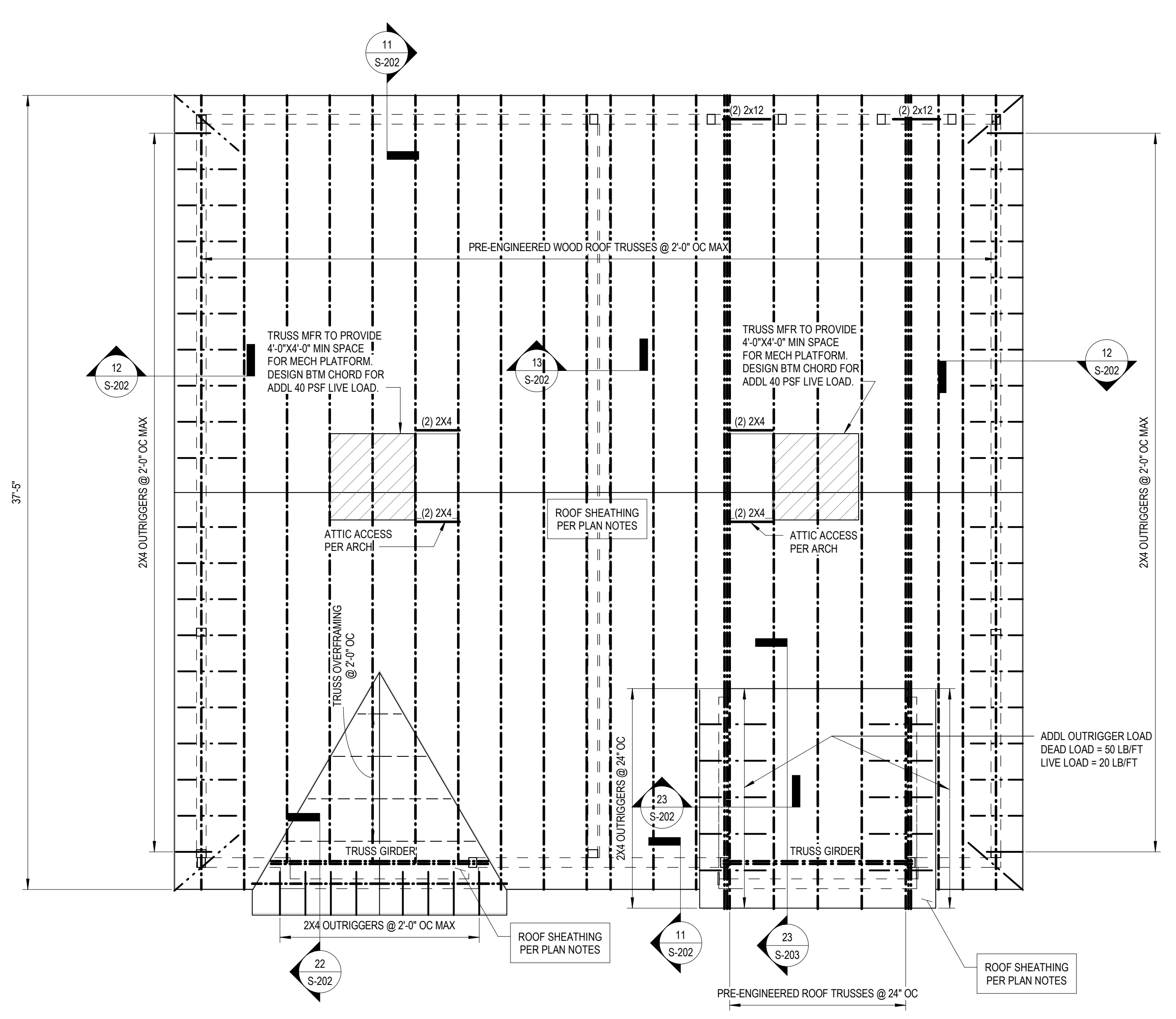
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Issue Date: 05/11/2023  
 PIC: RAH  
 PM: GRG  
 PA: G.TAYLOR C. MYERS  
 Drawn By: CWR  
 Checked By: CGJ

Sheet Information:

**S-142**

3.2A - ROOF FRAMING PLAN

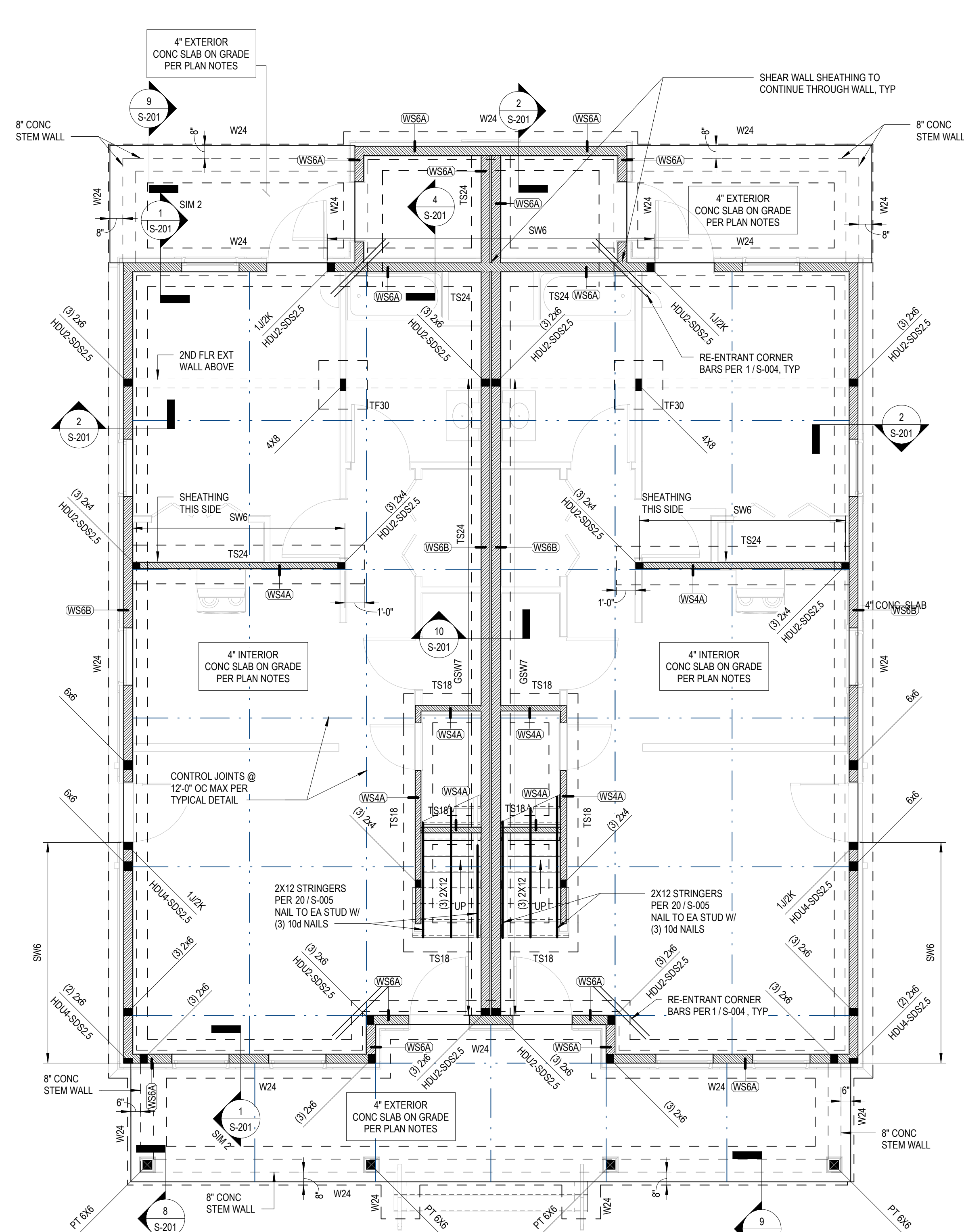
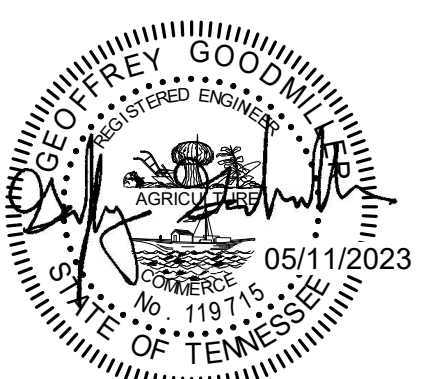


3.2A - ROOF FRAMING PLAN

ROOF FRAMING PLAN NOTES

- ROOF FRAMING PLAN NOTES:**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO. TOP OF SLAB ON GRADE BELOW IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
  - ROOF FRAMING SHALL BE PRE-ENGINEERED WOOD ROOF TRUSSES AT 2'-0" OC MAX UNO. ALL TRUSSES SHALL BE ORIENTED IN THE DIRECTION SHOWN. ROOF TRUSS GIRDERS MAY BE ADJUSTED +/- 6" UNLESS THE ADJUSTMENT LOCATES THE TRUSS GIRDER OVER A WINDOW HEADER. TRUSS LAYOUT SHALL NOT BE SIGNIFICANTLY ALTERED FROM THE CONSTRUCTION DOCUMENTS. IF THERE IS A CONFLICT, OR THE LAYOUT AS SHOWN IN THE CONSTRUCTION DOCUMENTS CANNOT PHYSICALLY BE CONSTRUCTED, CONTACT STRUCTURAL ENGINEER PRIOR TO ISSUING SHOP DRAWINGS.
  - WOOD ROOF SHEATHING SHALL BE 1/2" UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAIL FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
  - WINDOW AND DOOR HEADERS TO BE (3)-2X12 MIN. TYP UNO.
  - ROOF TRUSSES SHALL BEAR ONLY ON EXTERIOR WALLS.
  - ALL TRUSS GIRDERS SHALL BEAR DIRECTLY OVER (3)-2X6 IN THE WALL BELOW.
  - TRUSS BEARING ELEVATION = 18'-1.78" TYP. UNO.

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COLUMN FOOTING SCHEDULE				
MARK	LENGTH	WIDTH	DEPTH	REINFORCEMENT
TF30	2'-6"	2'-0"	1'-0"	(4) #5 EW BTM

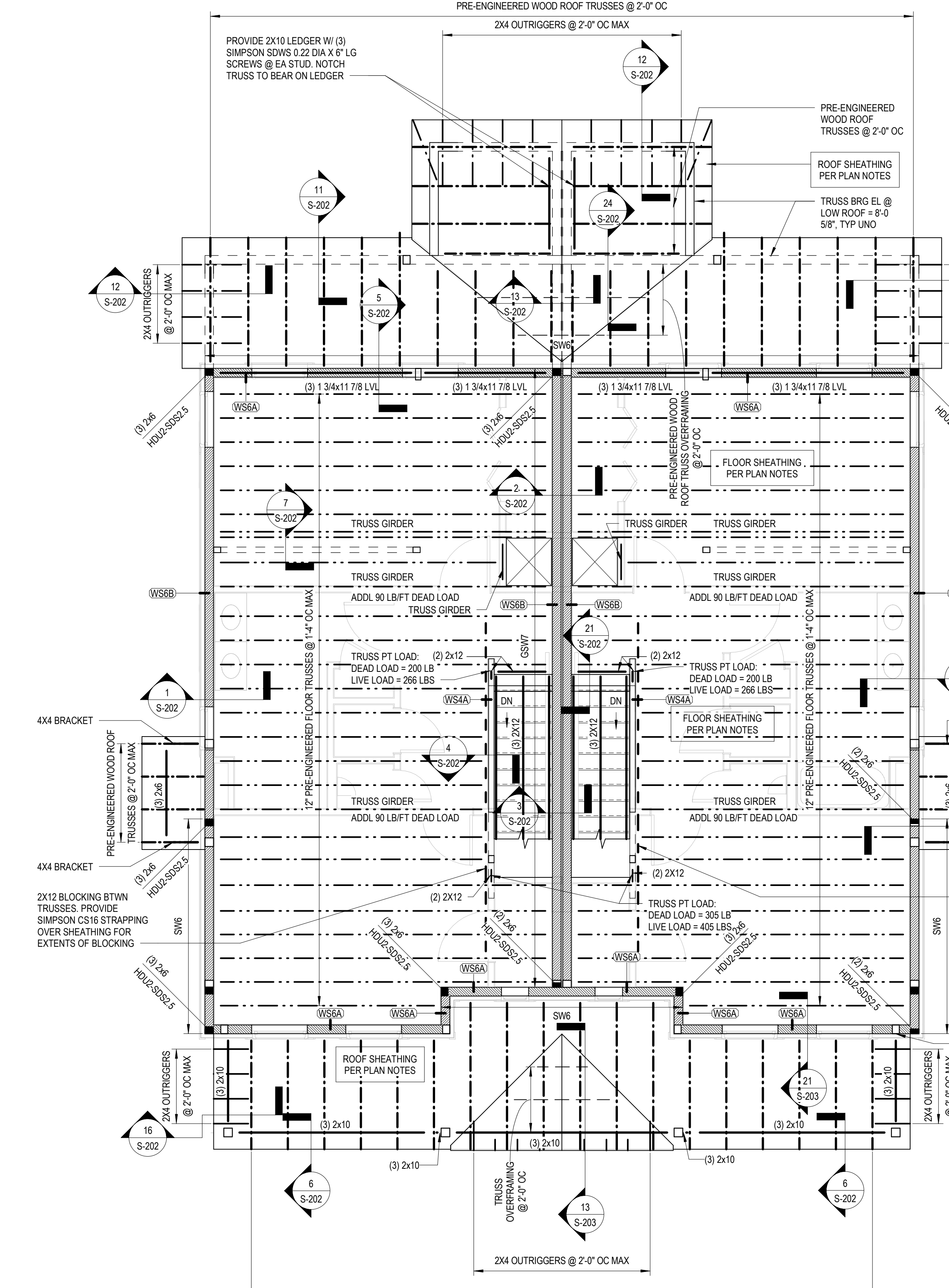
  

WALL FOOTING SCHEDULE				
MARK	WIDTH	DEPTH	REINFORCEMENT	
TS18	1'-6"	1'-0"	(3) #5 CONT W/ #5 X 1'-0" TRANS @ 1'-6" OC	
TS24	2'-0"	1'-4"	(3) #5 CONT W/ #5 X 1'-6" TRANS @ 1'-6" OC	
W24	2'-0"	1'-0"	(3) #5 CONT W/ #5 X 1'-6" TRANS @ 1'-0" OC	

- FOUNDATION PLAN NOTES**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO. TOP OF SLAB ON GRADE IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
  - 1/2" EXTERIOR FOOTING ELEVATION = -2'-0" TYP UNO.
  - SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH HWF 6X6 W2.1XW2.1. SLAB ON GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
  - EXTERIOR SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH HWF 6X6 W2.1XW2.1. SLAB ON GRADE SHALL BE PLACED OVER 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
  - 1/2" INDICATES TOP OF FOOTING ELEVATION AT NON-TYPICAL LOCATIONS.
  - W24 INDICATES WALL OR CONTINUOUS FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
  - TS24 & TF24 INDICATE THICKENED SLAB AREAS TO BE POURED MONOLITHICALLY WITH SLAB ON GRADE. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
  - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
  - FOR SIDEWALKS, PAVING, AND SITE DETAILS AT THE BUILDING EXTERIOR, SEE ARCHITECTURAL AND CIVIL DRAWINGS.

3.2.B - FOUNDATION PLAN

FOUNDATION PLAN NOTES



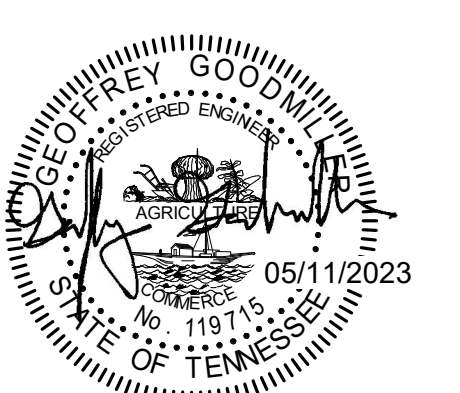
- FLOOR FRAMING PLAN NOTES**
- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO. TOP OF SLAB ON GRADE BELOW IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
  - 1/2" SHEATHING ELEVATION AT SECOND LEVEL = 10'-1 1/4" TYP UNO.
  - TRUSS BEARING ELEVATION AT SECOND LEVEL = 9'-0 1/2" TYP UNO.
  - FLOOR FRAMING SHALL BE 12" PRE-ENGINEERED WOOD FLOOR TRUSSES AT 1'-4" OC MAX UNO. ALL TRUSSES SHALL BE ORIENTED IN THE DIRECTION SHOWN. TRUSS LAYOUT SHALL NOT BE SIGNIFICANTLY ALTERED FROM THE CONSTRUCTION DOCUMENTS. IF THERE IS A CONFLICT, OR THE LAYOUT AS SHOWN IN THE CONSTRUCTION DOCUMENTS CANNOT PHYSICALLY BE CONSTRUCTED, CONTACT STRUCTURAL ENGINEER PRIOR TO ISSUING SHOP DRAWINGS.
  - WOOD FLOOR SHEATHING SHALL BE 23/32" UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAIL FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
  - WINDOW AND DOOR HEADERS TO BE (3) 2X12 MIN. TYP UNO.
  - FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
  - WOOD ROOF SHEATHING SHALL BE 19/32" UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAIL FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

3.2.B - SECOND FLOOR FRAMING PLAN

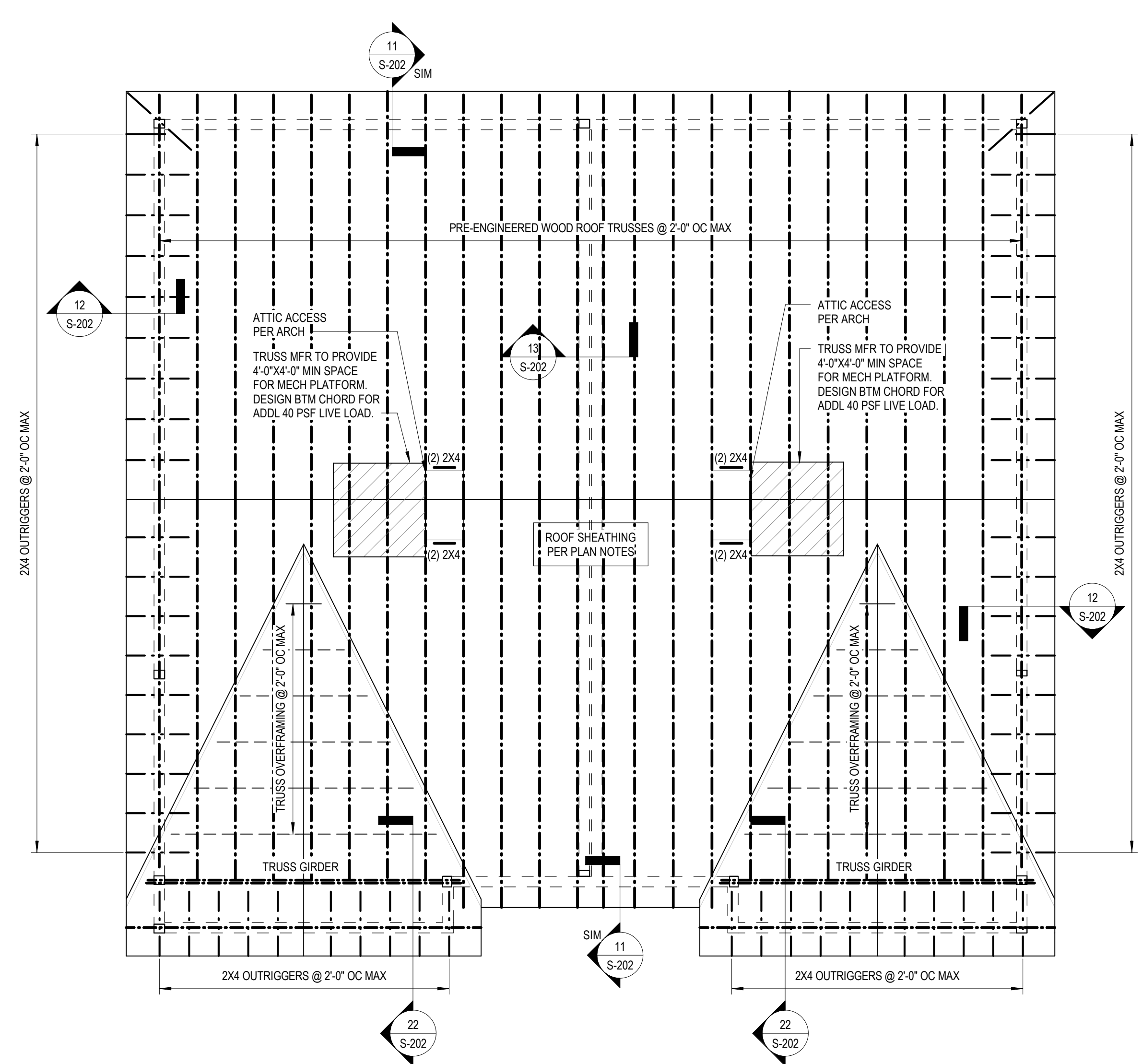
FLOOR FRAMING PLAN NOTES

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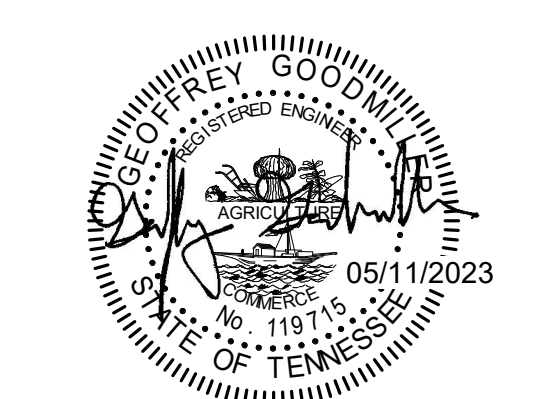
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<b>Issue Date:</b>		05/11/2023
<b>PIC</b>		RAH
<b>PM</b>		GRG
<b>PA</b>		G.TAYLOR C. MYERS
<b>Drawn By:</b>		CWR
<b>Checked By:</b>		CGJ

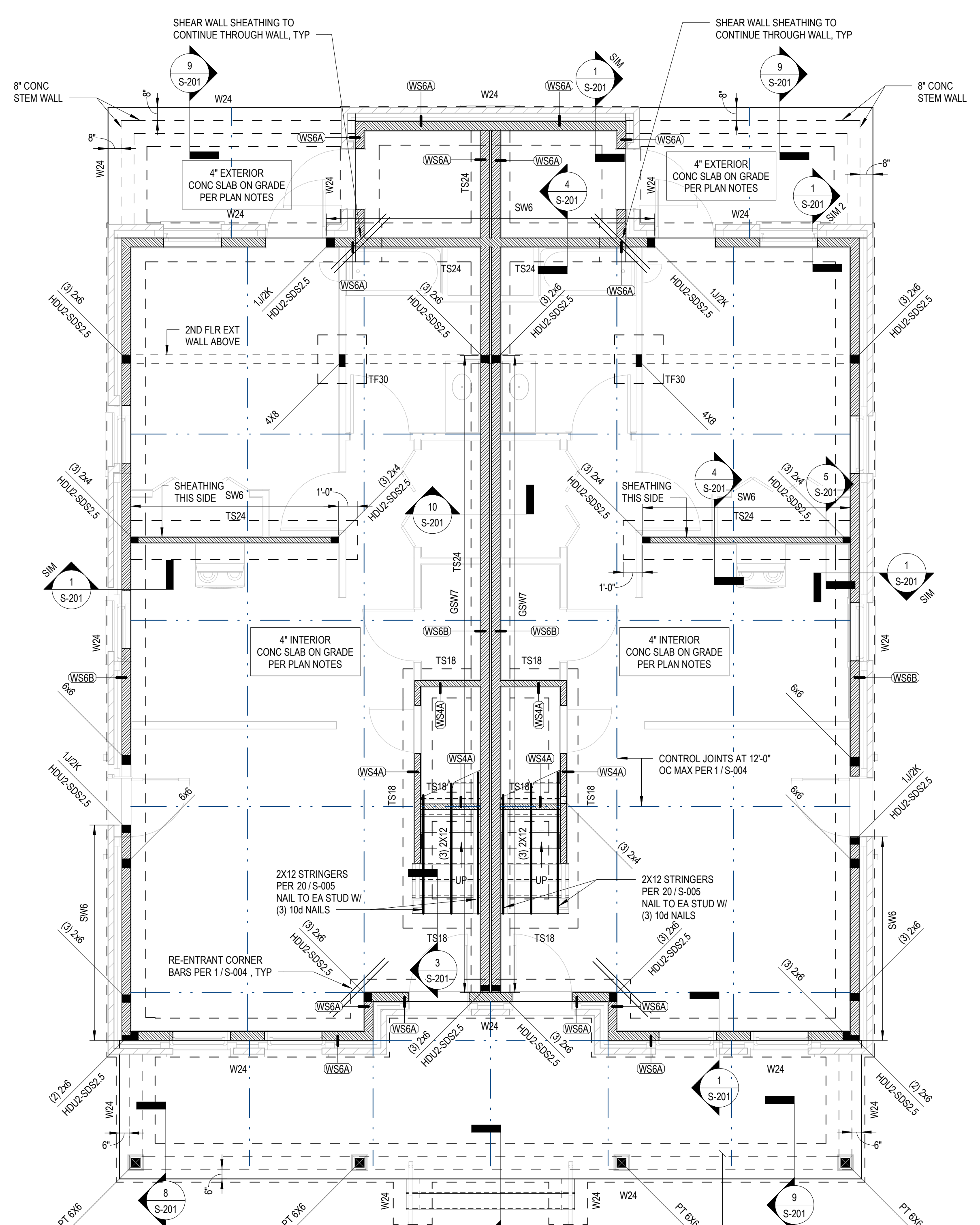


- ROOF FRAMING PLAN NOTES:**
1. ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO. TOP OF SLAB ON GRADE BELOW IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
  2. ROOF FRAMING SHALL BE PRE-ENGINEERED WOOD ROOF TRUSSES AT 2'-0" OC MAX UNO. ALL TRUSSES SHALL BE ORIENTED IN THE DIRECTION SHOWN. ROOF TRUSS GIRDERS MAY BE ADJUSTED +/- 6" UNLESS THE ADJUSTMENT LOCATES THE TRUSS GIRDER OVER A WINDOW HEADER. TRUSS LAYOUT SHALL NOT BE SIGNIFICANTLY ALTERED FROM THE CONSTRUCTION DOCUMENTS. IF THERE IS A CONFLICT, OR THE LAYOUT AS SHOWN IN THE CONSTRUCTION DOCUMENTS CANNOT PHYSICALLY BE CONSTRUCTED, CONTACT STRUCTURAL ENGINEER PRIOR TO ISSUING SHOP DRAWINGS.
  3. WOOD ROOF SHEATHING SHALL BE 1/2" UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAIL FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
  4. WINDOW AND DOOR HEADERS TO BE (3)-2X12 MIN. TYP UNO.
  5. ROOF TRUSSES SHALL BEAR ONLY ON EXTERIOR WALLS.
  6. ALL TRUSS GIRDERS SHALL BEAR DIRECTLY OVER 2X26 IN THE WALL BELOW.
  7. TRUSS BEARING ELEVATION = 18'-1 7/8" TYP. UNO.

**3.2.B - ROOF FRAMING PLAN**

**ROOF FRAMING PLAN NOTES**



COLUMN FOOTING SCHEDULE				
MARK	LENGTH	WIDTH	DEPTH	REINFORCEMENT
TF30	2'-6"	2'-4"	1'-0"	(4) #5 EW BTM

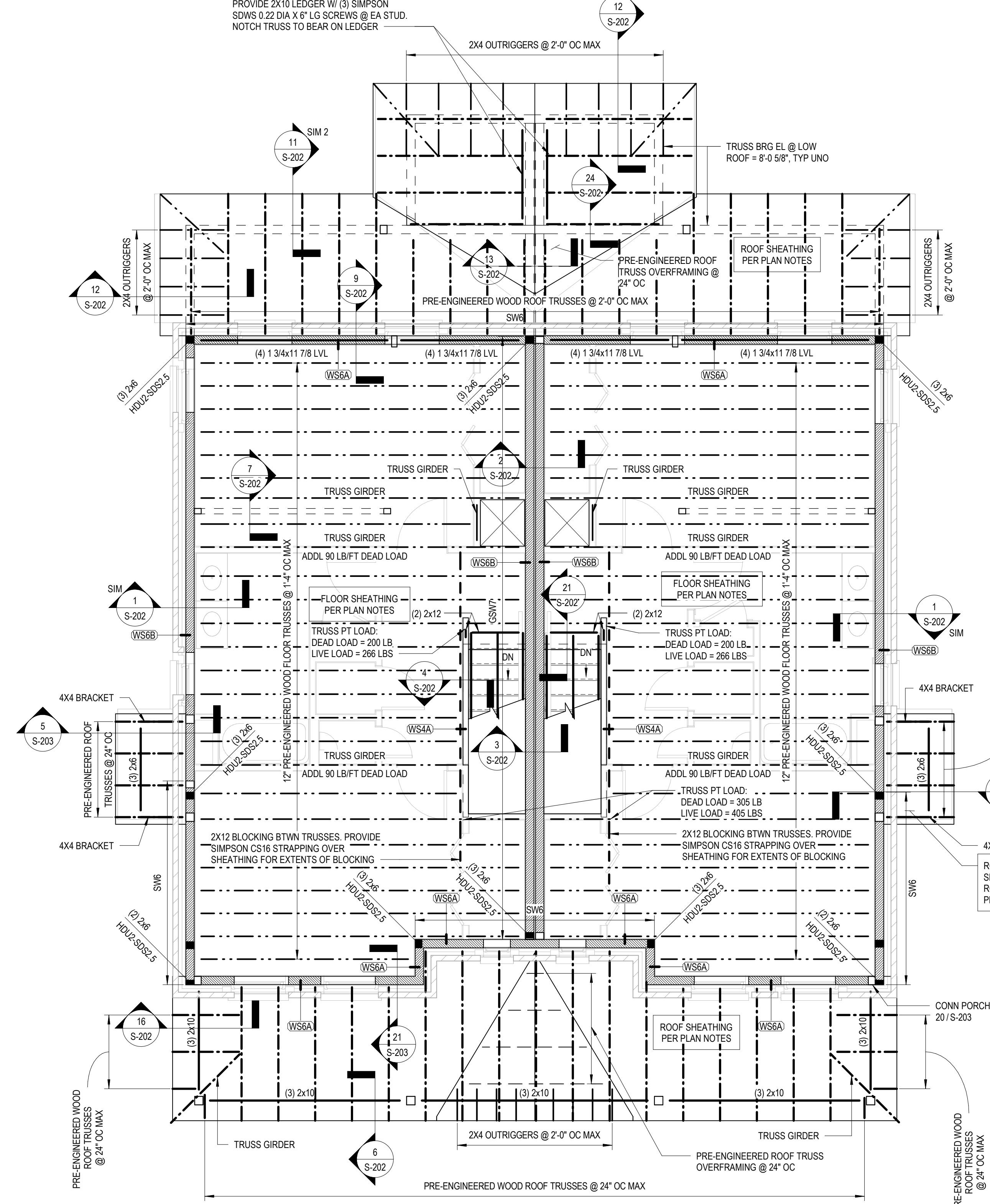
WALL FOOTING SCHEDULE				
MARK	WIDTH	DEPTH	REINFORCEMENT	
TS18	1'-6"	1'-0"	(3) #5 CONT W/ #5 X 1'-0" TRANS @ 1'-6" OC	
TS24	2'-0"	1'-4"	(3) #5 CONT W/ #5 X 1'-6" TRANS @ 1'-6" OC	
W24	2'-0"	1'-0"	(3) #5 CONT W/ #5 X 1'-6" TRANS @ 1'-6" OC	

**FOUNDATION PLAN NOTES:**

- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO. TOP OF SLAB ON GRADE IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
- 1' EXTERIOR FOOTING ELEVATION = -2'-0" TYP. UNO.
- SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH HWF #6X W2. 1XW2. 1. SLAB ON GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
- EXTERIOR SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH HWF #6X W2. 1XW2. 1. SLAB ON GRADE SHALL BE PLACED OVER 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
- INDICATES TOP OF FOOTING ELEVATION AT NON-TYPICAL LOCATIONS.
- W24 INDICATES WALL OR CONTINUOUS FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
- TS24 & TF34 INDICATE THICKENED SLAB AREAS TO BE POURED MONOLITHICALLY WITH SLAB ON GRADE. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
- FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
- FOR SIDEWALKS, PAVING, AND SITE DETAILS AT THE BUILDING EXTERIOR, SEE ARCHITECTURAL AND CIVIL DRAWINGS.

3.2.C - FOUNDATION PLAN

FOUNDATION PLAN NOTES



**FLOOR FRAMING PLAN NOTES:**

- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO. TOP OF SLAB ON GRADE BELOW IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
- 7' SHEATHING ELEVATION AT SECOND LEVEL = 10'-1 1/4" TYP. UNO.
- TRUSS BEARING ELEVATION AT SECOND LEVEL = 9'-0" TYP. UNO.
- FLOOR FRAMING SHALL BE 12" PRE-ENGINEERED WOOD FLOOR TRUSSES AT 2'-0" OC MAX. UNO. ALL TRUSSES SHALL BE ORIENTED IN THE DIRECTION SHOWN. TRUSS LAYOUT SHALL NOT BE SIGNIFICANTLY ALTERED FROM THE CONSTRUCTION DOCUMENTS. IF THERE IS A CONFLICT, OR THE LAYOUT AS SHOWN IN THE CONSTRUCTION DOCUMENTS CANNOT PHYSICALLY BE CONSTRUCTED, CONTACT STRUCTURAL ENGINEER PRIOR TO ISSUING SHOP DRAWINGS.
- WOOD FLOOR SHEATHING SHALL BE 2332' UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAILS FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
- WINDOW AND DOOR HEADERS TO BE (3) 2X12 MIN. TYP. UNO.
- FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
- WOOD ROOF SHEATHING SHALL BE 1932' UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAILS FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.

**FOUNDATION PLAN NOTES:**

- ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO. TOP OF SLAB ON GRADE IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
- 2' EXTERIOR FOOTING ELEVATION = -2'-0" TYP. UNO.
- SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH HWF #6X W2. 1XW2. 1. SLAB ON GRADE SHALL BE PLACED OVER A VAPOR BARRIER AND 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
- EXTERIOR SLAB ON GRADE IS 4 INCHES THICK AND REINFORCED WITH HWF #6X W2. 1XW2. 1. SLAB ON GRADE SHALL BE PLACED OVER 4 INCHES (MIN) COMPACTED GRANULAR FILL. SEE TYPICAL SLAB ON GRADE DETAILS FOR MORE INFORMATION.
- INDICATES TOP OF FOOTING ELEVATION AT NON-TYPICAL LOCATIONS.
- W24 INDICATES WALL OR CONTINUOUS FOOTING MARK. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
- TS24 & TF34 INDICATE THICKENED SLAB AREAS TO BE POURED MONOLITHICALLY WITH SLAB ON GRADE. SEE SCHEDULE FOR SIZE AND REINFORCEMENT.
- FOR ELEVATIONS, WALL SECTIONS, AND DIMENSIONS NOT SHOWN, SEE ARCHITECTURAL DRAWINGS.
- FOR SIDEWALKS, PAVING, AND SITE DETAILS AT THE BUILDING EXTERIOR, SEE ARCHITECTURAL AND CIVIL DRAWINGS.

3.2.C - SECOND FLOOR FRAMING PLAN

FLOOR FRAMING PLAN NOTES

Consultants:

CIVIL ENGINEER:  
**SITE ENGINEERING  
CONSULTANTS, INC.**  
850 MIDDLE TN BLVD.  
MURFREESBORO, TN 37129  
1.615.890.7901

LANDSCAPE ARCHITECT:  
**RAGAN SMITH**

1900 MEDICAL CENTER PKWY., STE 2J  
MURFREESBORO, TN 37129  
1.615.546.6500

STRUCTURAL ENGINEER:  
**HAINES STRUCTURAL GROUP**

800 SOUTH GAY ST., STE 1750  
KNOXVILLE, TN 37902  
1.865.329.9900

MECHANICAL/PLUMBING ENGINEER:  
**FACILITY SYSTEMS  
CONSULTANTS, LLC**  
713 SOUTH CENTRAL STREET, STE 101  
KNOXVILLE, TN 37902  
1.865.248.0164

ELECTRICAL ENGINEER:  
**FACILITY SYSTEMS  
CONSULTANTS, LLC**  
713 SOUTH CENTRAL STREET, STE 101  
KNOXVILLE, TN 37902  
1.865.248.0164

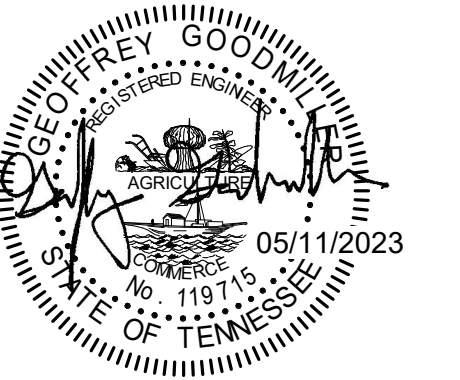
Project Information:

**22054**

**MHA - MERCURY  
HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130

Seal:



Consultant:



#	ISSUED BY:	DATE

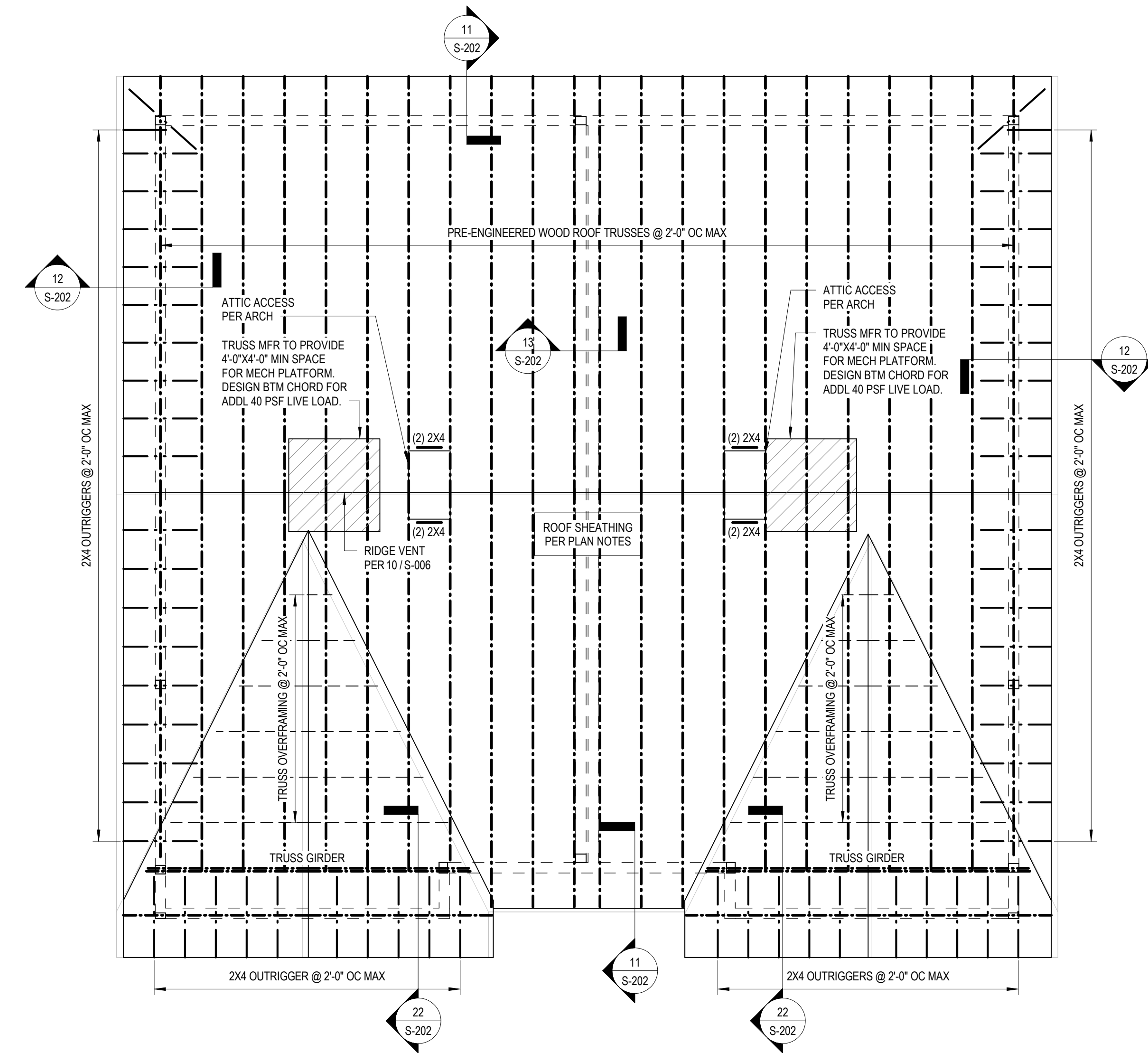
Issue Date:	05/11/2023
PIC	RAH
PM	GRG
PA	G.TAYLOR C. MYERS
Drawn By:	CWR
Checked By:	CGJ

Sheet Information:

**S-162**

3.2.C - ROOF FRAMING PLAN

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**3.2.C - ROOF FRAMING PLAN**

**ROOF FRAMING PLAN NOTES**

- ROOF FRAMING PLAN NOTES:**
1. ELEVATIONS ARE BASED ON A REFERENCE FLOOR ELEVATION OF 0'-0" UNO. TOP OF SLAB ON GRADE BELOW IS AT THE REFERENCE ELEVATION UNLESS NOTED OTHERWISE.
  2. ROOF FRAMING SHALL BE PRE-ENGINEERED WOOD ROOF TRUSSES AT 2'-0" OC MAX UNO. ALL TRUSSES SHALL BE ORIENTED IN THE DIRECTION SHOWN. ROOF TRUSS GIRDERS MAY BE ADJUSTED +/- 6" UNLESS THE ADJUSTMENT LOCATES THE TRUSS GIRDER OVER A WINDOW HEADER. TRUSS LAYOUT SHALL NOT BE SIGNIFICANTLY ALTERED FROM THE CONSTRUCTION DOCUMENTS. IF THERE IS A CONFLICT, OR THE LAYOUT AS SHOWN IN THE CONSTRUCTION DOCUMENTS CANNOT PHYSICALLY BE CONSTRUCTED, CONTACT STRUCTURAL ENGINEER PRIOR TO ISSUING SHOP DRAWINGS.
  3. WOOD ROOF SHEATHING SHALL BE 19/32" UNO. SEE GENERAL NOTES FOR MORE INFORMATION. SEE TYPICAL DETAIL FOR ATTACHMENT AND LAYOUT REQUIREMENTS. BLOCKING IS NOT REQUIRED UNLESS NOTED IN DETAILS. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
  4. WINDOW AND DOOR HEADERS TO BE (3)-2X12 MIN, TYP UNO.
  5. ROOF TRUSSES SHALL BEAR ONLY ON EXTERIOR WALLS.
  6. ALL TRUSS GIRDERS SHALL BEAR DIRECTLY OVER 2X4S IN THE WALL BELOW.
  7. TRUSS BEARING ELEVATION = 18'-1 7/8", TYP, UNO.

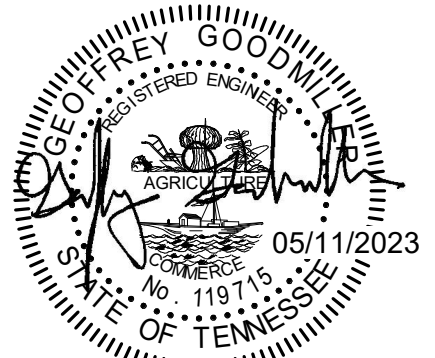
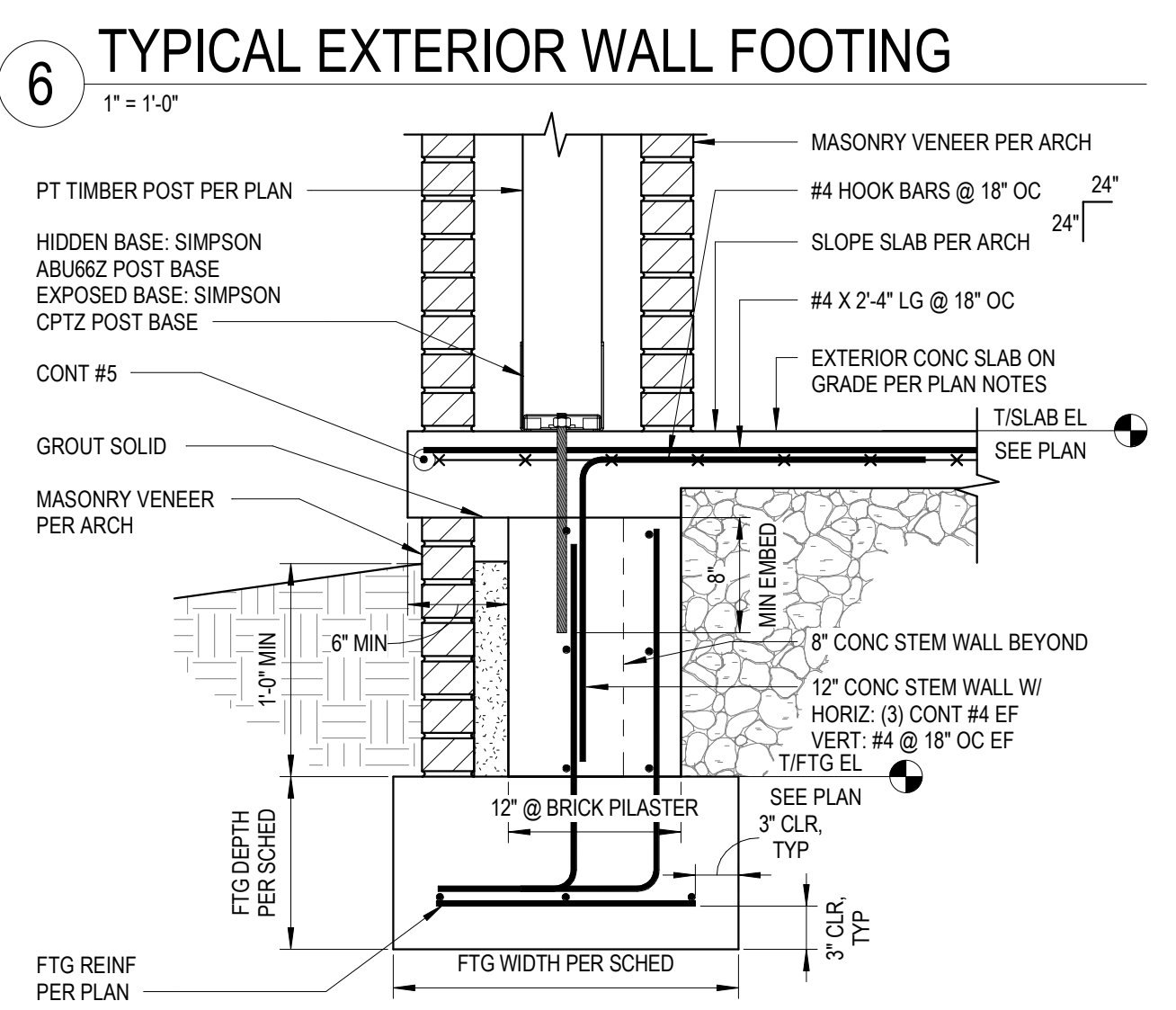
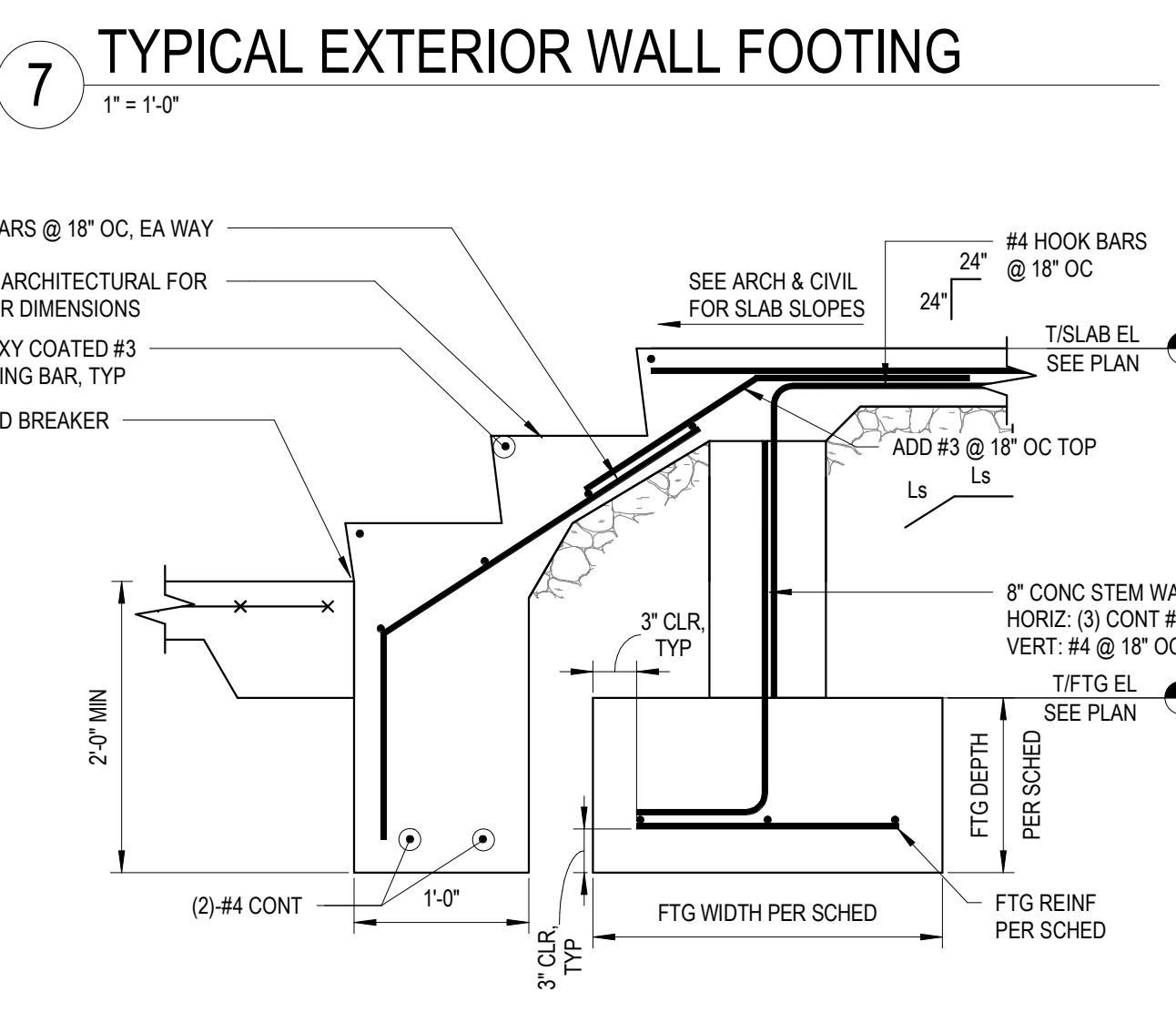
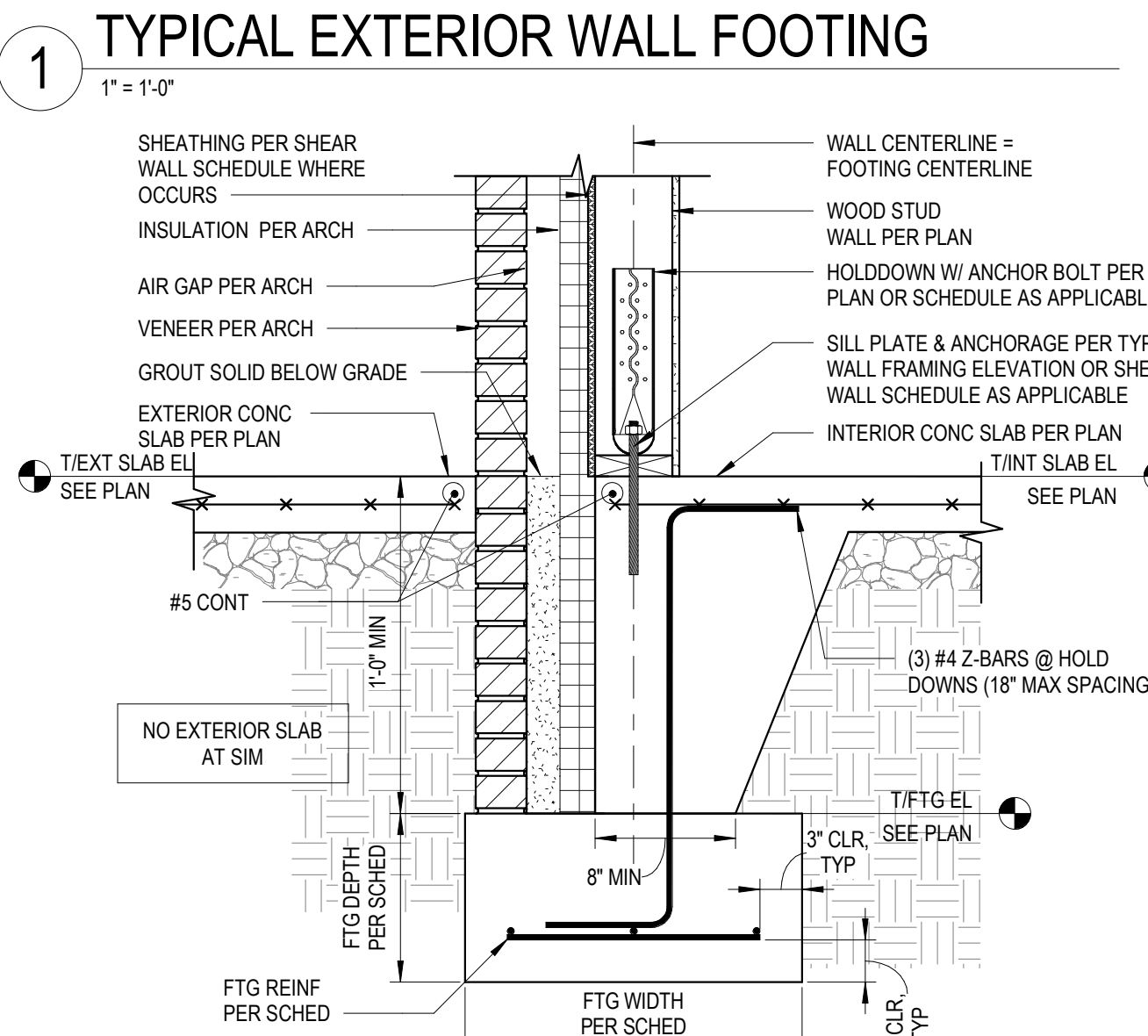
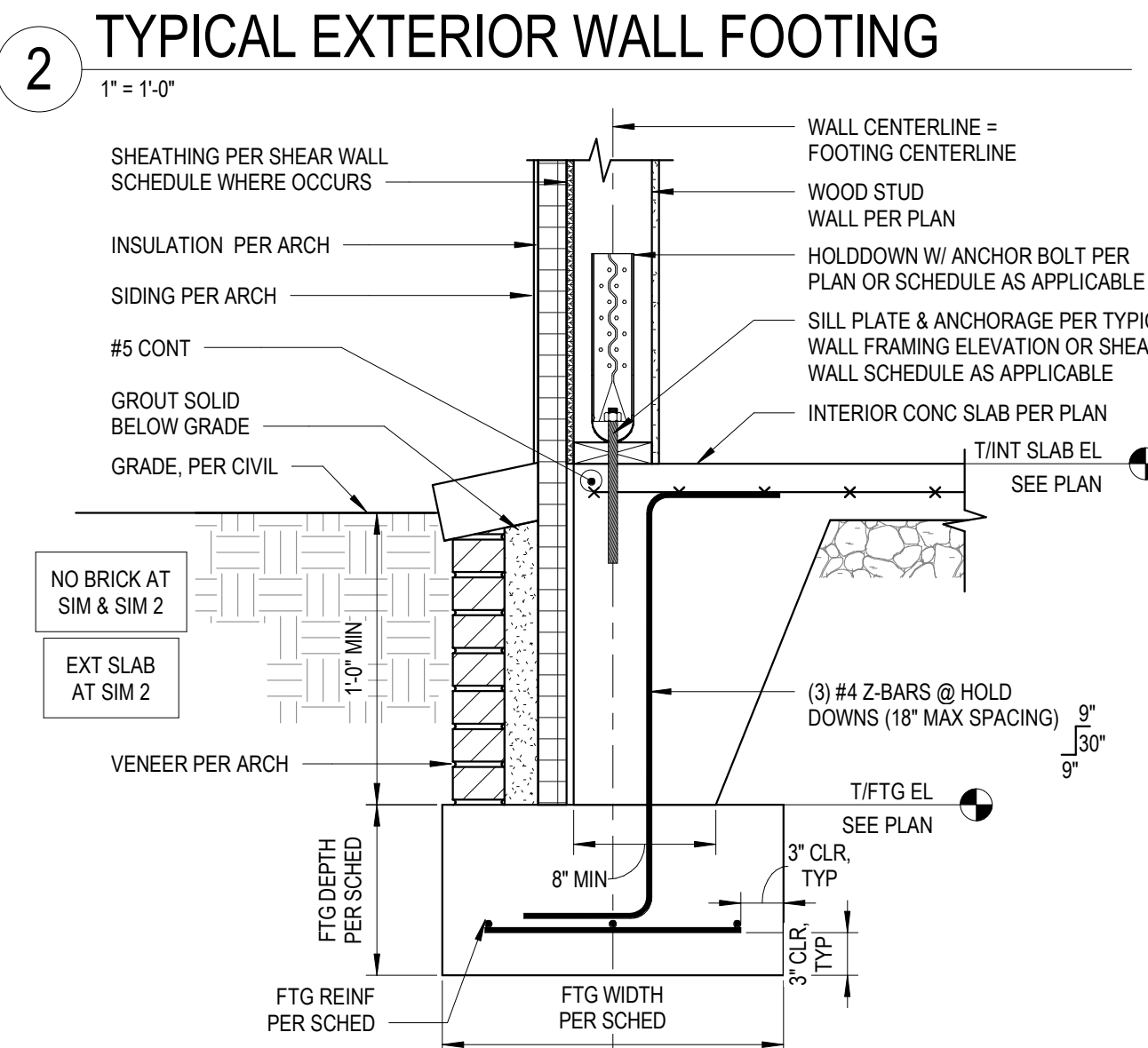
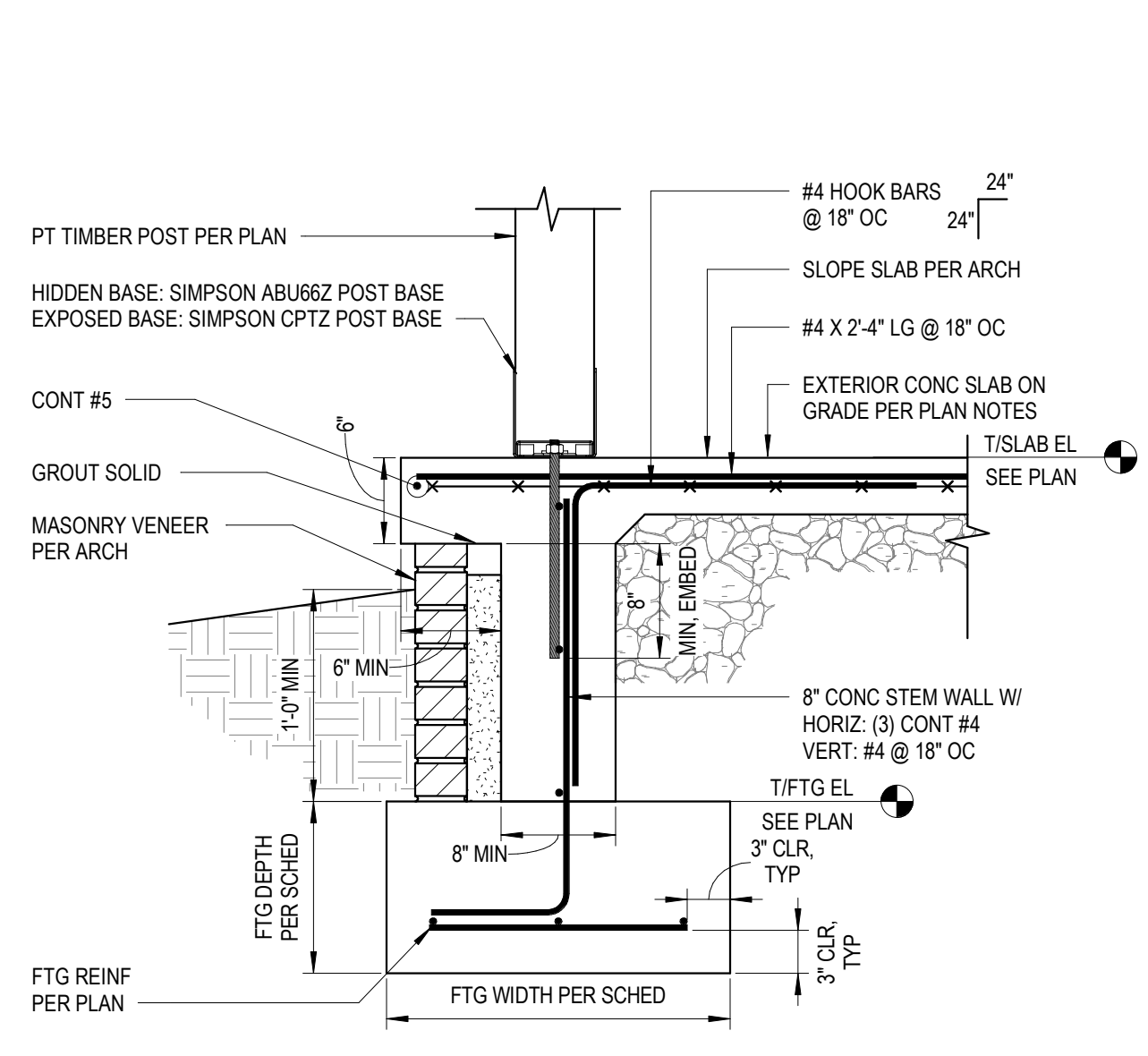
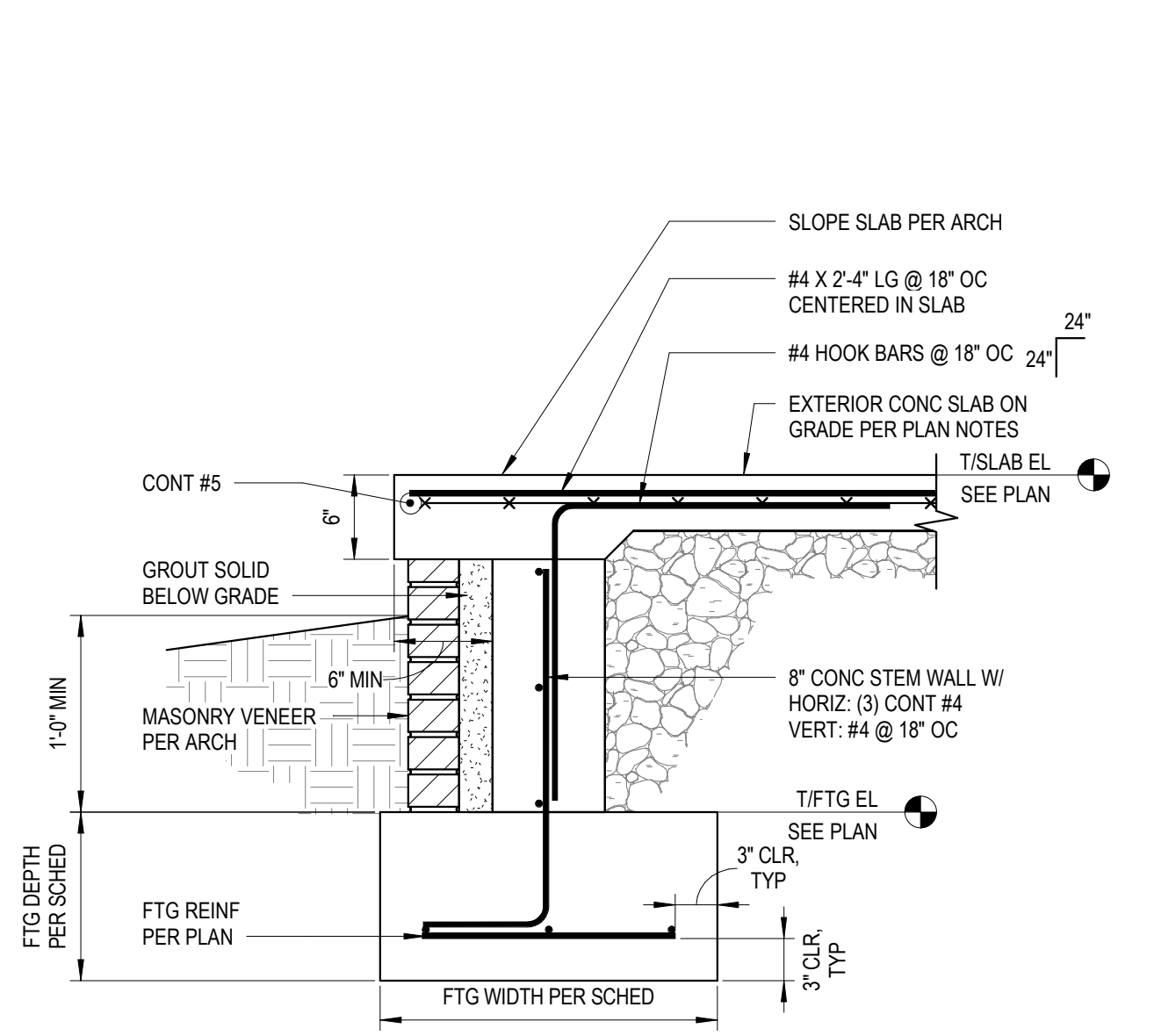
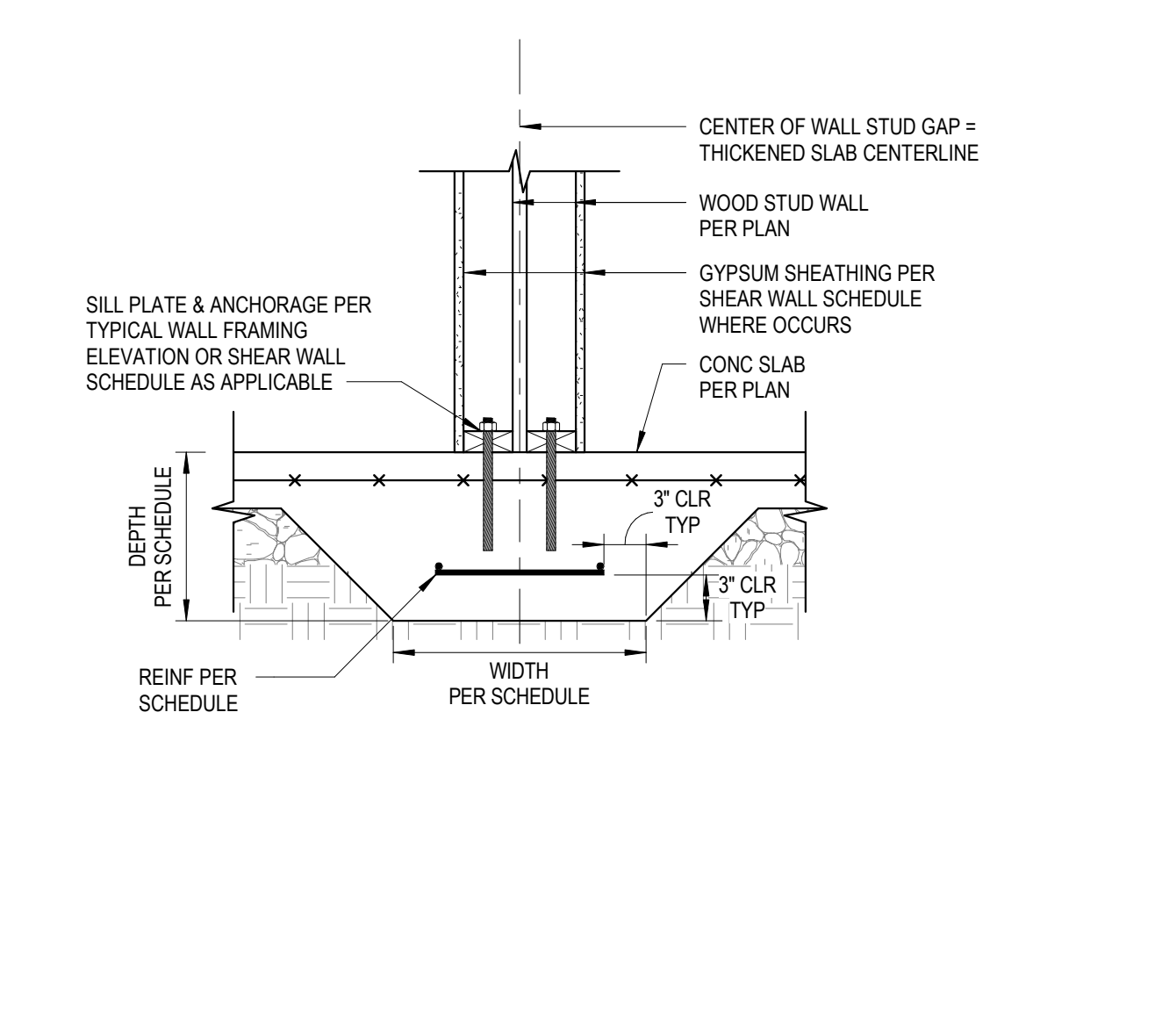
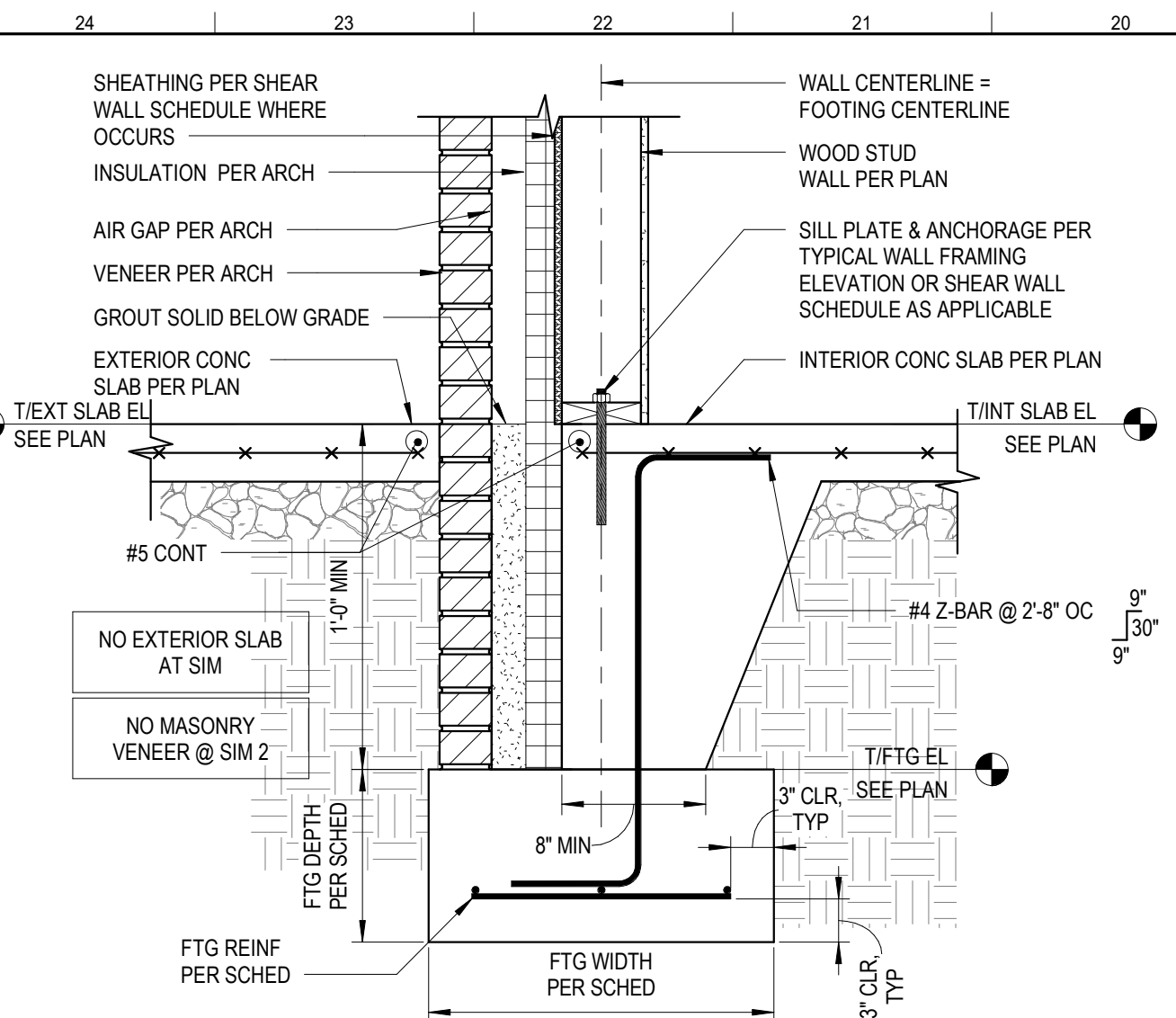
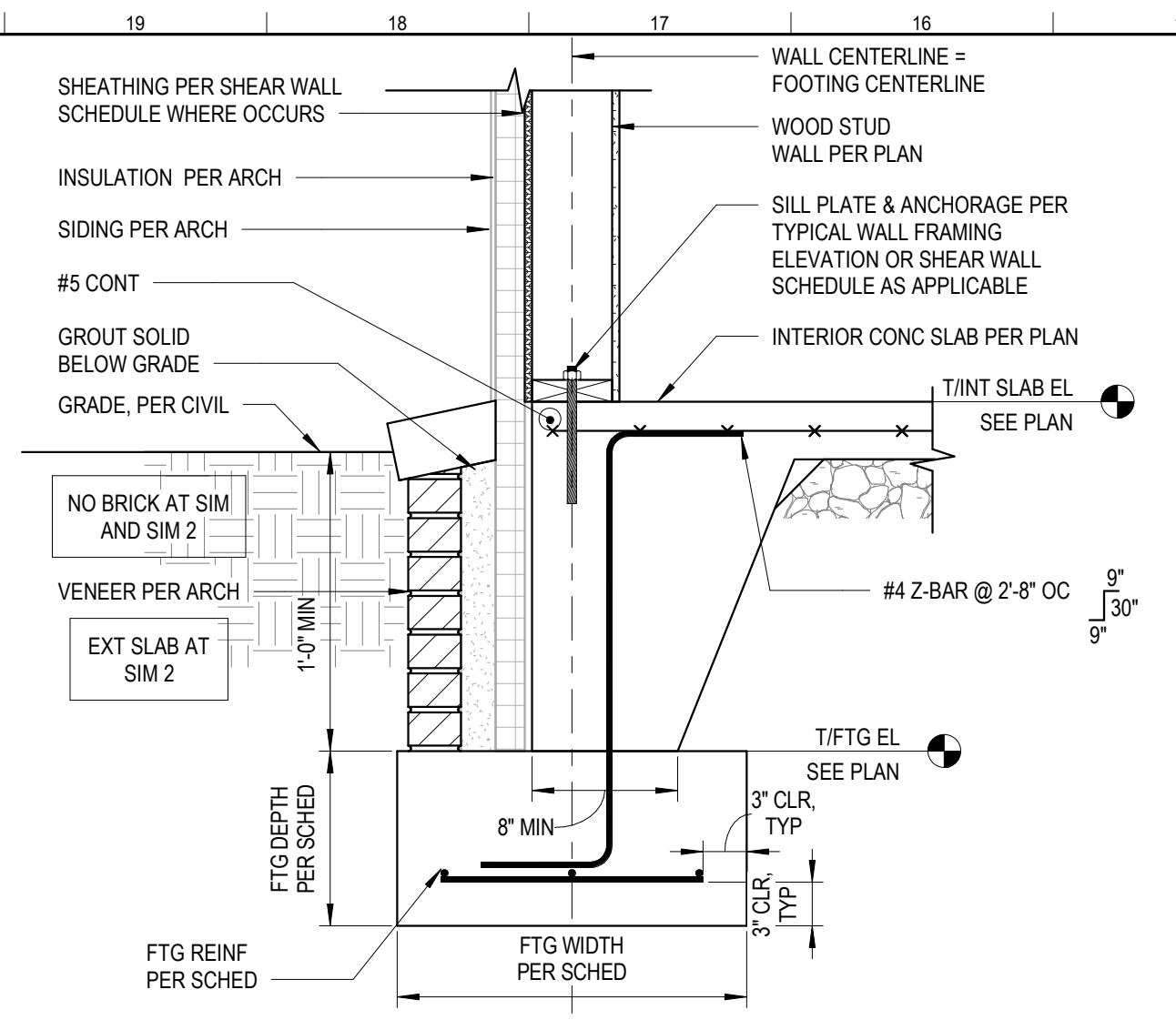
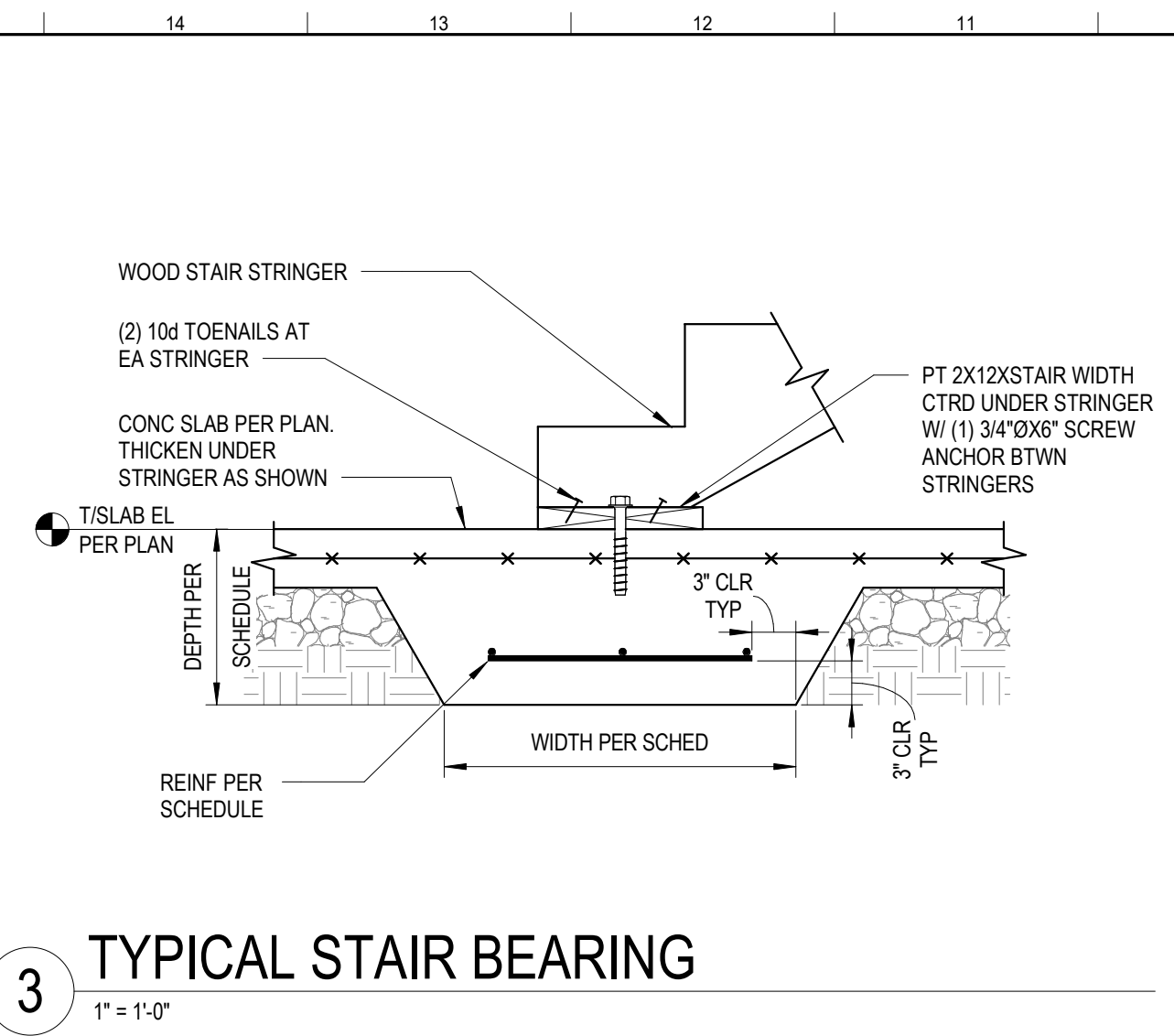
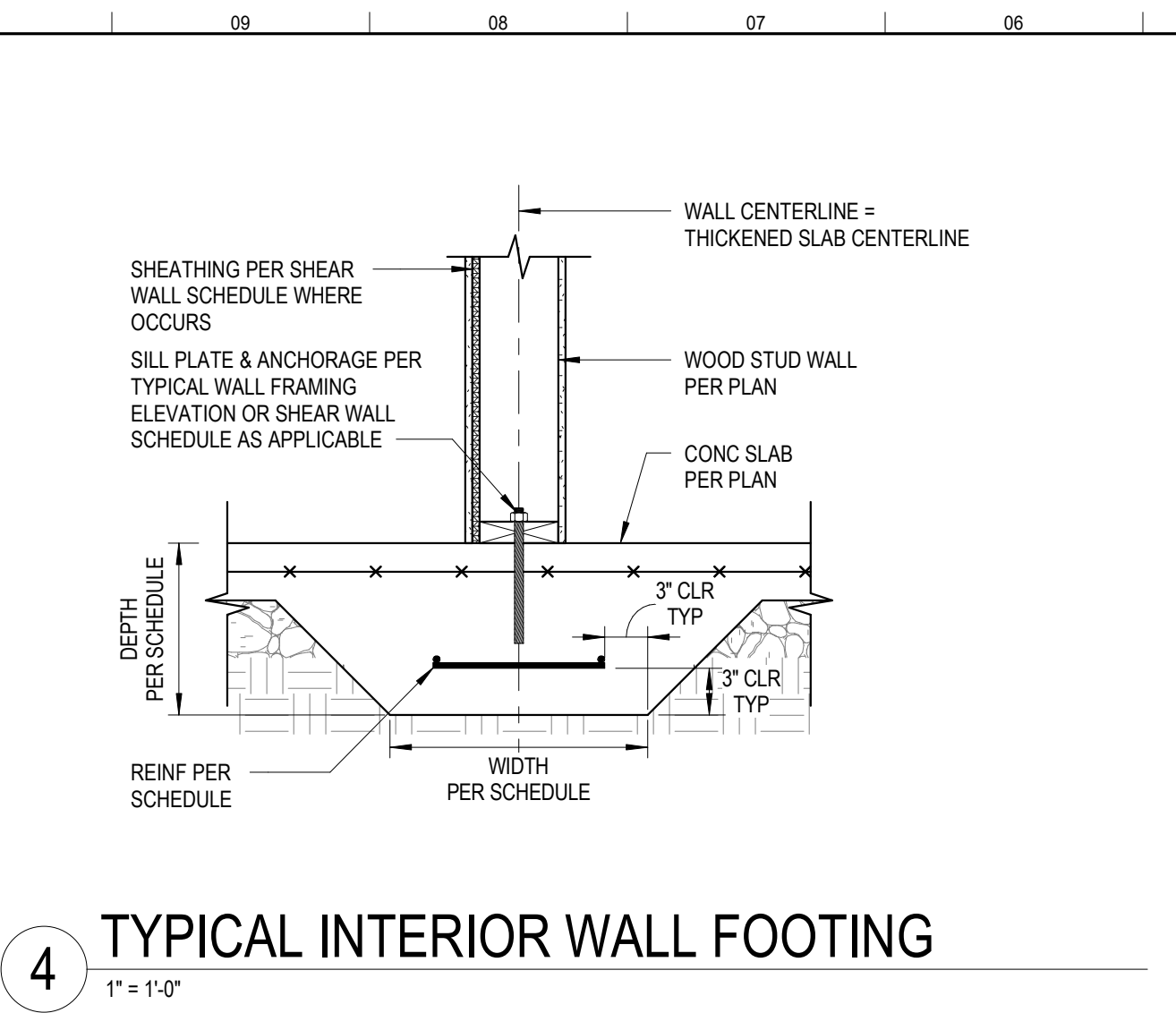
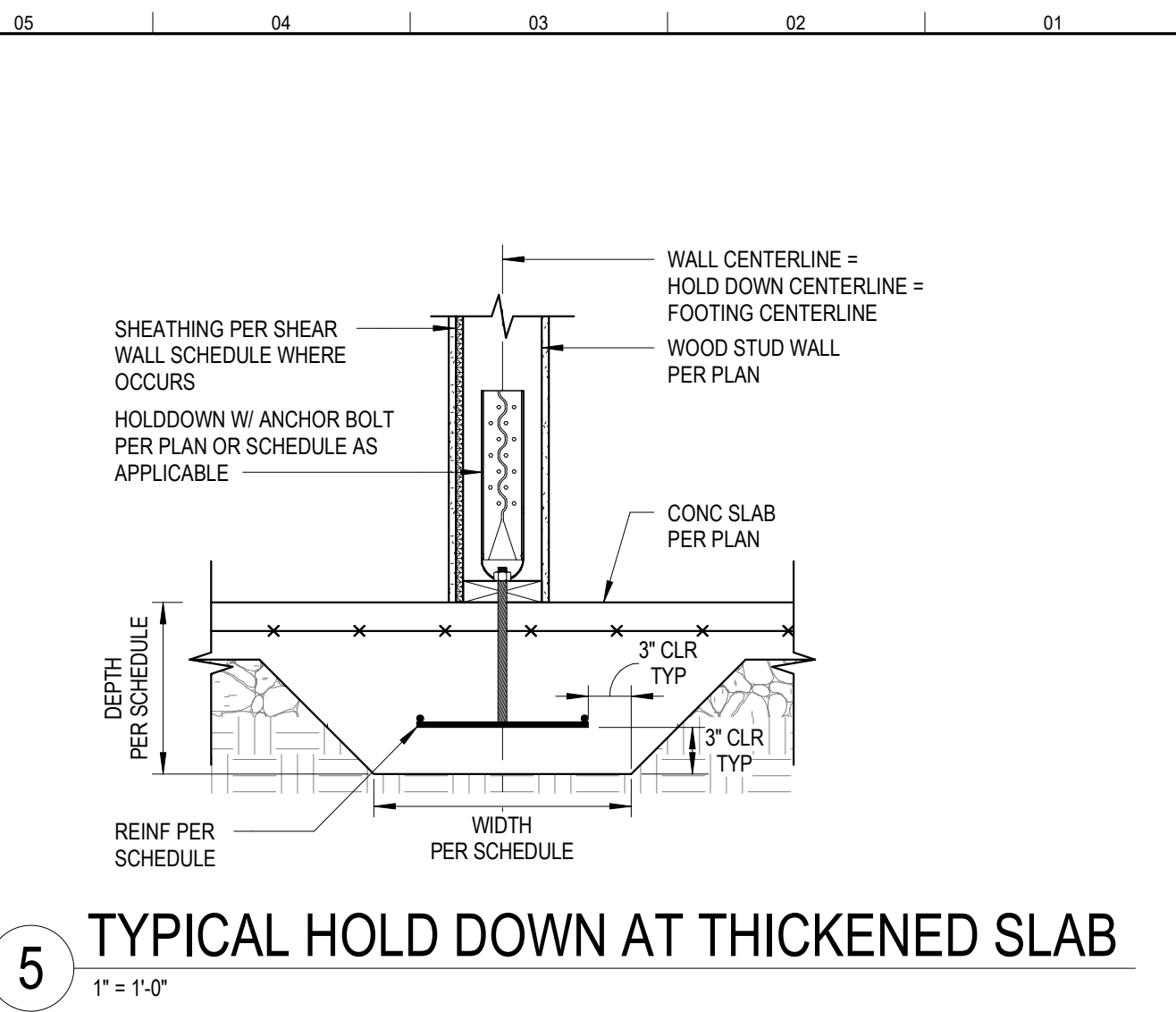
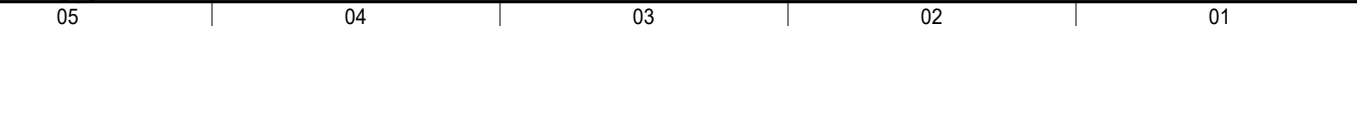
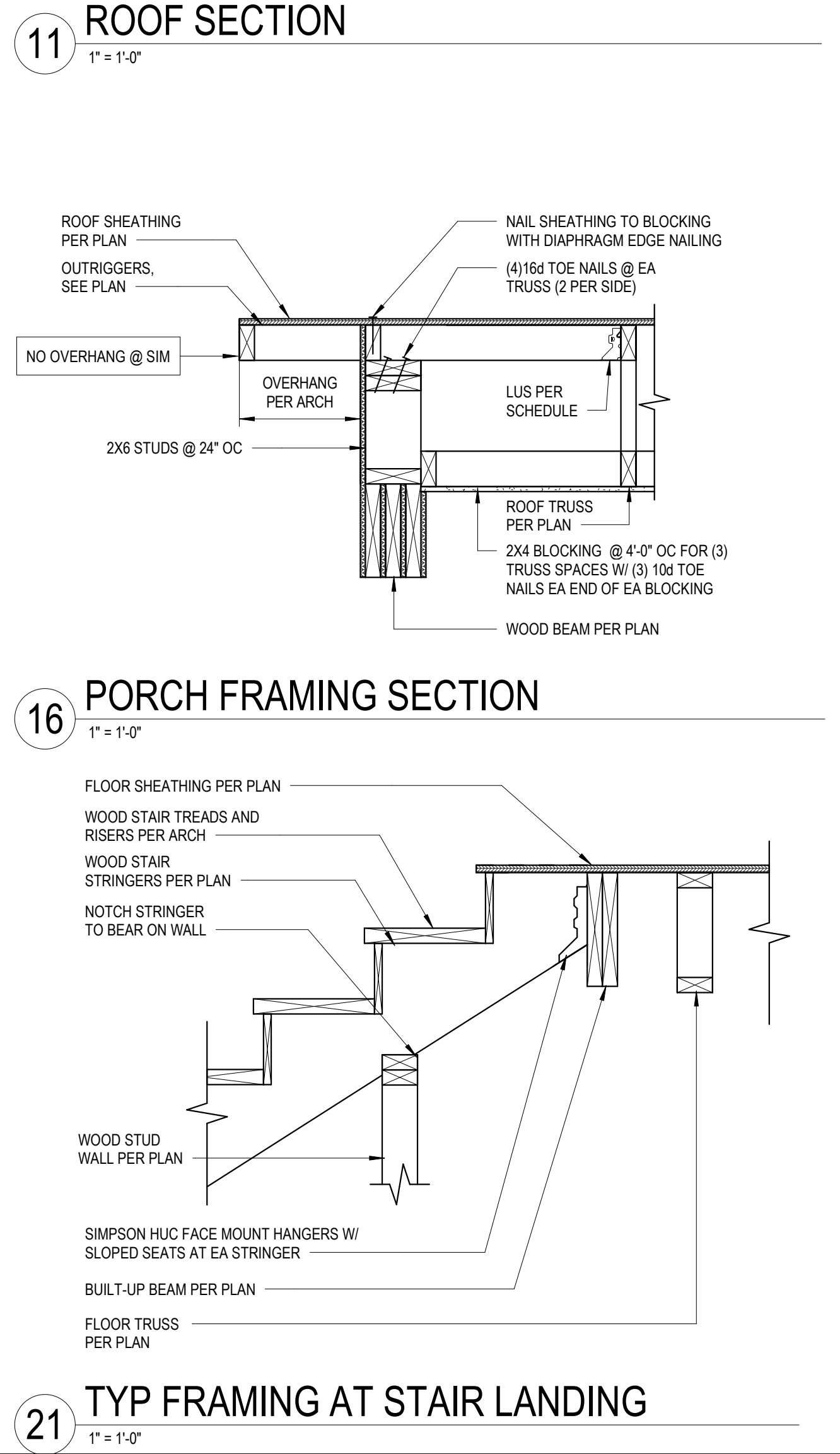
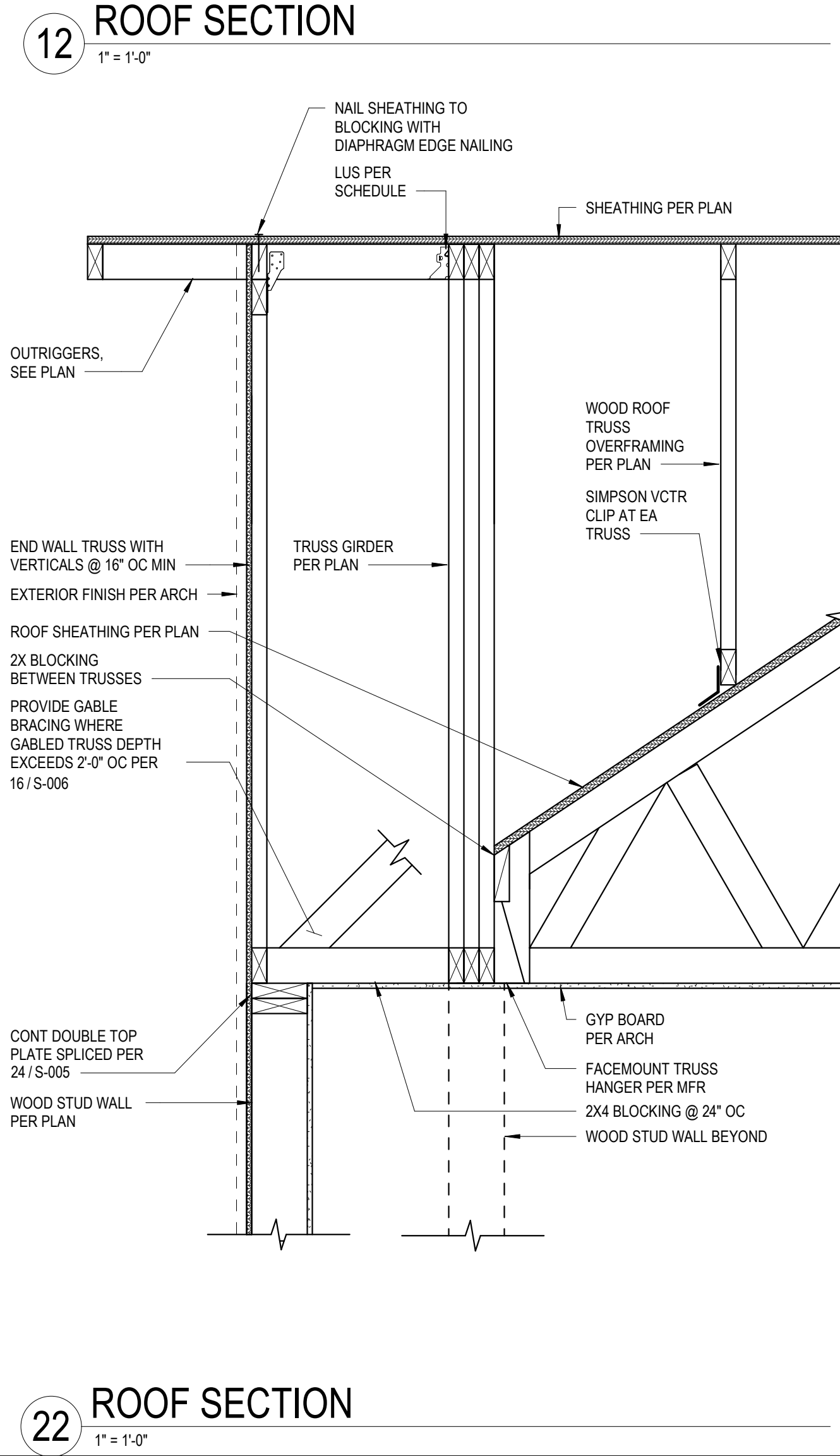
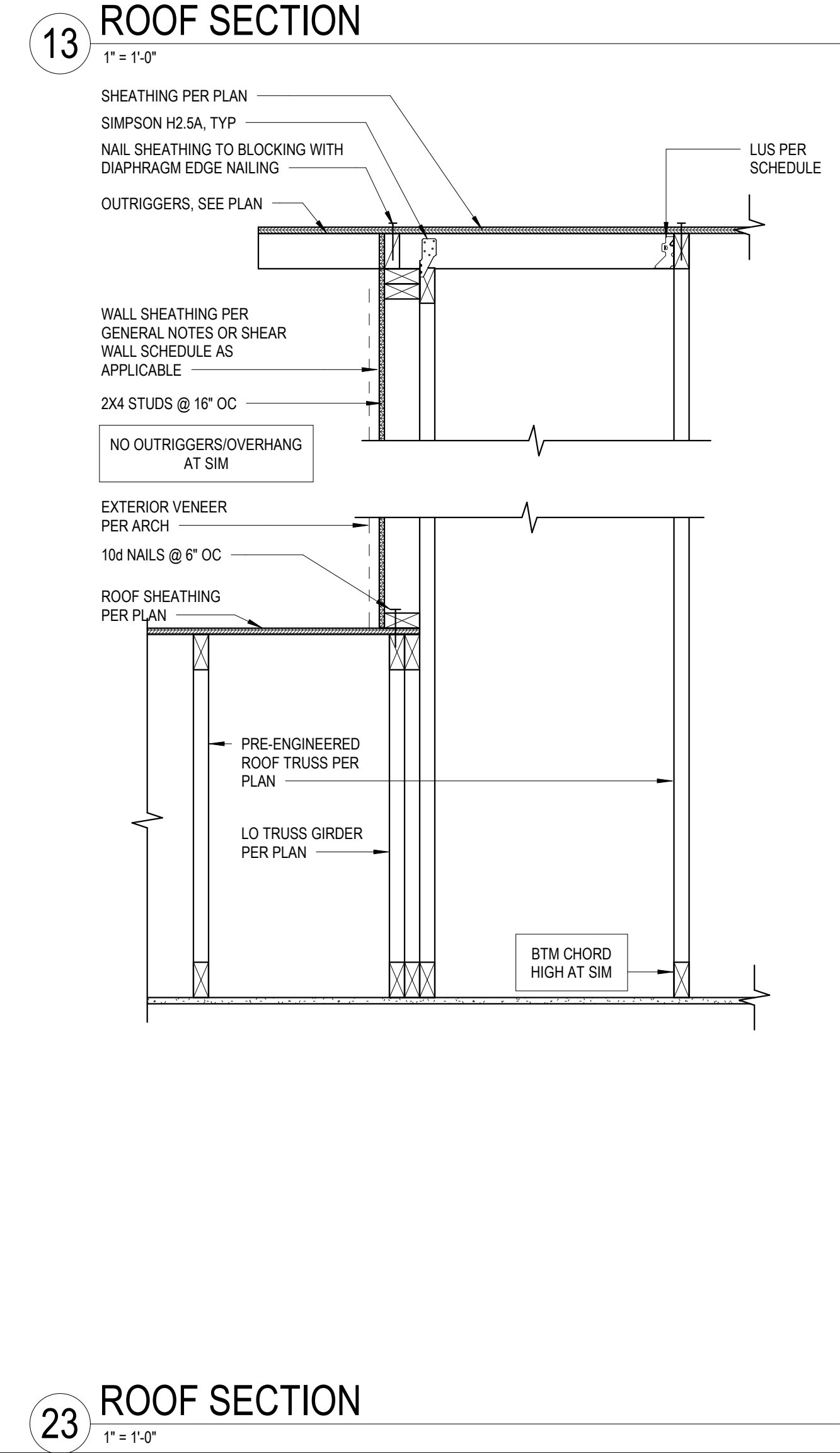
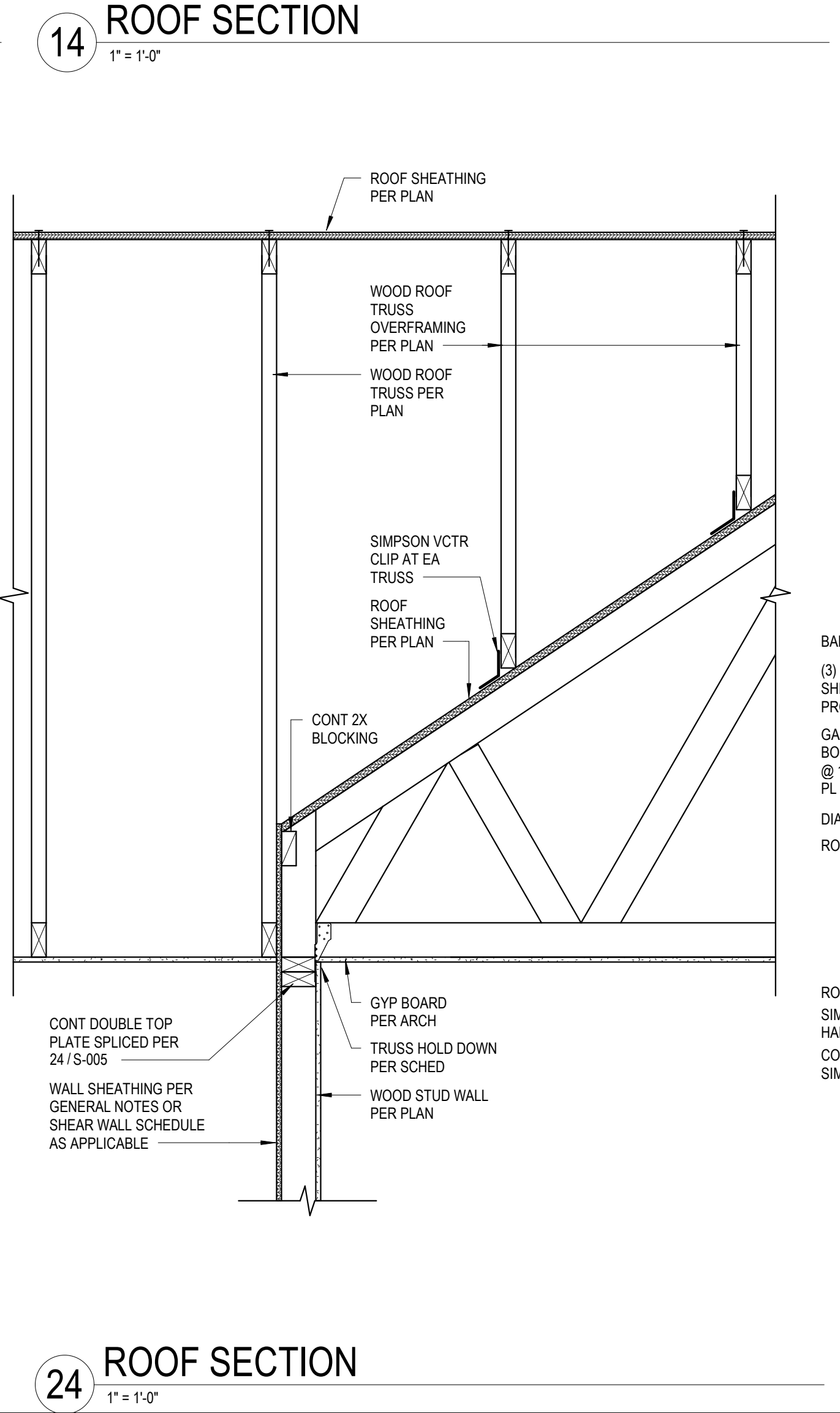
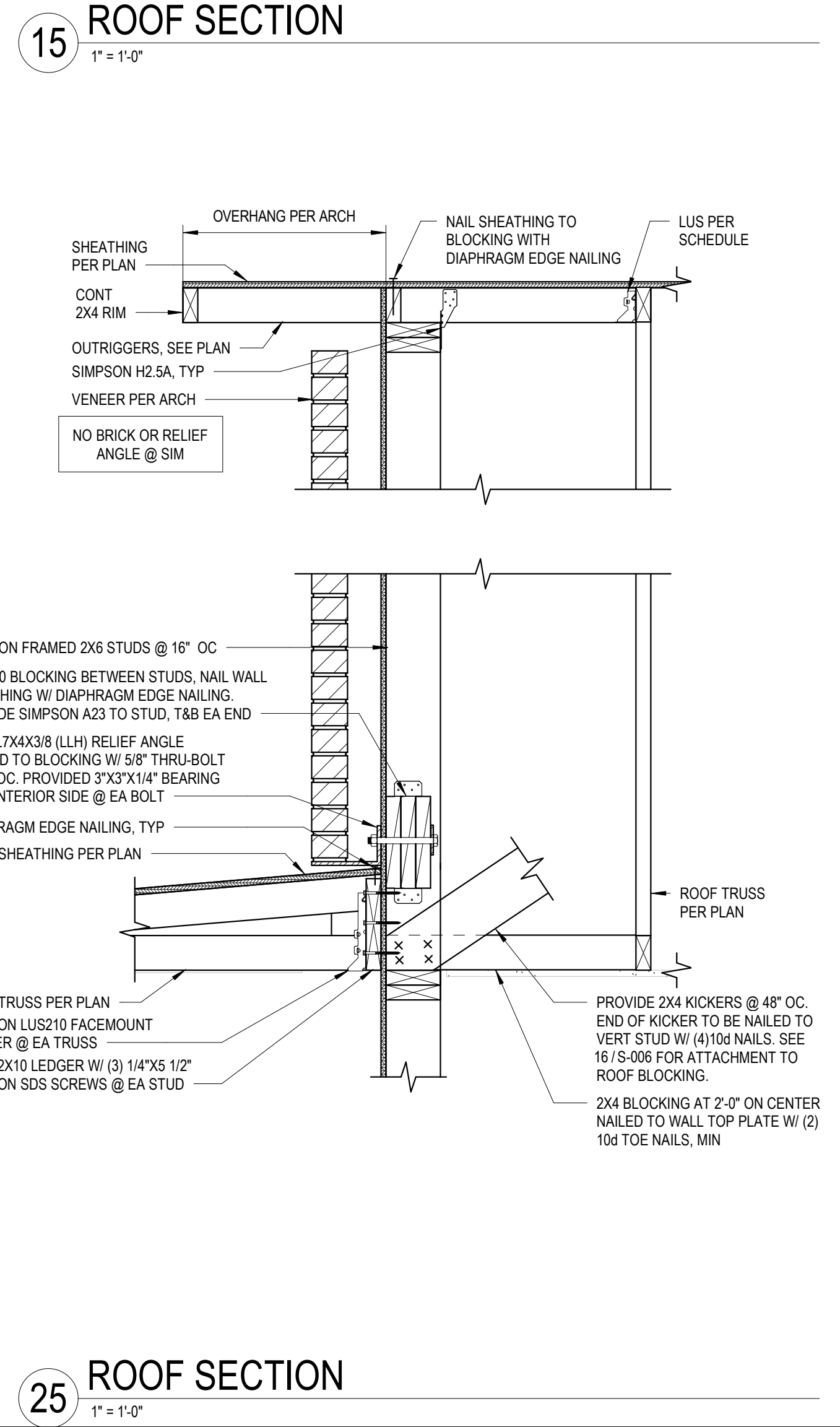
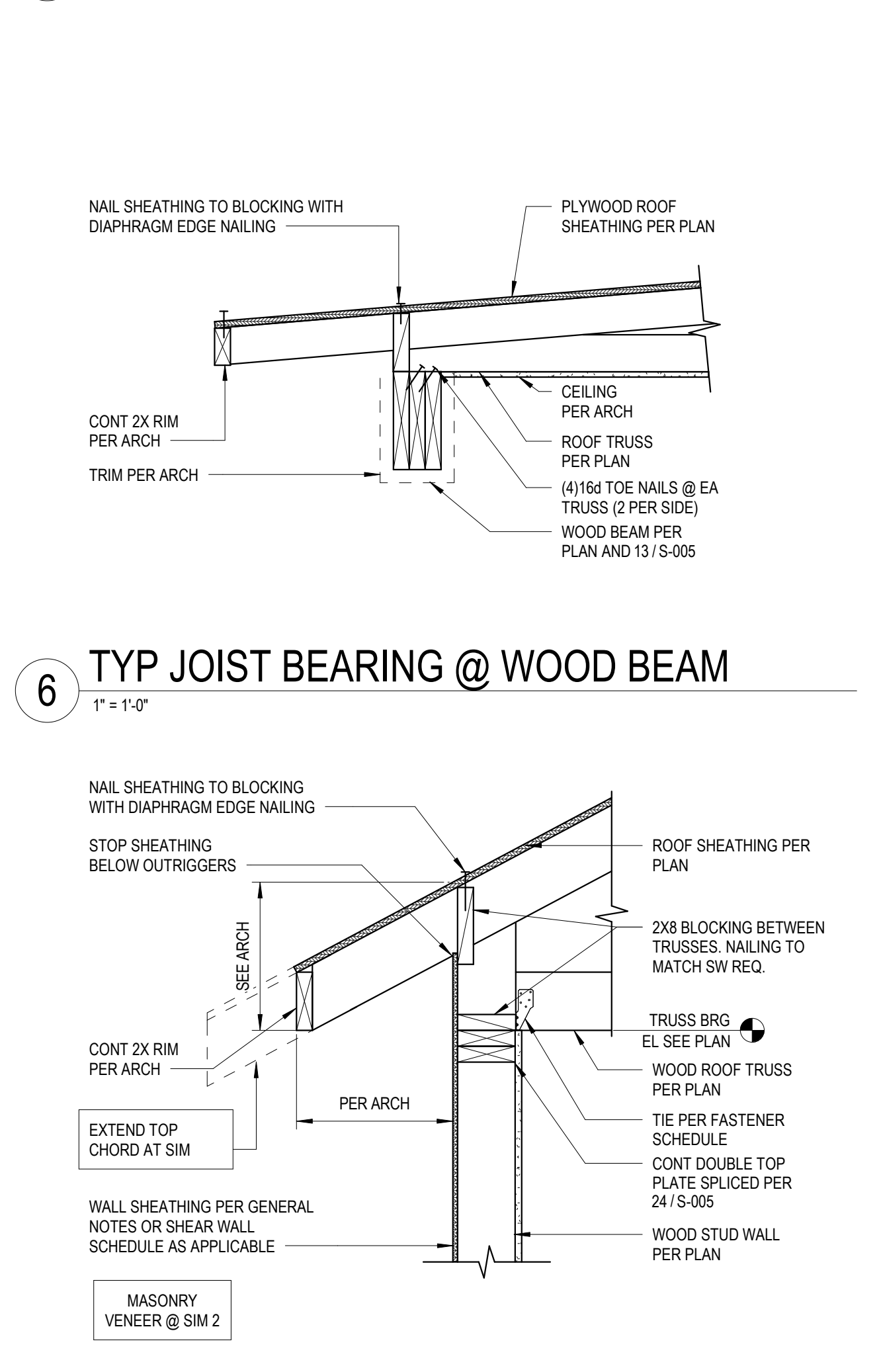
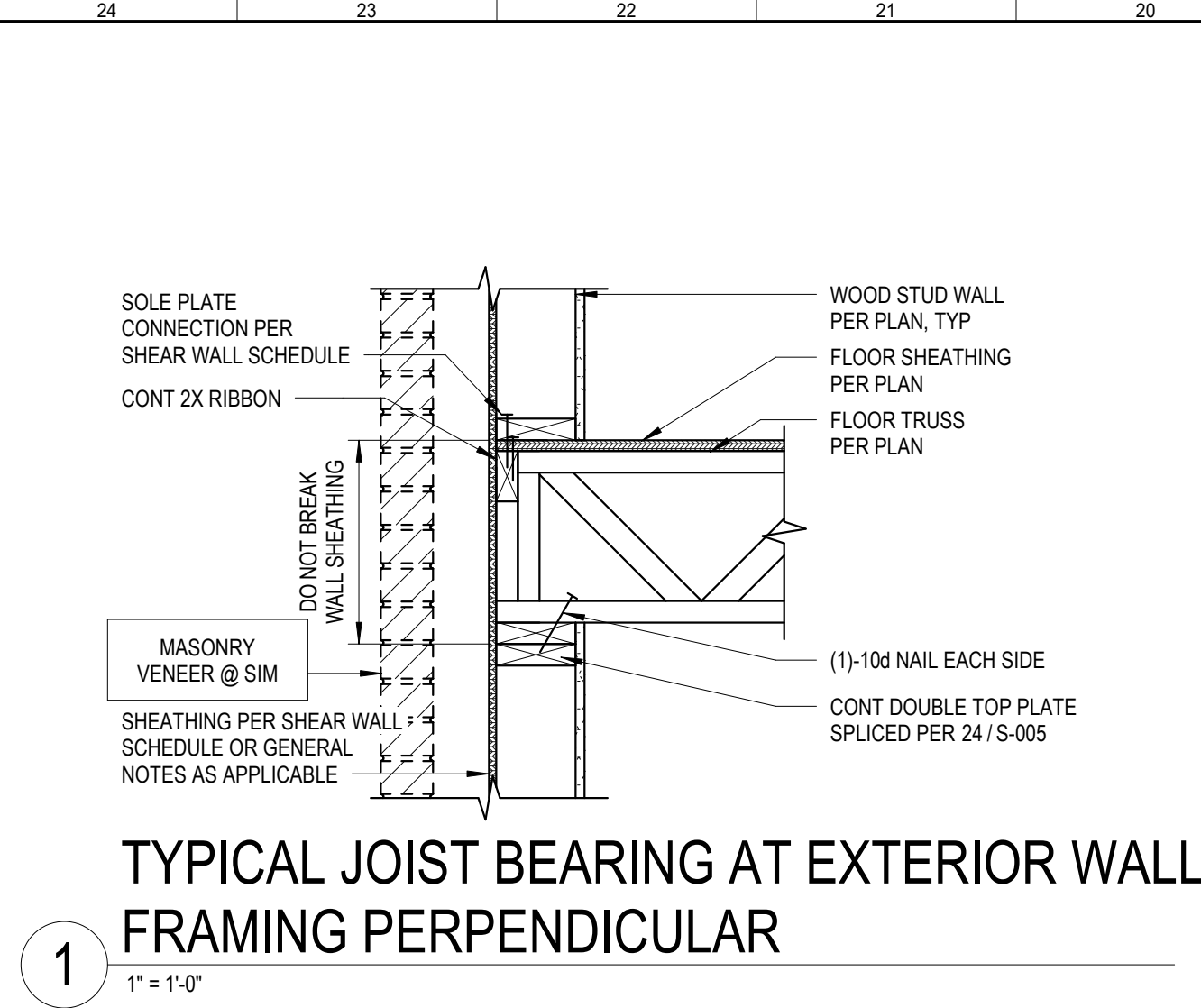
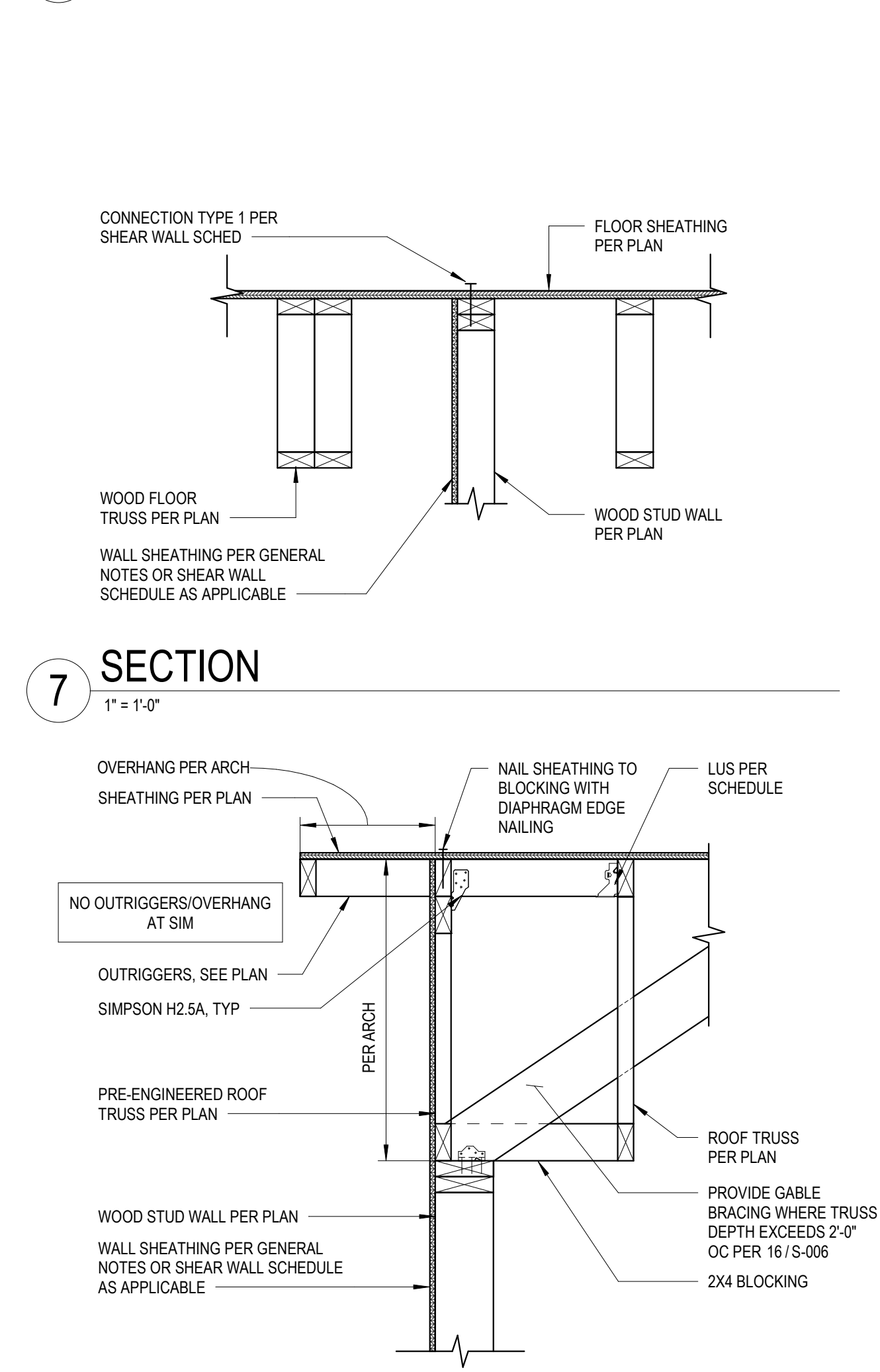
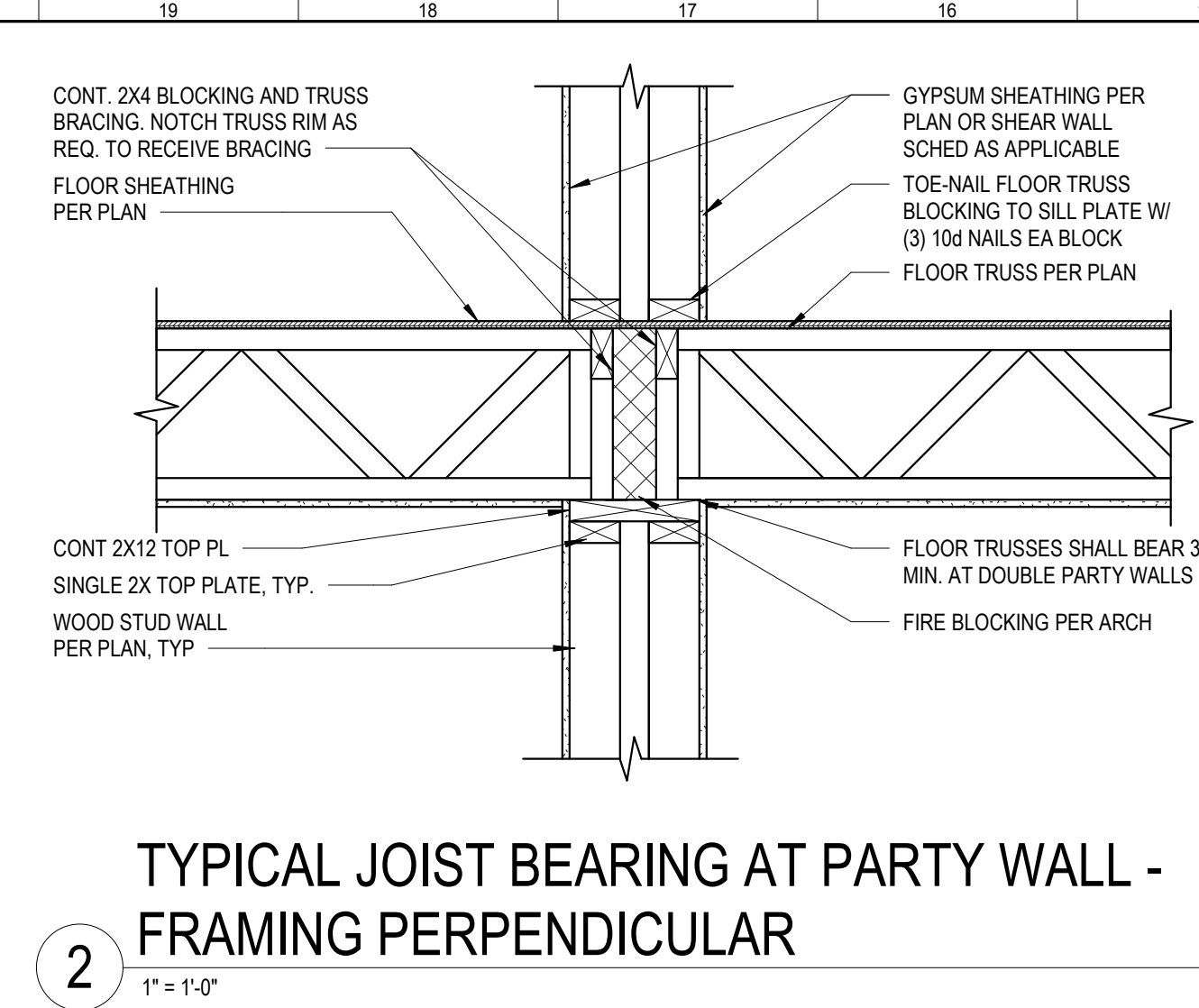
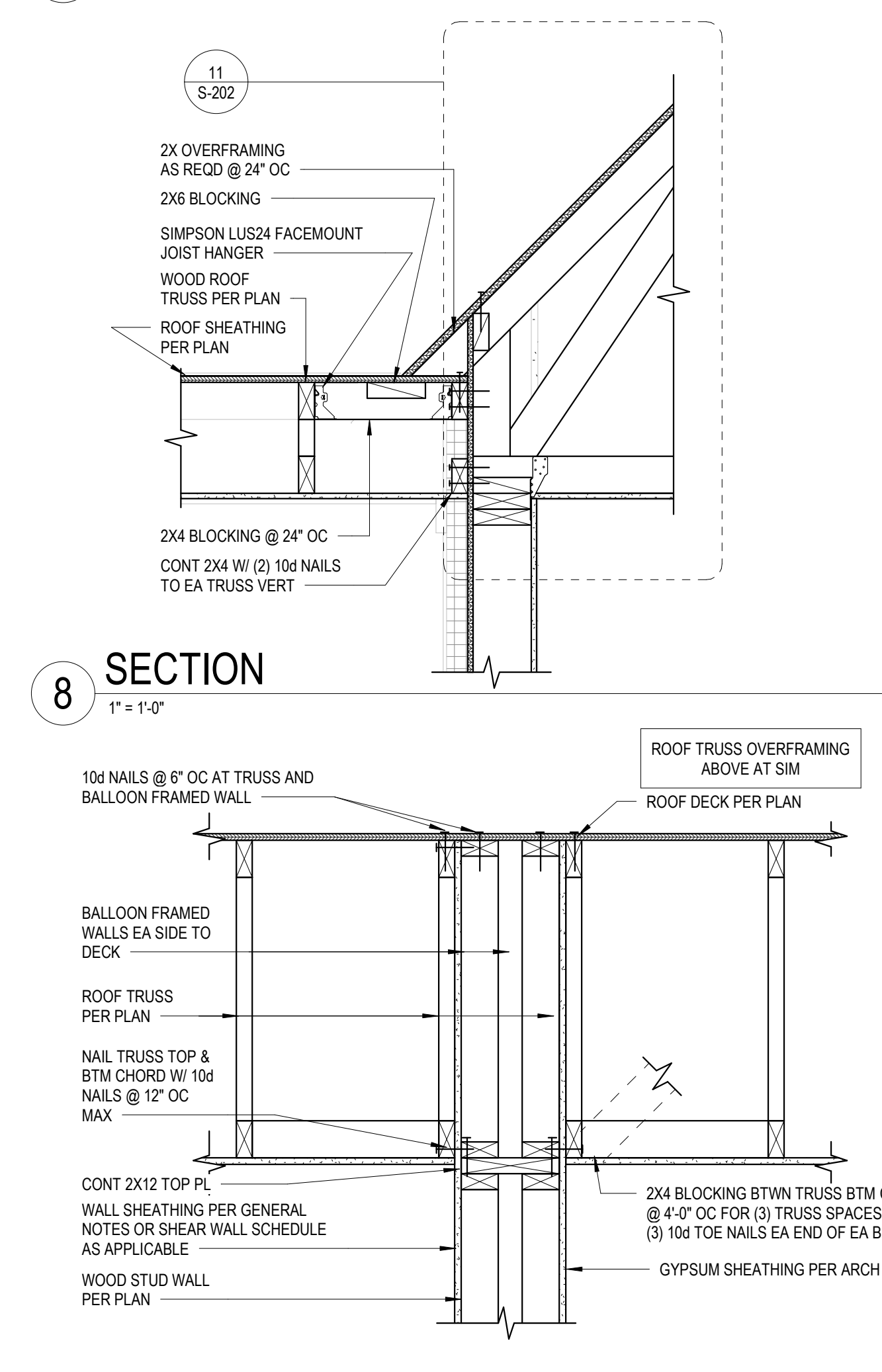
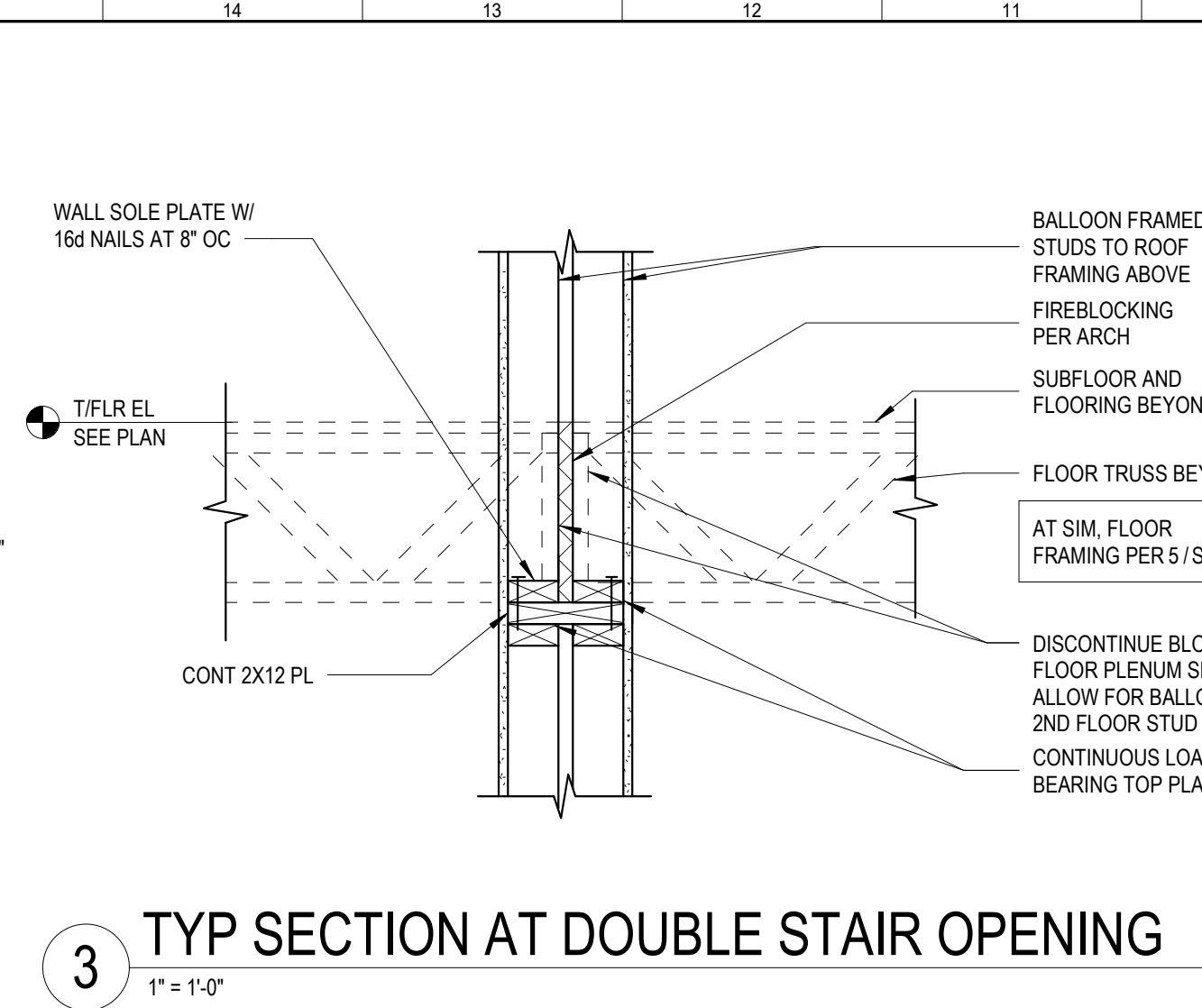
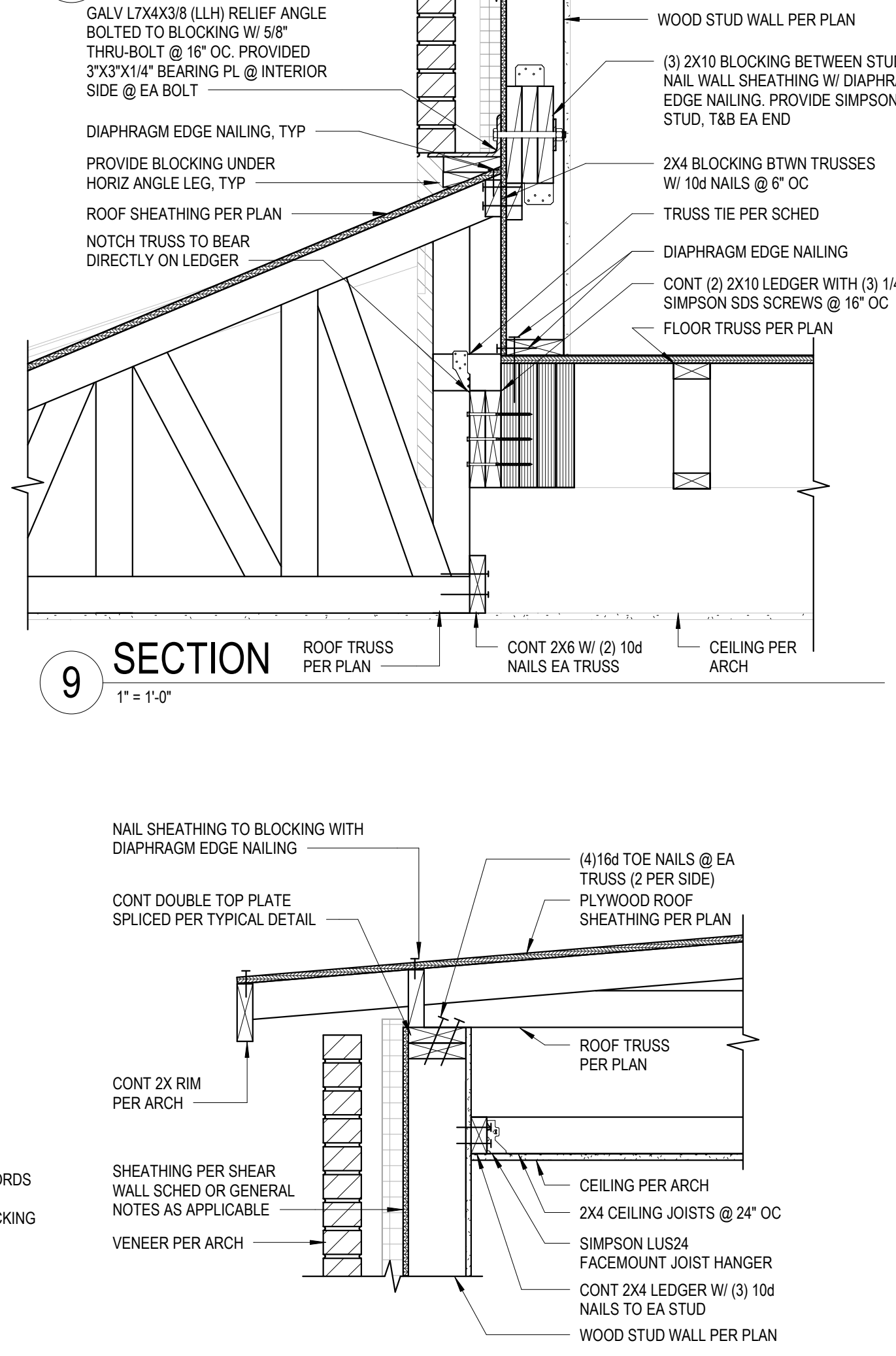
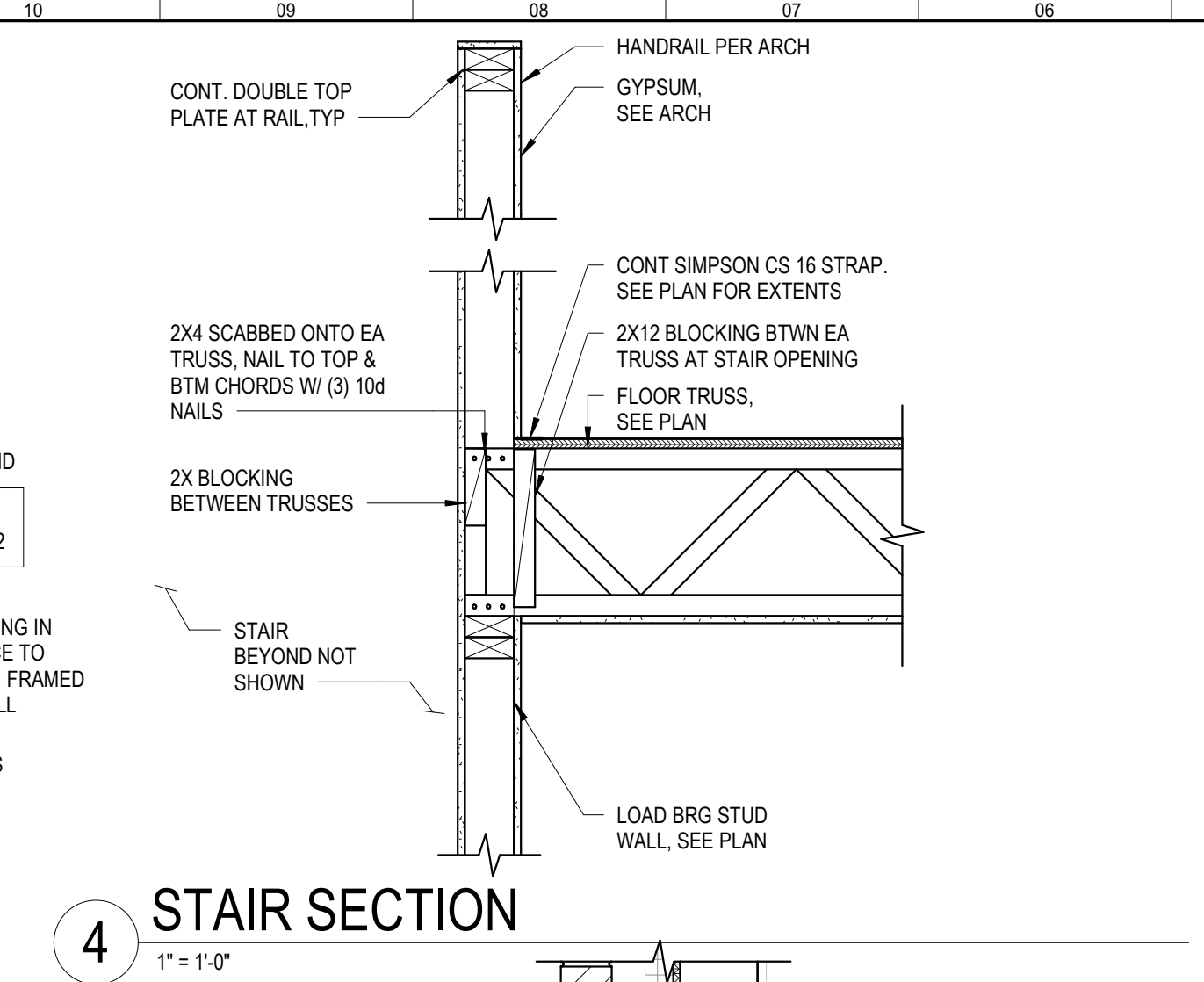
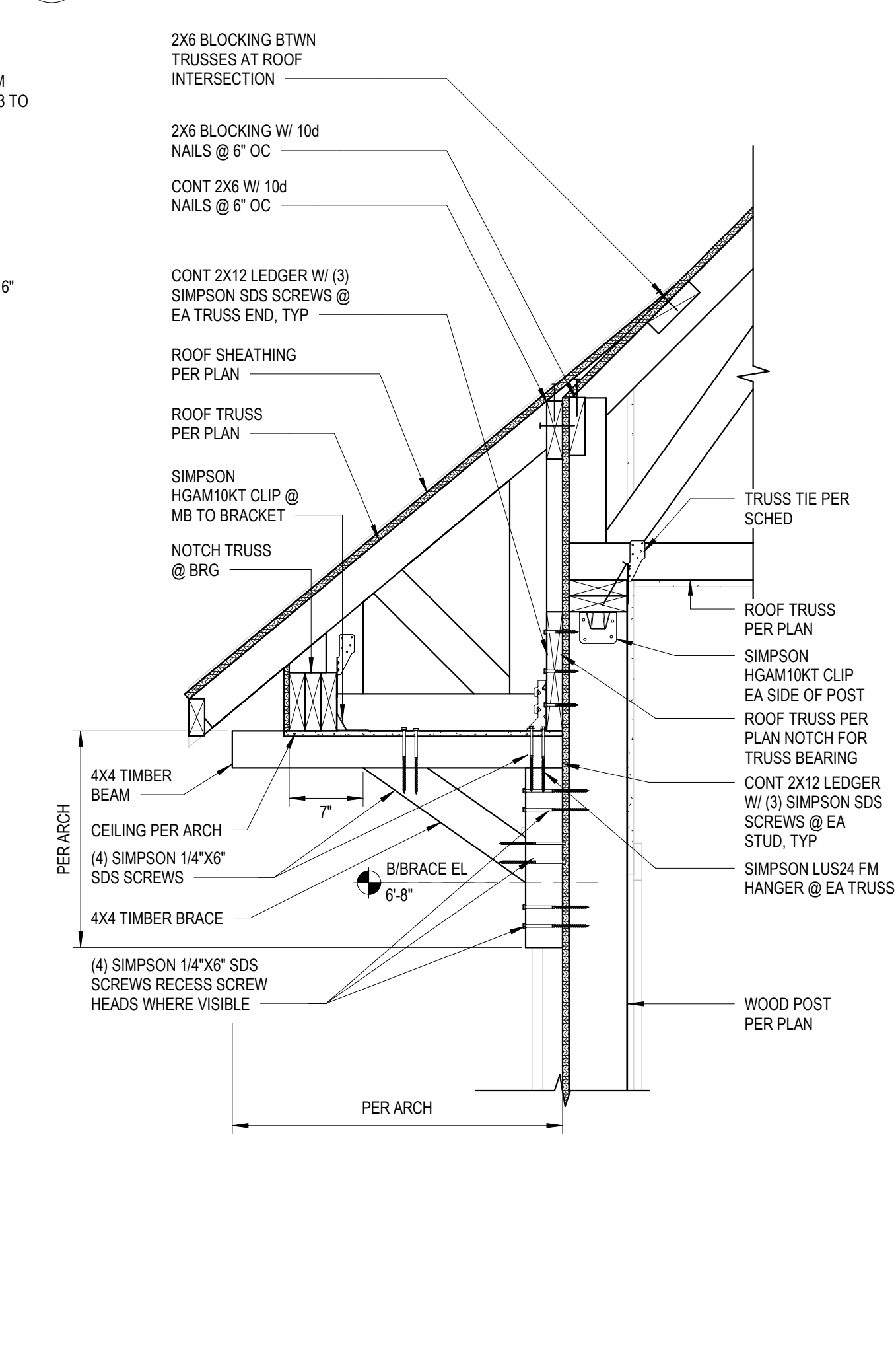
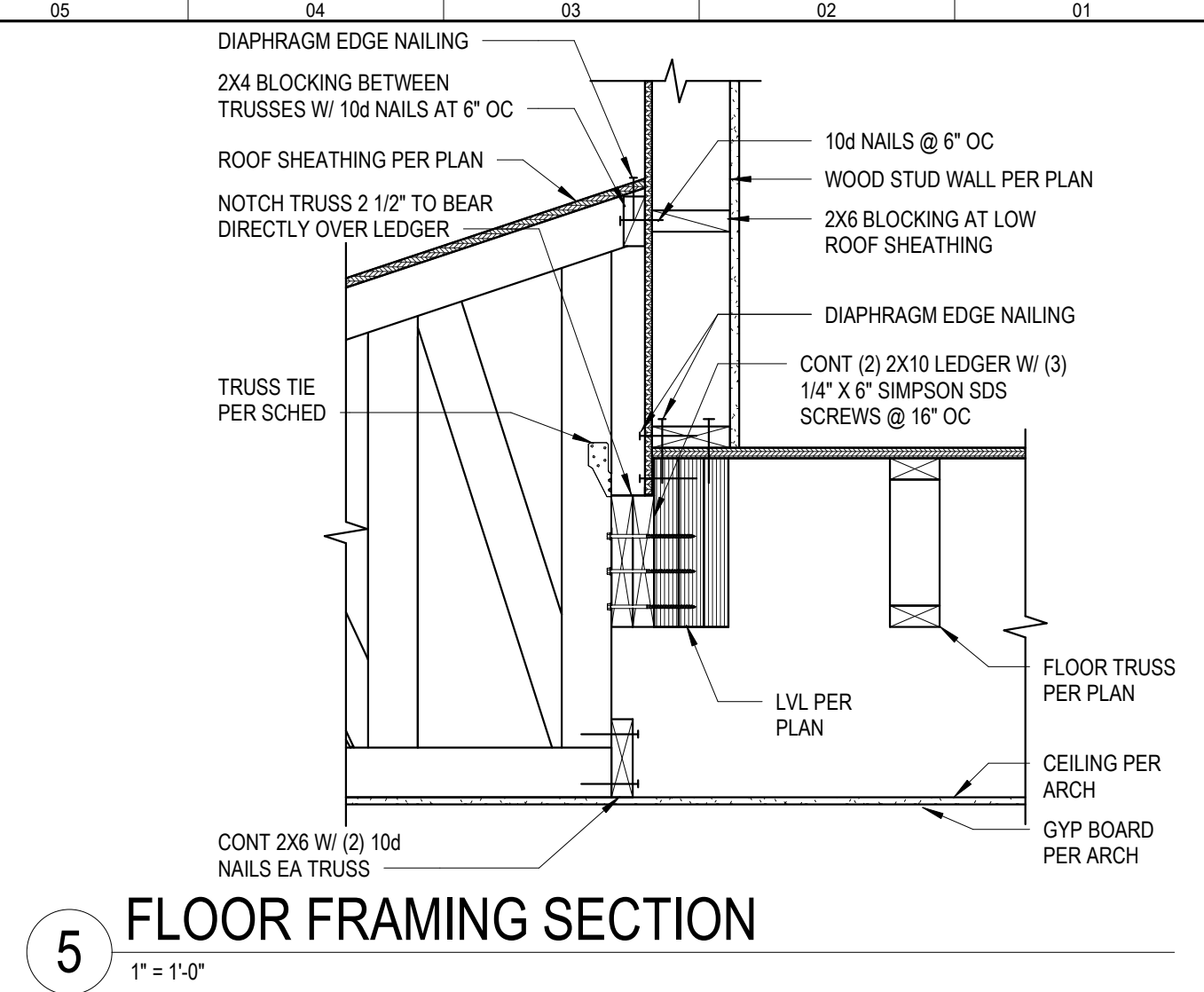


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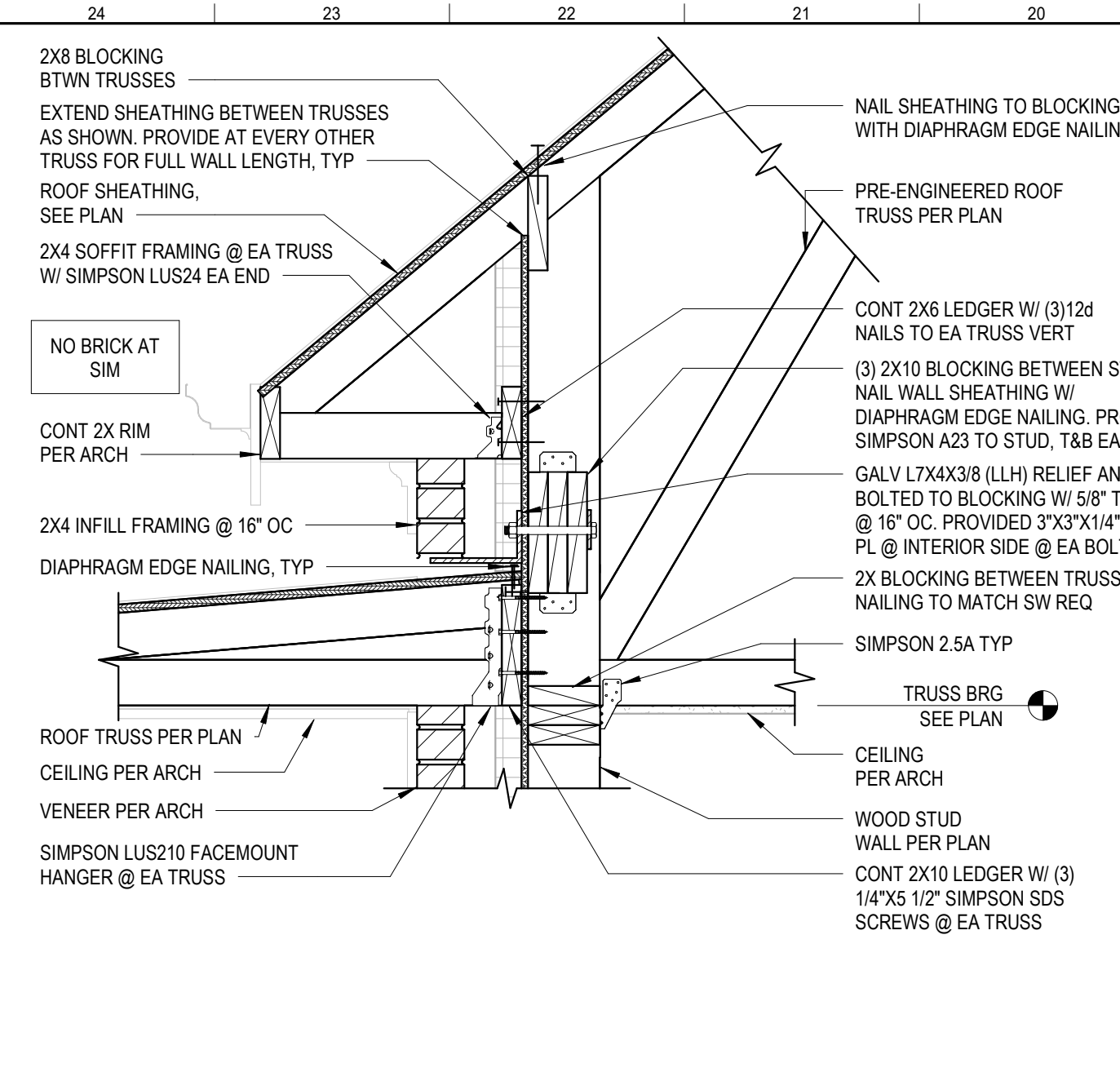
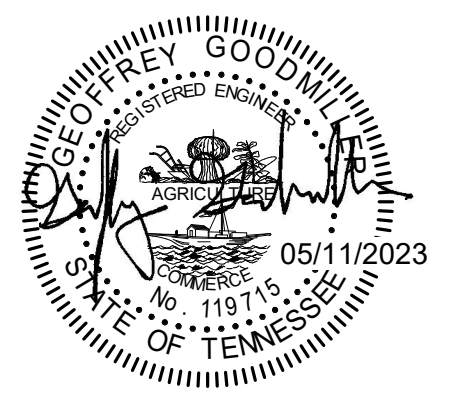


11 EXT PORCH WALL FOOTING W/ BRICK

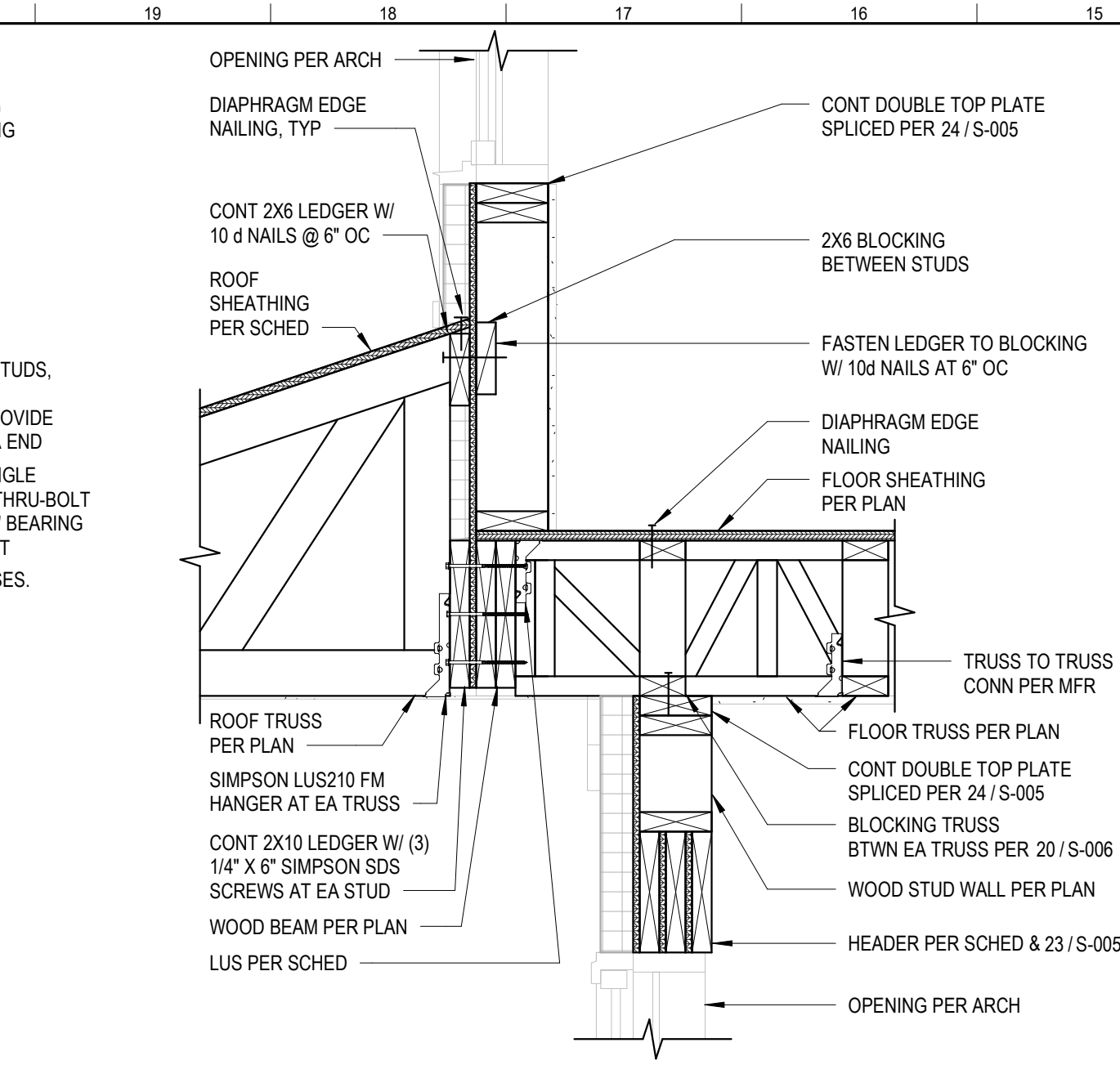
12 TYP STAIR DETAIL



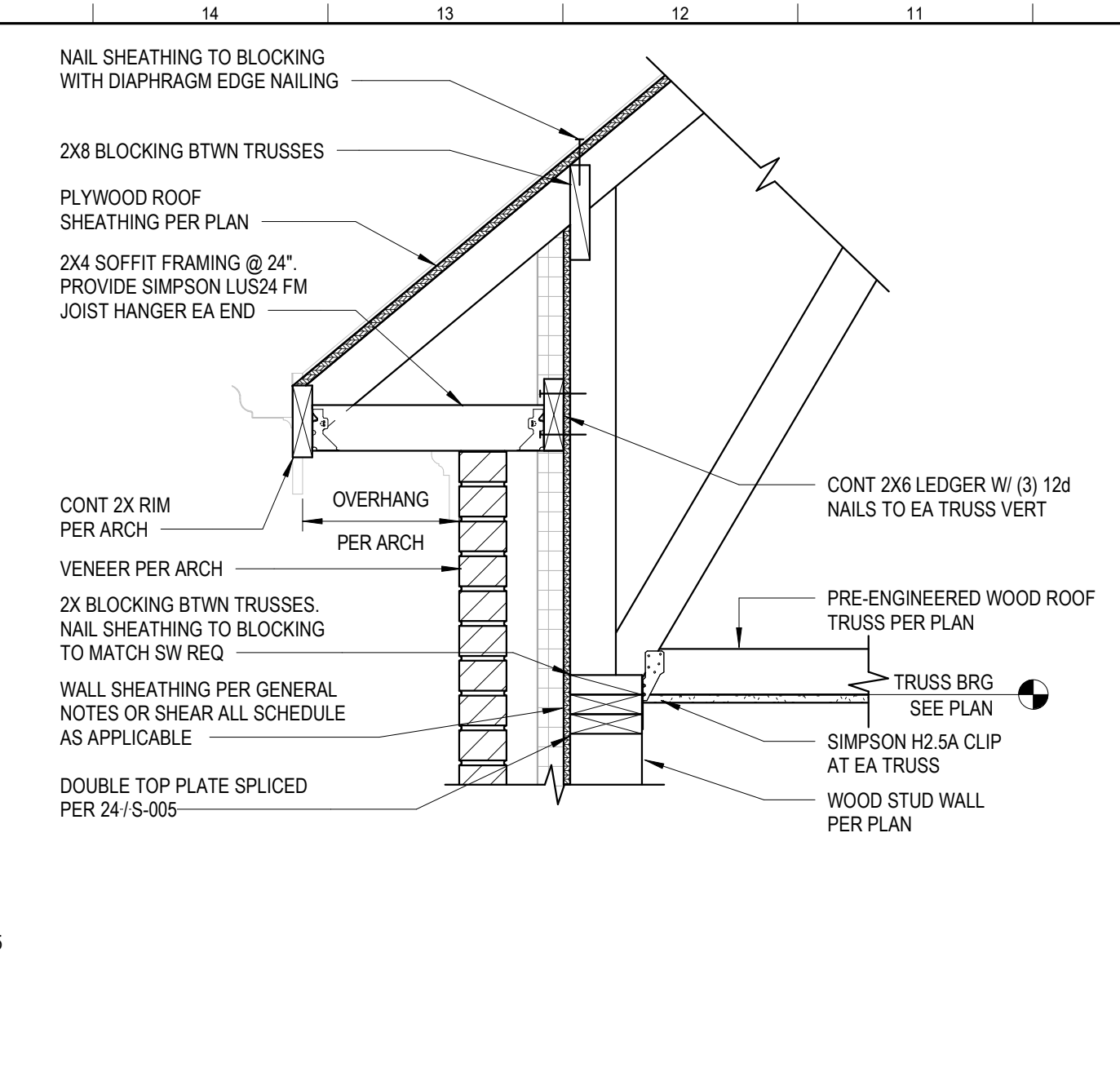
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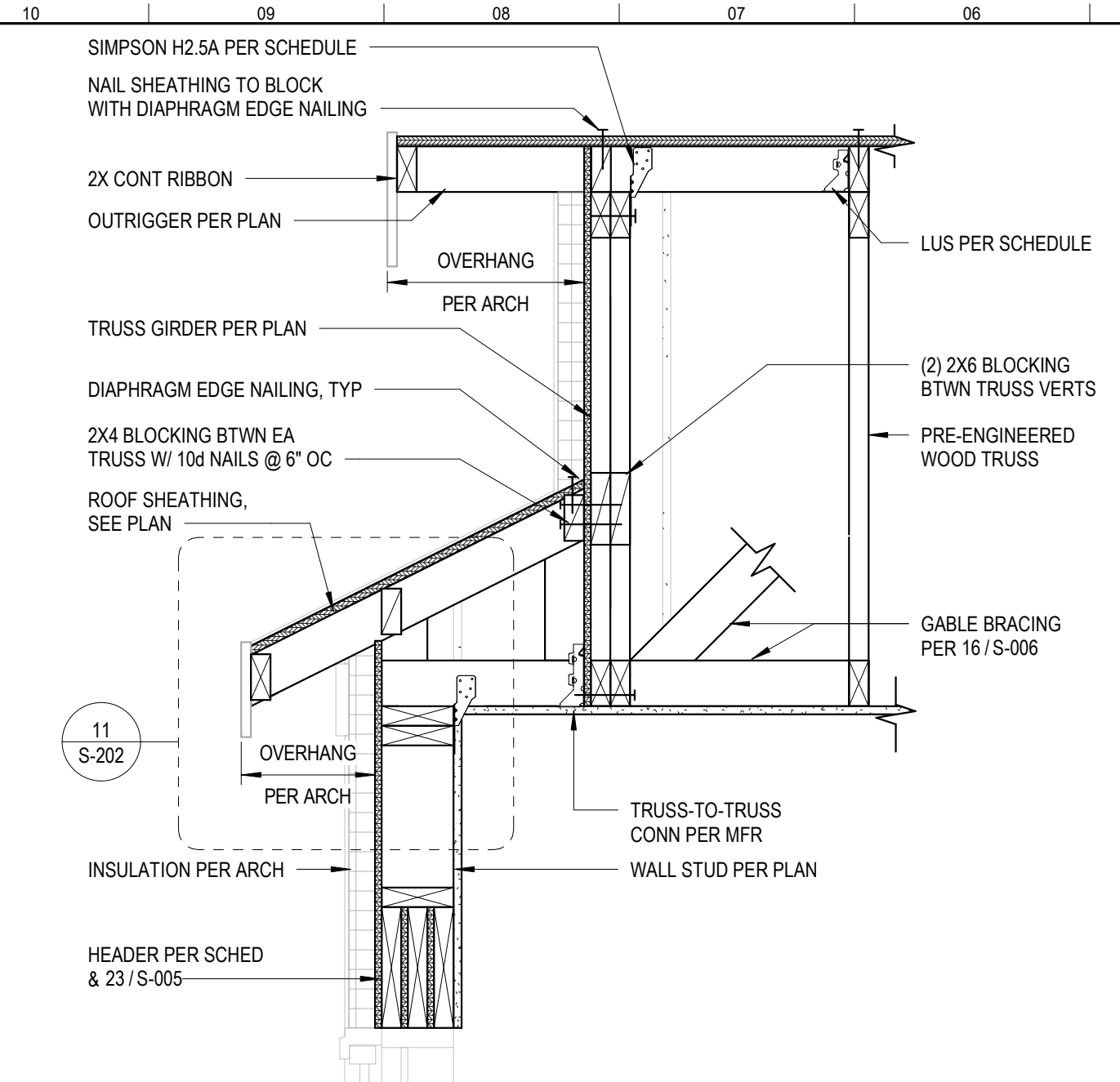
1 TRUSS BEARING AT PORCH SECTION  
1" = 1'-0"



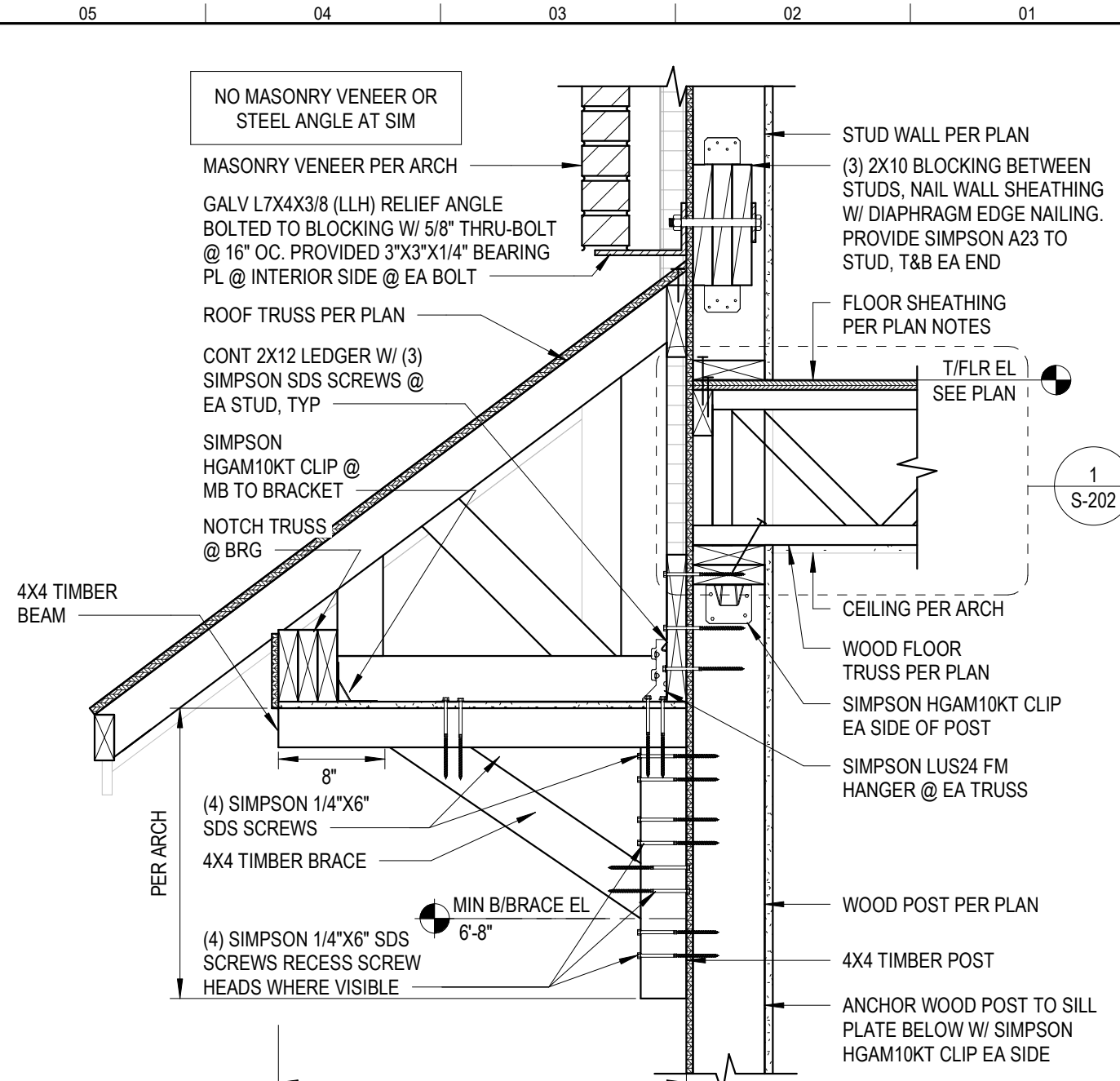
2 FLOOR SECTION  
1" = 1'-0"



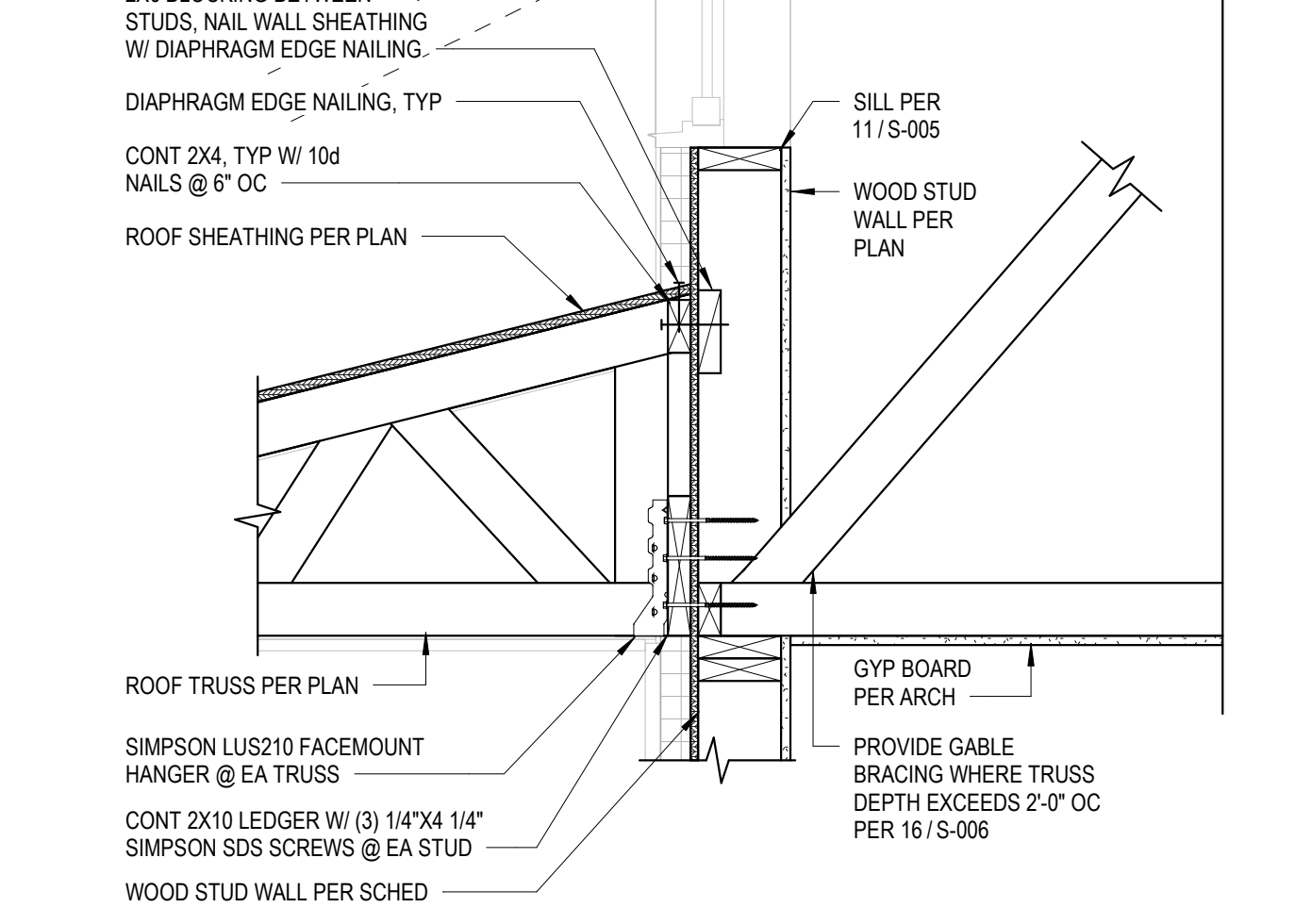
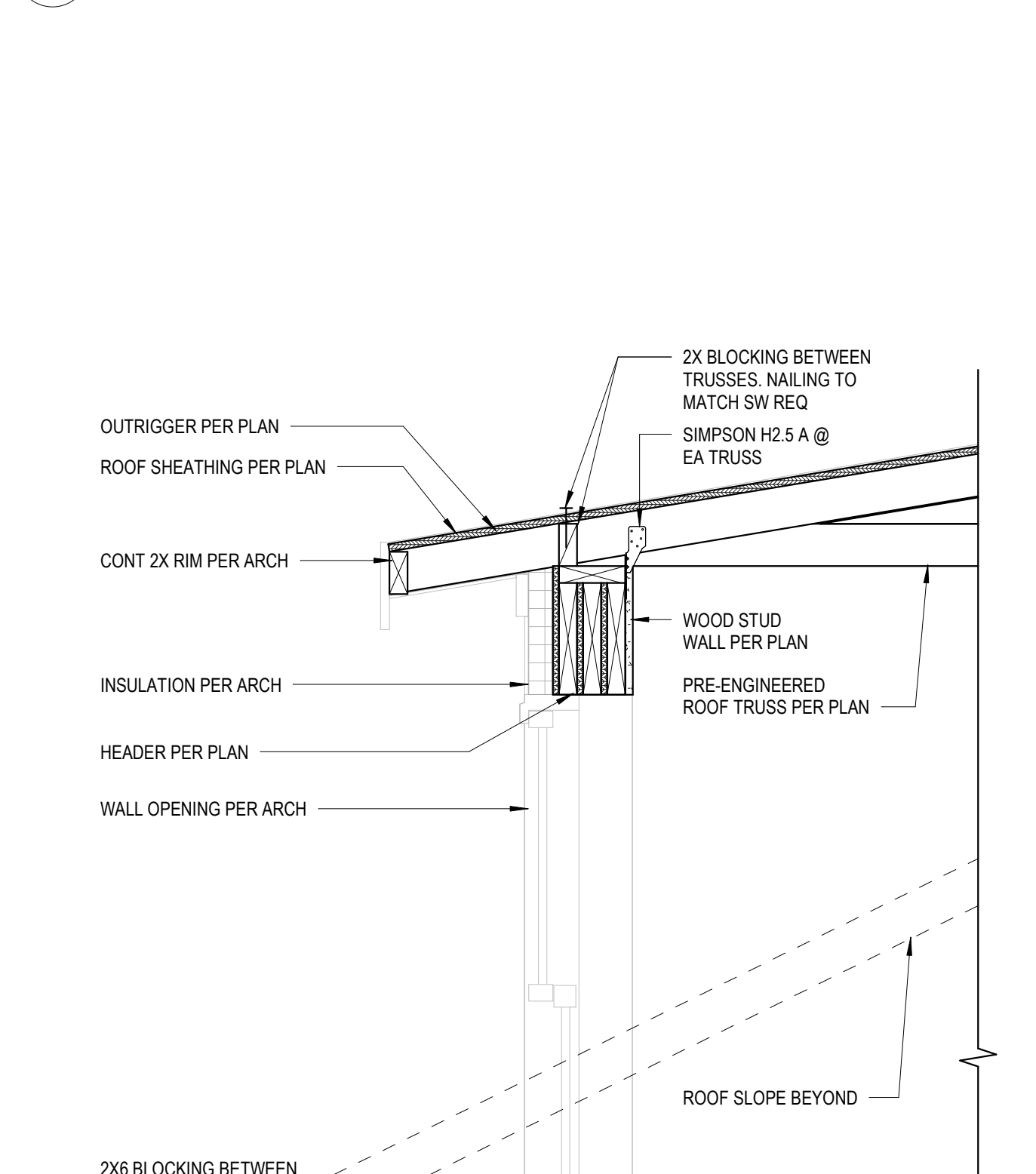
3 TYP ROOF TRUSS BEARING AT EXT WALL  
1" = 1'-0"



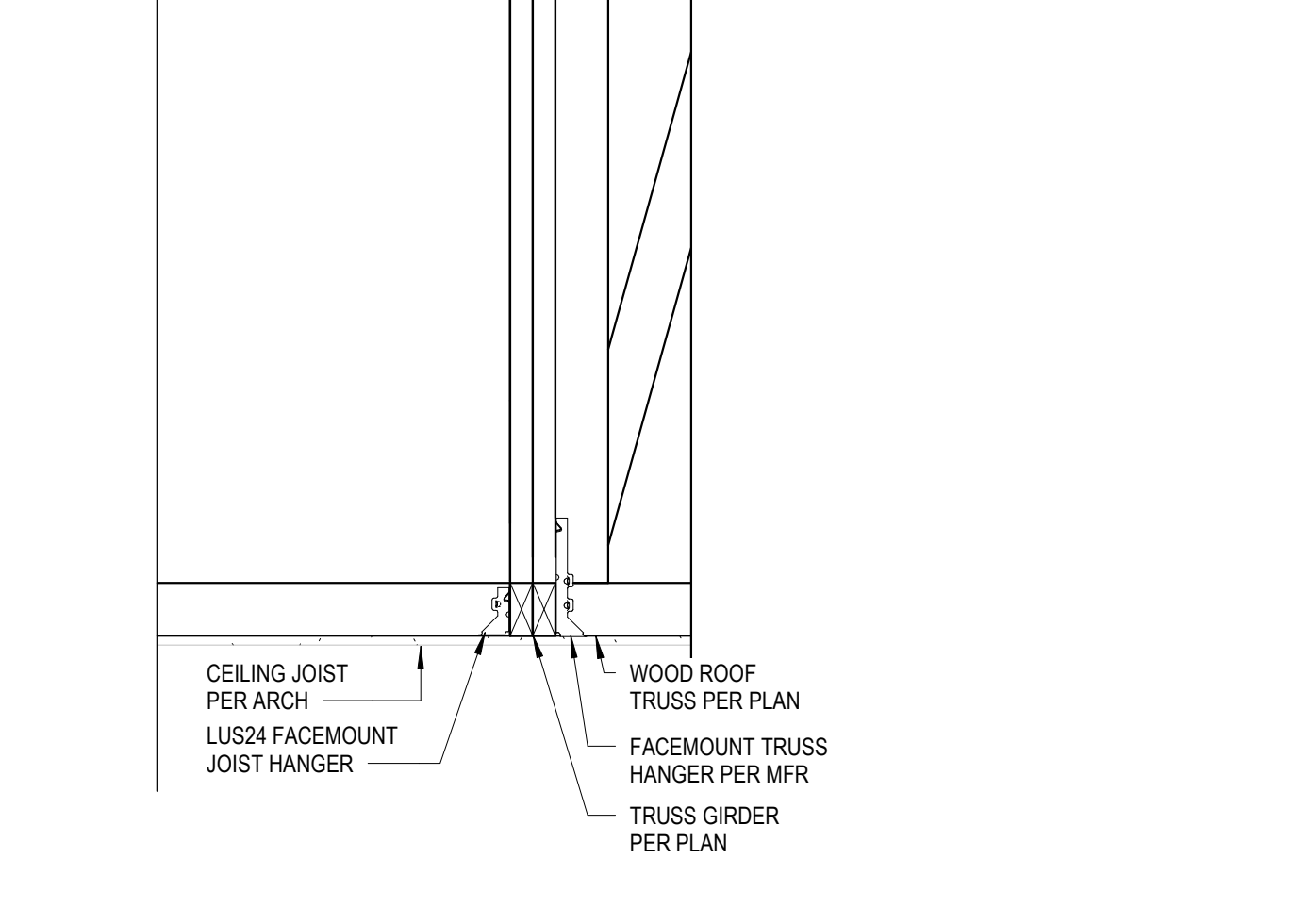
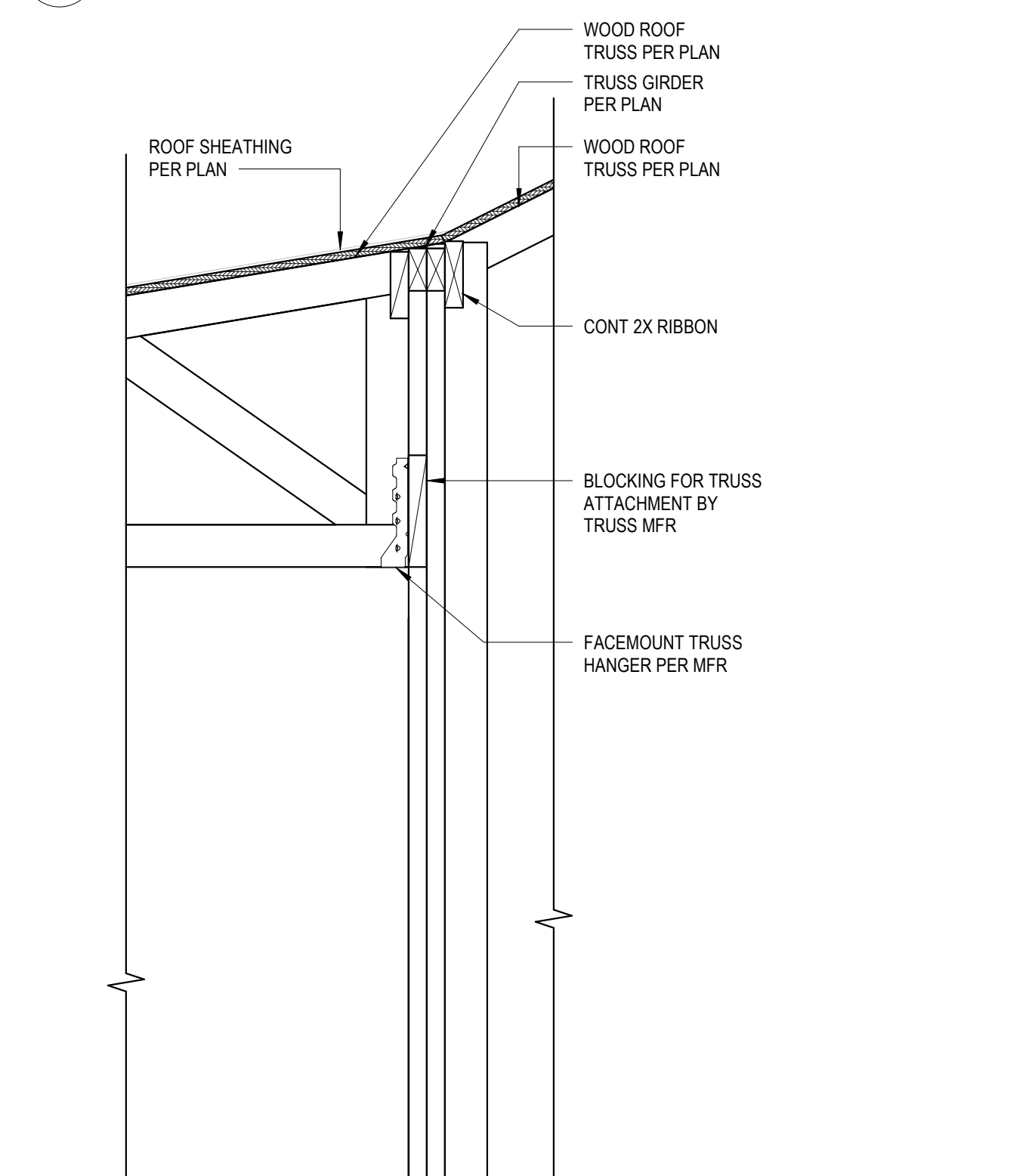
4 ROOF SECTION  
1" = 1'-0"



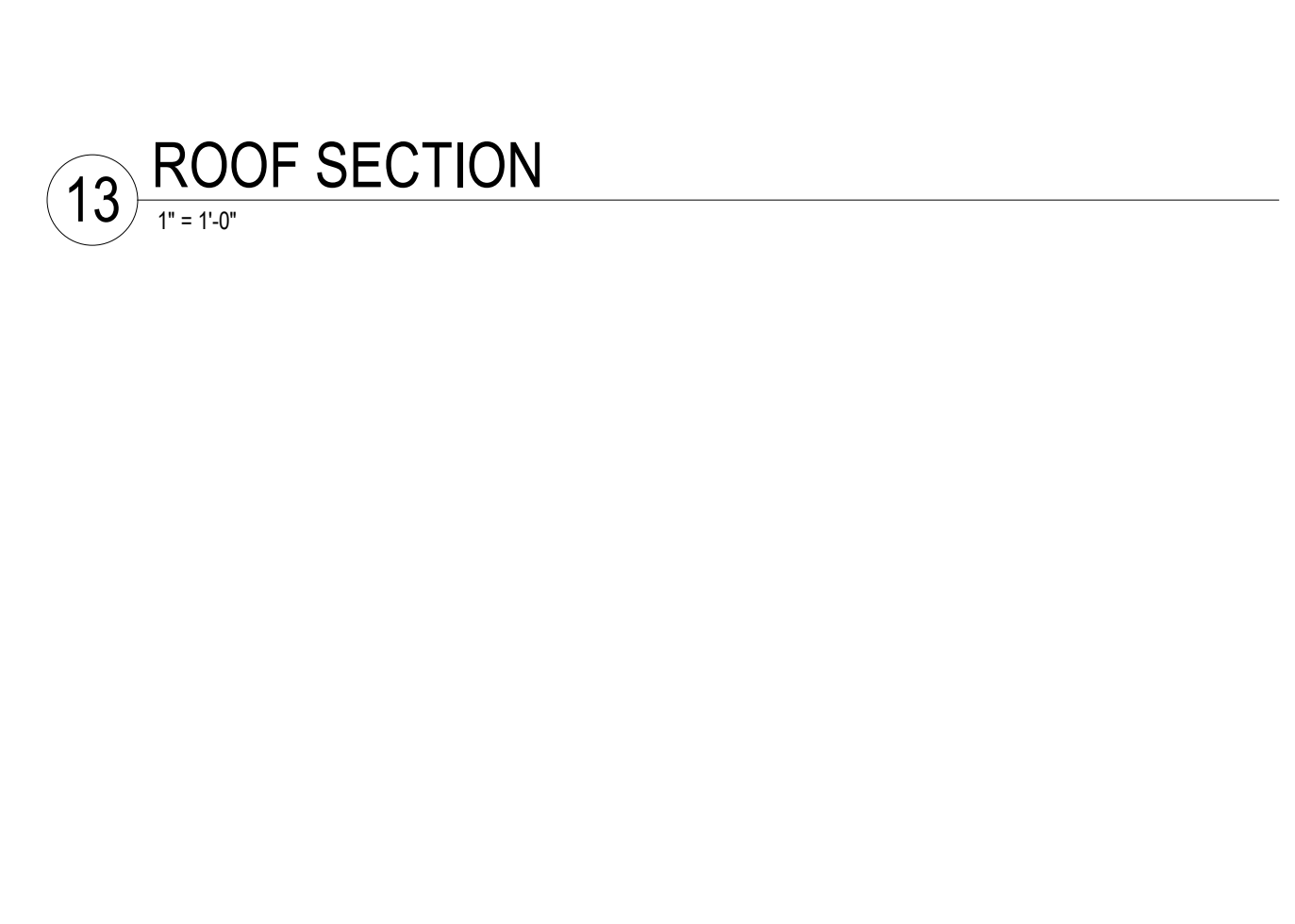
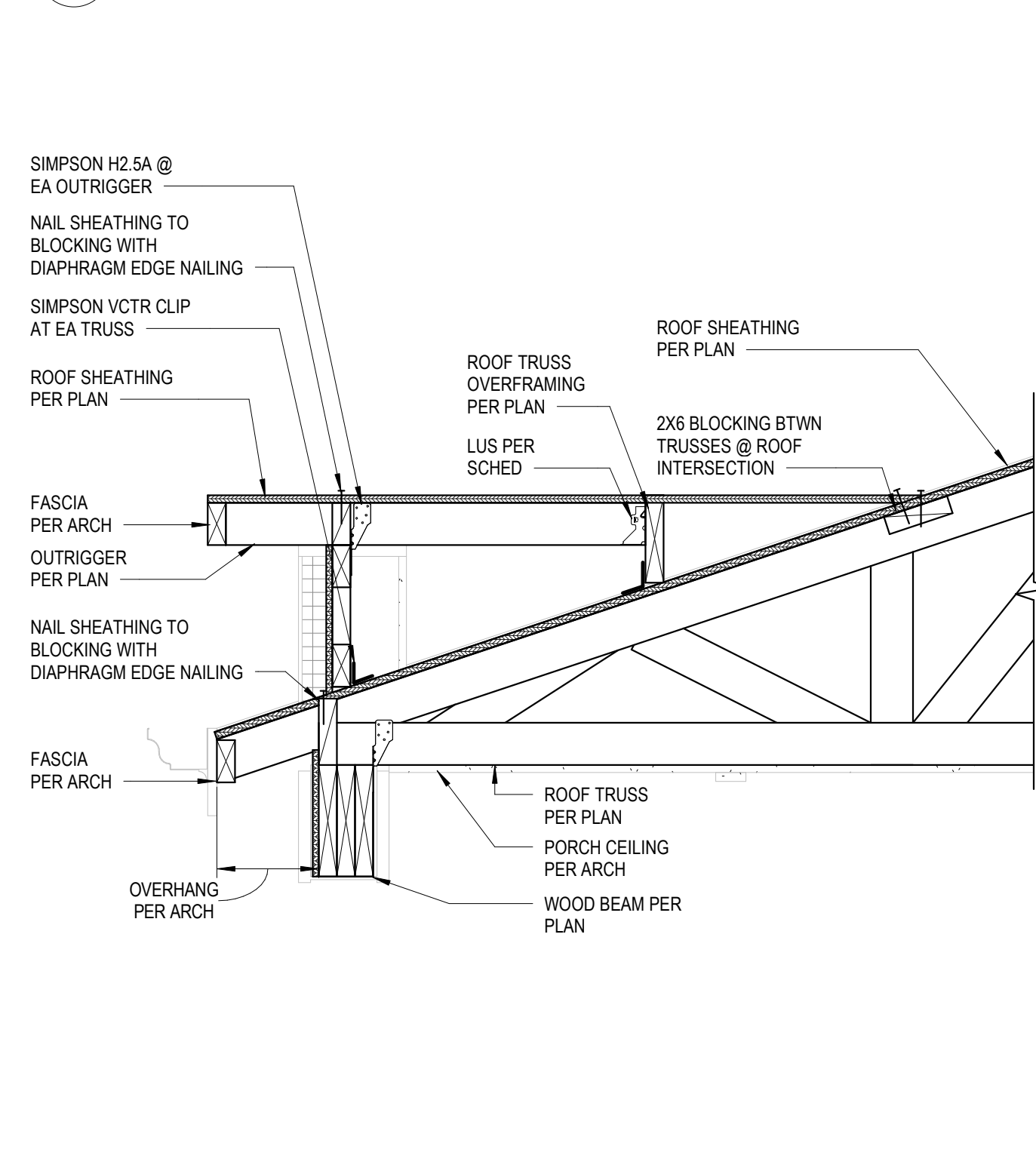
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1" = 1'-0"



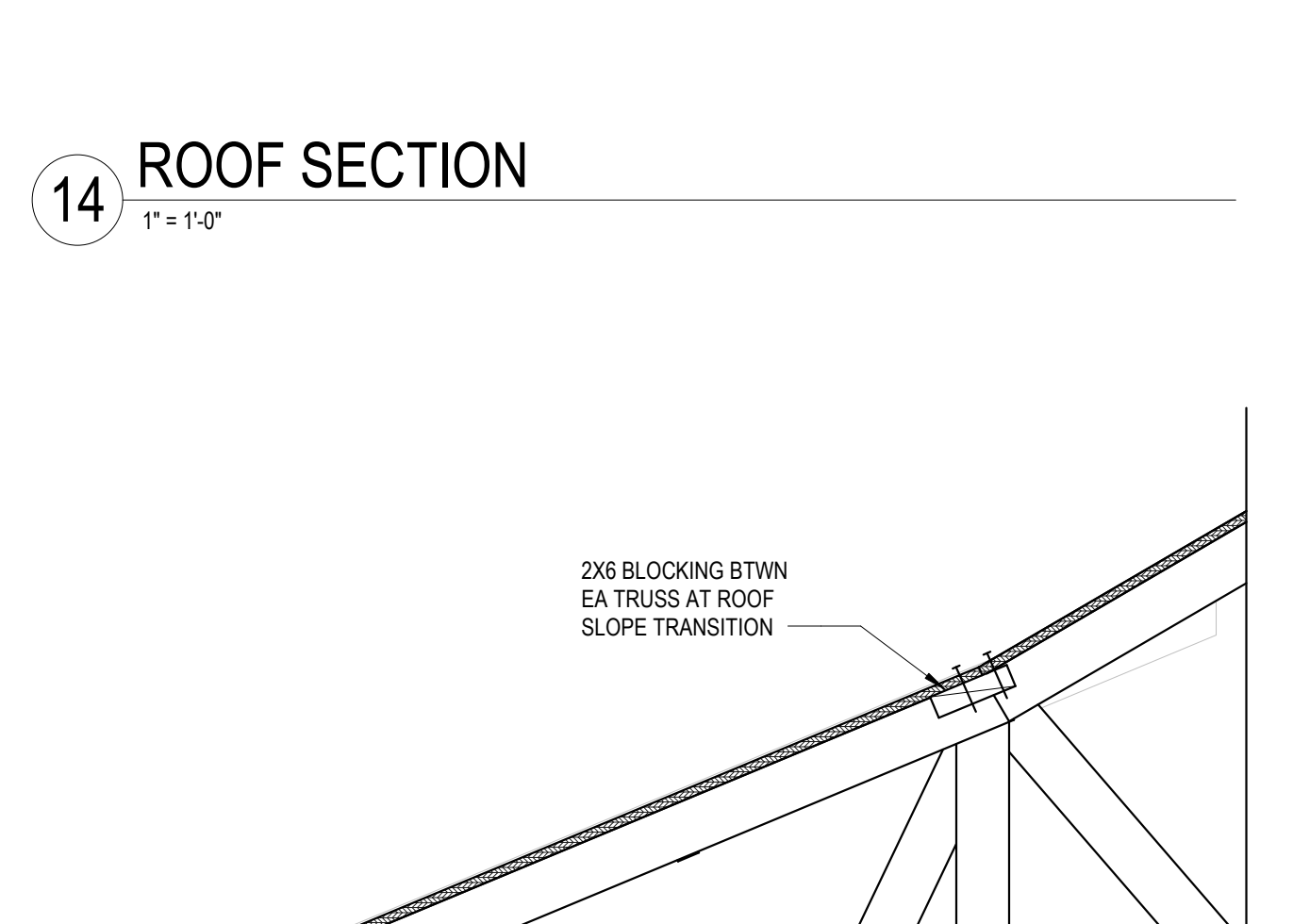
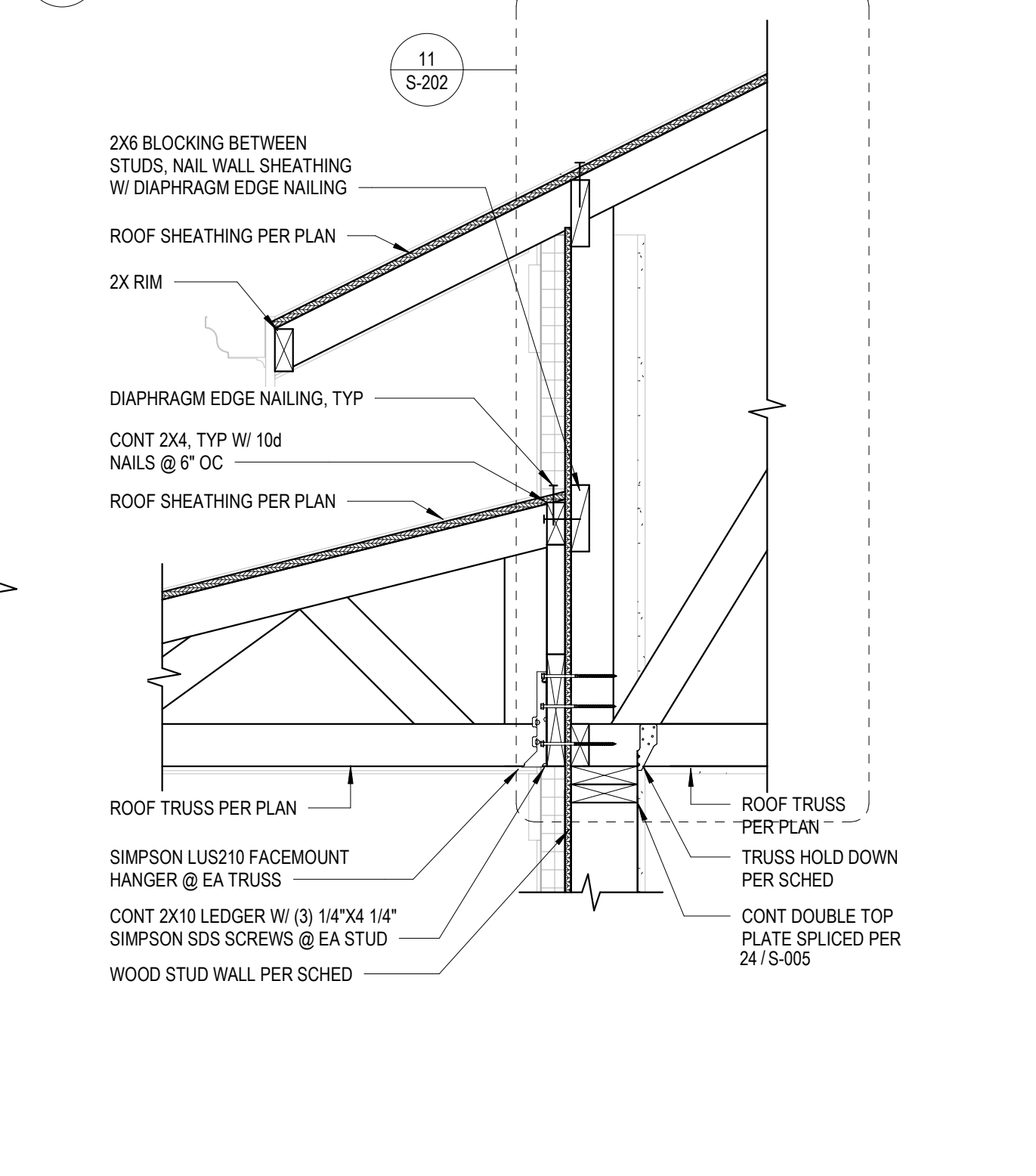
16 FRAMING SECTION  
1" = 1'-0"



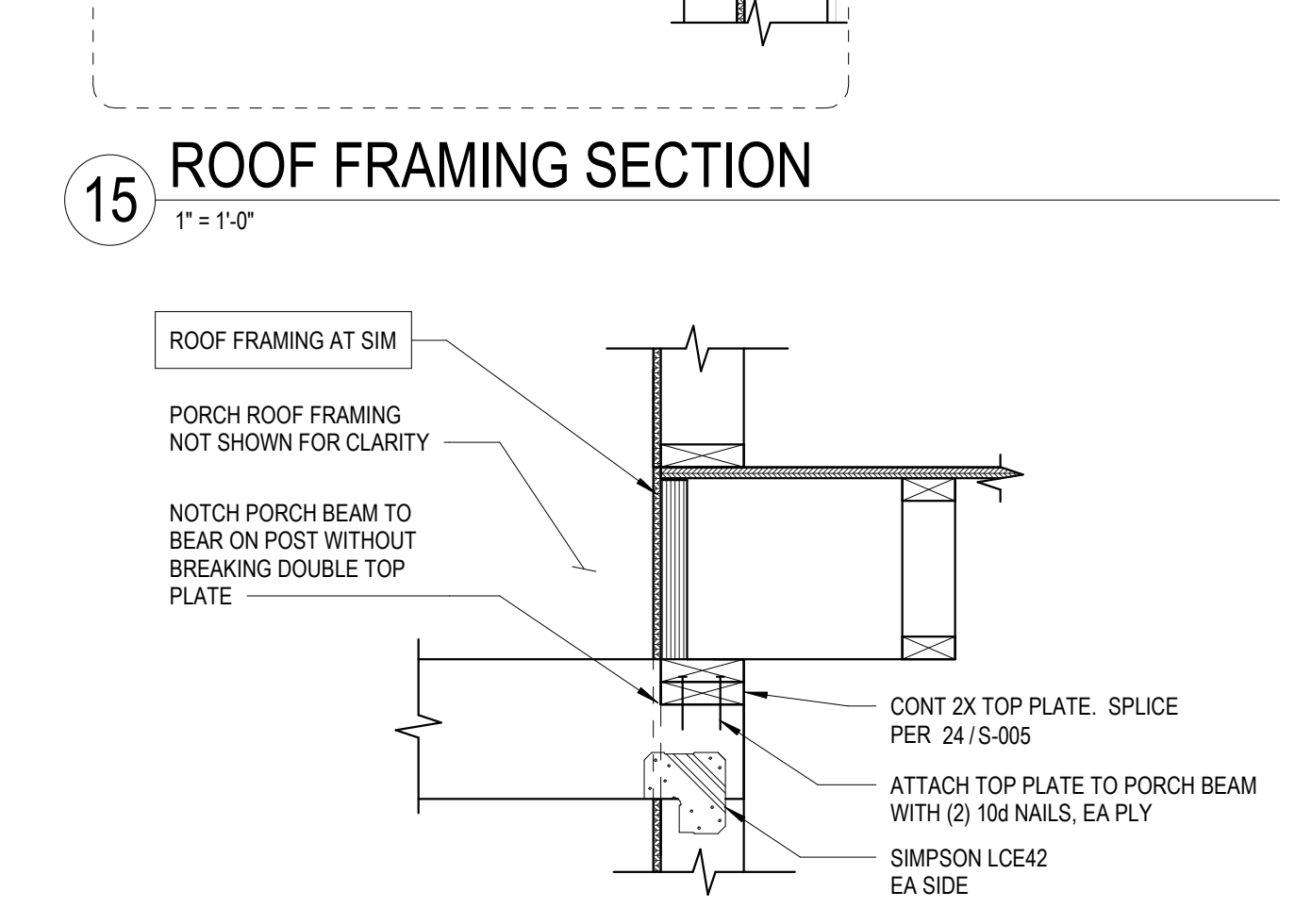
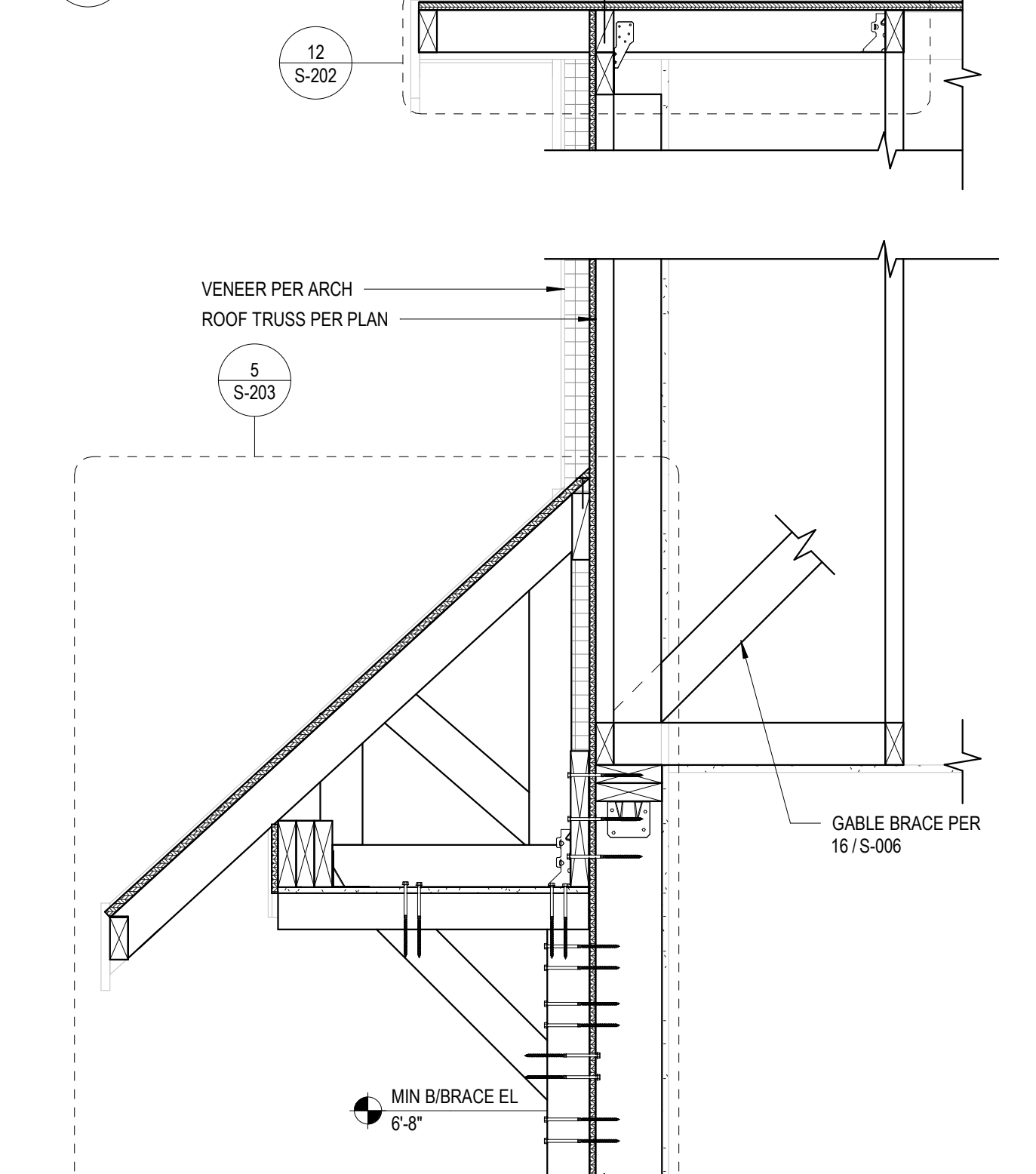
22 ROOF FRAMING SECTION  
1" = 1'-0"



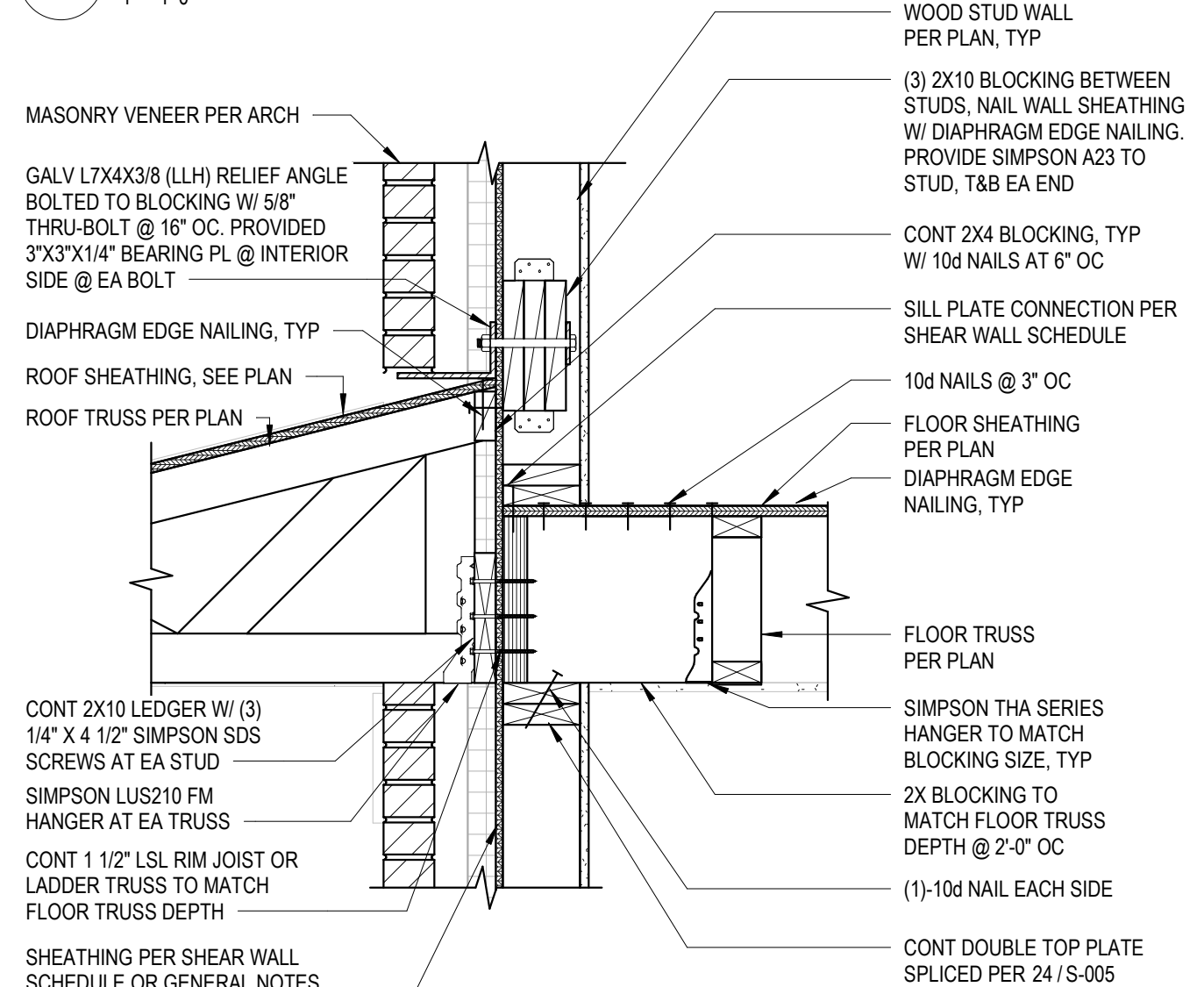
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1" = 1'-0"



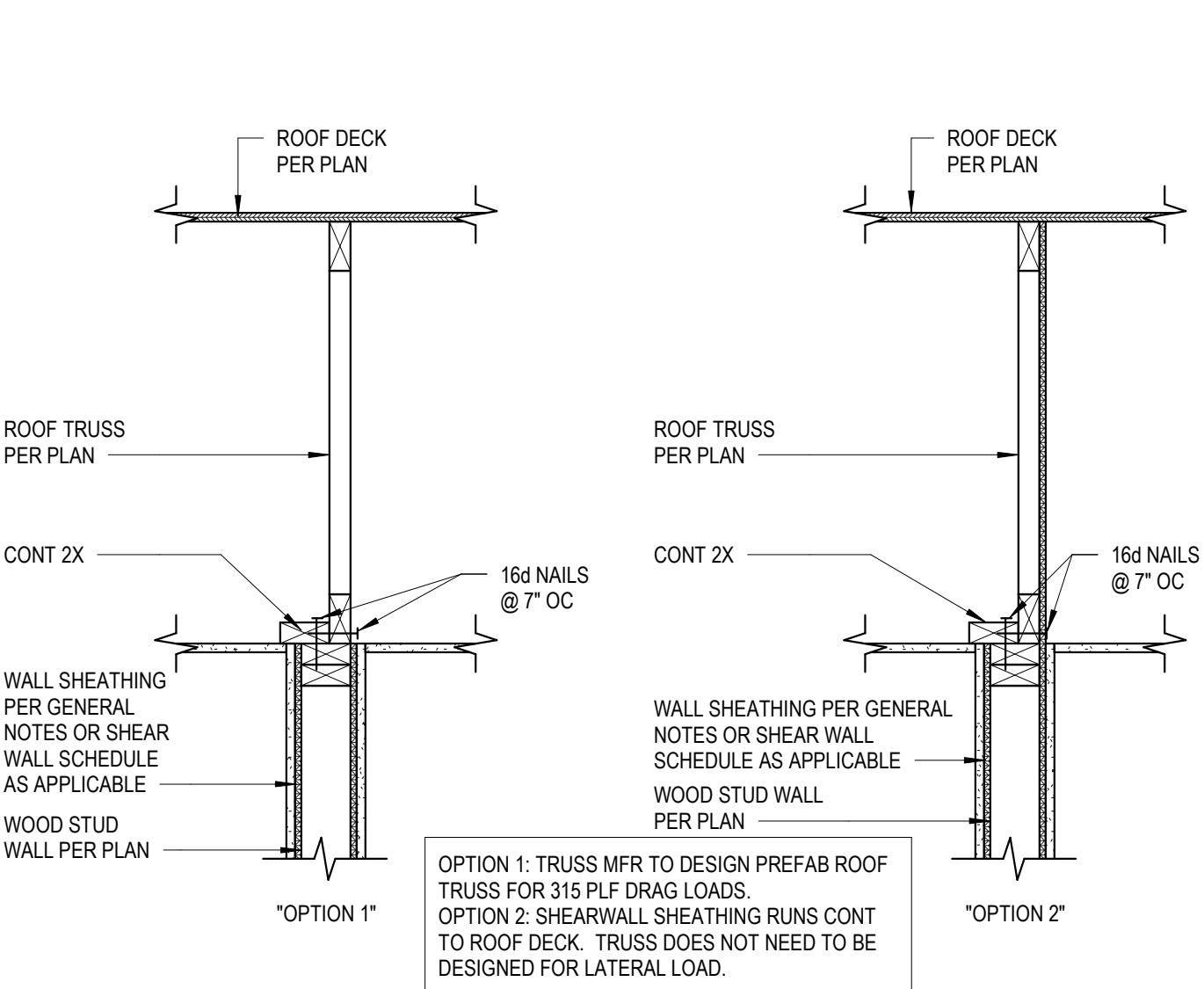
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1" = 1'-0"



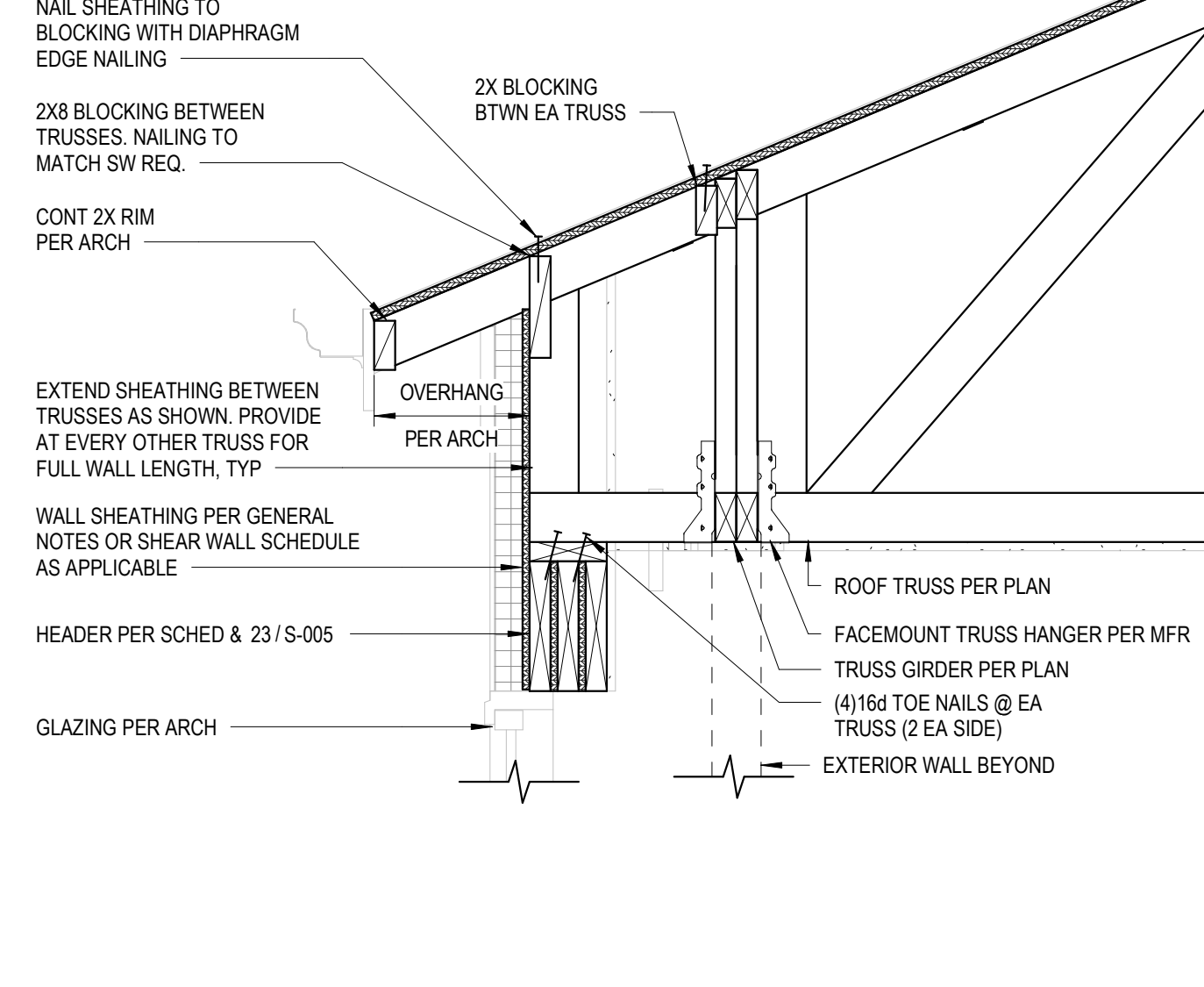
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1" = 1'-0"



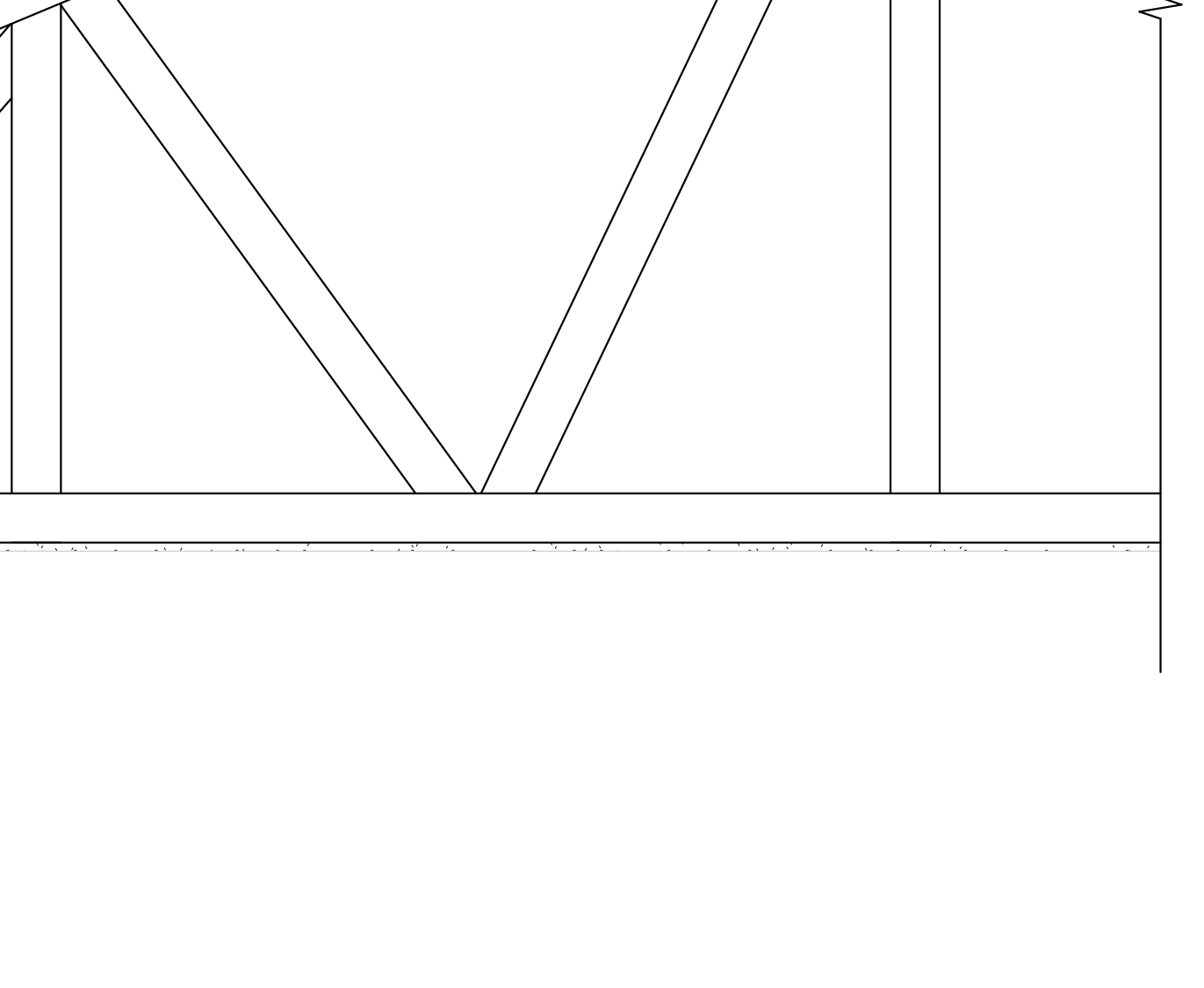
21 ROOF SECTION  
1" = 1'-0"



22 ROOF FRAMING SECTION  
1" = 1'-0"



23 ROOF SECTION  
1" = 1'-0"

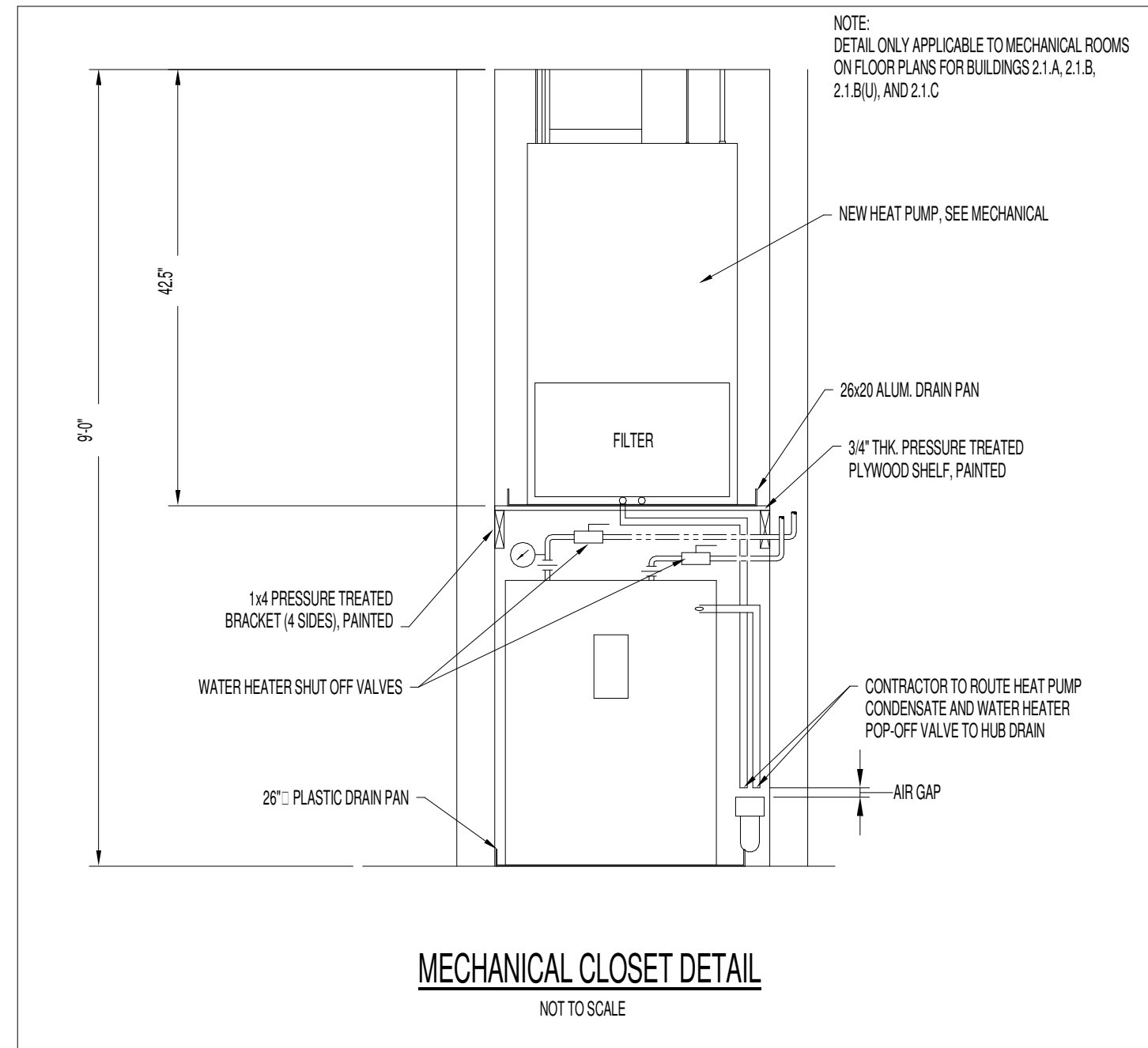
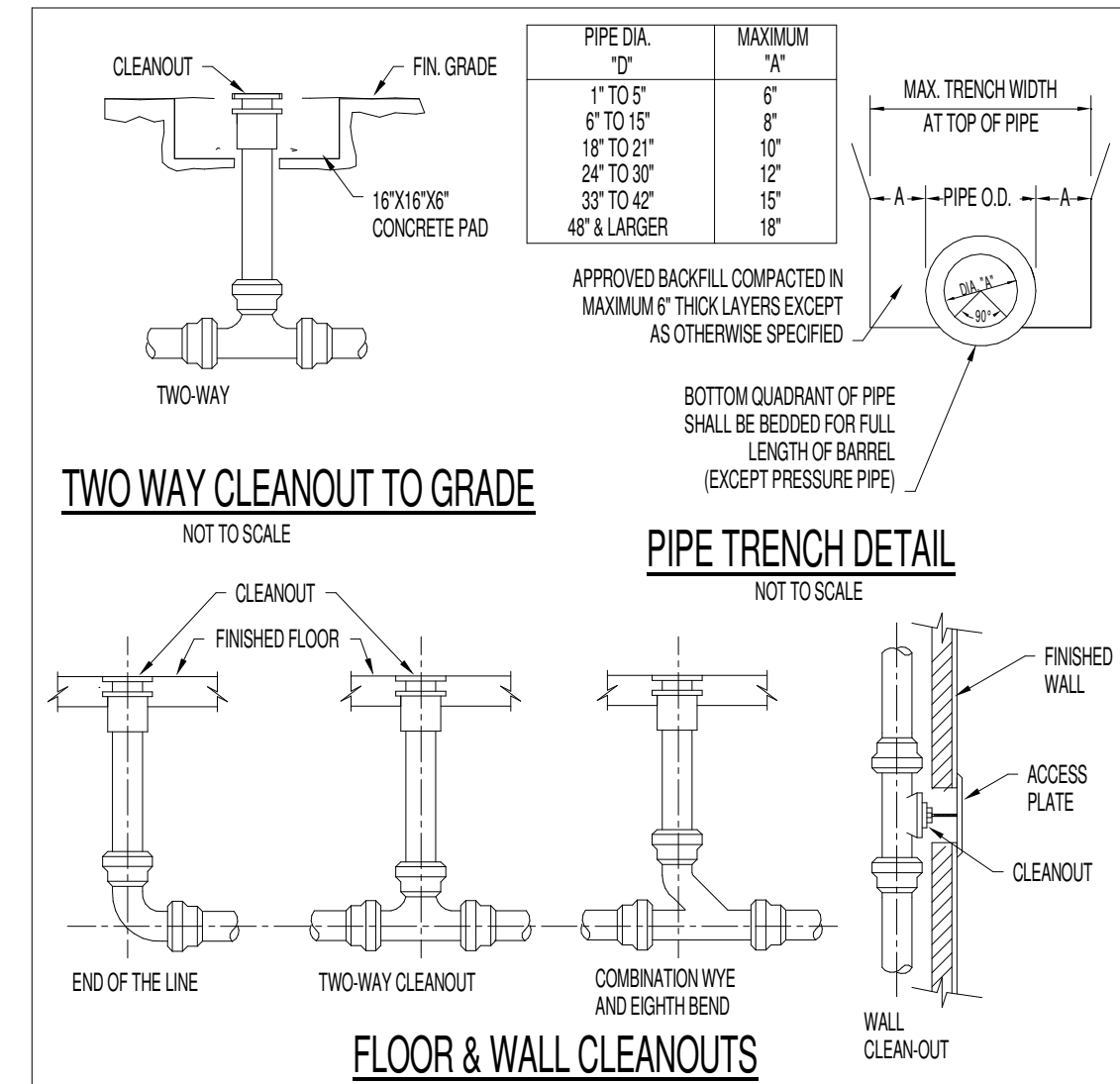


20 PORCH TIE TO FLR FRAMING  
1" = 1'-0"

PLUMBING FIXTURE SCHEDULE					
DESIGNATION	FIXTURE TYPE	MANUFACTURER	MODEL#	DESCRIPTION	NOTES
F01	CLEANOUT	ZURN	ZN38-BE1	DURA-COAT CAST IRON ADJUSTABLE CLEANOUT WITH MODEL BRONZE TOP	
F02	CLEANOUT	ZURN	ZN38	DURA-COAT CAST IRON ADJUSTABLE CLEANOUT WITH HEAVY DUTY CAST IRON TOP	
W01	CLEANOUT	ZURN	ZN16	CLEANOUT TEE, DURA-COATED CAST IRON BODY W/ 4 GAS AND WATER/TIGHT ABS TAPERED THREAD PLUG	
	ACCESS COVER	ZURN	ZN49	ROUND STAINLESS STEEL ACCESS COVER W/ SECURING SCREW	
F01	FLOOR DRAIN	ZURN	ZN48-BN-S-R-Z-BE1	DURA-COATED CAST IRON BODY FLOOR DRAIN WITH 3" POLISHED MODEL BRONZE STRAINER	
H01	HUB DRAIN CONNECTION SIZES	PROSET SYSTEM	TG200	2" x 1" TRAP GUARD HUB DRAIN W/ CONCRETE PROTECTIVE CAP, INSTALLATION FOR CONCRETE FLOORING WASTE 2", VENT 1/2"	
W01	WATER CLOSET	ZURN	Z562-2LH-RH-4 HPT	1/2" HP FLOOR MOUNTED TANK TYPE HIGH PERFORMANCE 1000G PWP RATING 2" FLUSH ACTION STANDARD HEIGHT WATER CLOSET WITH TANK LEVER TO BE DETERMINED BY OPEN AREA OTHER RIGHT OR LEFT AND 1/2" HP FULLY GLAZED TRAPWAY	
	SEAT SUPPLY	ZURN	Z565B65	WHITE CLOSED FRONT TOILET SEAT W/ COVER AND STAINLESS STEEL CHECK HINGE	
	CONNECTION SIZES	ZURN	Z88A-LI-CR-G-PC	1/2" x 3/8" COP R COMP LAUATORY SUPPLY KIT COMPLETE WITH QUARTER TURN STOP, CHROME PLATED COPPER TUBE SUPPLY AND ECO-CROWN OR 1/2" WASTE 1/2" VENT 1/2"	
W02	WATER CLOSET	ZURN	Z562-2LH-RH-4 HPT	1/2" HP FLOOR MOUNTED TANK TYPE HIGH PERFORMANCE 1000G PWP RATING 2" FLUSH ACTION ADA HEIGHT WATER CLOSET WITH TANK LEVER TO BE DETERMINED BY OPEN AREA	
	SEAT SUPPLY	ZURN	Z565B65	WHITE CLOSED FRONT TOILET SEAT W/ COVER AND STAINLESS STEEL CHECK HINGE	
	CONNECTION SIZES	ZURN	Z88A-LI-CR-G-PC	1/2" x 3/8" COP R COMP LAUATORY SUPPLY KIT COMPLETE WITH QUARTER TURN STOP, CHROME PLATED COPPER TUBE SUPPLY AND ECO-CROWN OR 1/2" WASTE 1/2" VENT 1/2"	
L1	SINK	KOHLER	K-294-L	FRAMINGTON VITREOUS CHINA DROP IN SINK CENTER	
	FAUCET	KOHLER	9-294-S	CHRYSTAL SINGLE HANDLE CAST LAVAORY FAUCET WITH 50PM AERATOR AND CERAMIC DISC CARTRIDGE	
	DRAIN	ZURN	Z111-L	GRID STRAINER W/ 2" TAILPIECE	
	P-TRAP	ZURN	Z870-PC	1/2" CAST BRASS P-TRAP WITH CLEANOUT	
	SUPPLIES	ZURN	Z88A-LI-CR-G-PC	1/2" x 3/8" COP R COMP LAUATORY SUPPLY KIT WITH ECO-CROWN, 1/4" TURN CHROME PLATED STOPS AND CHROME PLATED COPPER TUBE SUPPLY LINES	
	CONNECTION SIZES	ZURN	Z88A-LI-CR-G-PC	1/2" x 3/8" COP R COMP LAUATORY SUPPLY KIT WITH ECO-CROWN, 1/4" TURN CHROME PLATED STOPS AND CHROME PLATED COPPER TUBE SUPPLY LINES	
L2	LAVATORY FAUCET	KOHLER	K-299-L	FRAMINGTON VITREOUS CHINA DROP IN SINK SINGLE HOLE	
	FAUCET	KOHLER	K-299-S	CHRYSTAL SINGLE HANDLE 1.2 GPM BATHROOM SINK FAUCET W/ METAL POP-UP DRAIN AND TAILPIECE	
	DRAIN	ZURN	Z111-L	1/2" CAST BRASS P-TRAP WITH CLEANOUT	
	P-TRAP	ZURN	Z870-PC	1/2" x 3/8" COP R COMP LAUATORY SUPPLY KIT WITH ECO-CROWN, 1/4" TURN CHROME PLATED STOPS AND CHROME PLATED COPPER TUBE SUPPLY LINES	
	SUPPLIES	ZURN	Z88A-LI-CR-G-PC	1/2" x 3/8" COP R COMP LAUATORY SUPPLY KIT WITH ECO-CROWN, 1/4" TURN CHROME PLATED STOPS AND CHROME PLATED COPPER TUBE SUPPLY LINES	
	CONNECTION SIZES	ZURN	Z88A-LI-CR-G-PC	1/2" x 3/8" COP R COMP LAUATORY SUPPLY KIT WITH ECO-CROWN, 1/4" TURN CHROME PLATED STOPS AND CHROME PLATED COPPER TUBE SUPPLY LINES	
K01	SINK	ELJAY	LR6022265	LUSTRSTONE 2 BOWL, 18 GA STAINLESS STEEL, 33" x 22" x 5-1/2" DROP IN SINK	
	FAUCET	SYMONS	S-13-2	ORGANO RTG FAUCET WITH INTERNAL, 1/2" CAST BRASS SPOUT, CERAMIC DISK CARTRIDGE	
	DRAIN	ZURN	Z111-L	METAL SINGLE ENERGY SAVING AND NATIONAL SINK SPAKE	
	P-TRAP	ZURN	Z870-PC	HEAVY DUTY BASKET STRAINER WITH CAST BRASS LOCK AND COUPLING NUT	
	SUPPLIES	ZURN	Z88A-LI-CR-G-PC	1/2" CAST BRASS P-TRAP WITH CLEANOUT	
	CONNECTION SIZES	ZURN	Z88A-LI-CR-G-PC	1/2" x 3/8" COP R COMP LAUATORY SUPPLY KIT WITH ECO-CROWN, 1/4" TURN CHROME PLATED STOPS AND CHROME PLATED COPPER TUBE SUPPLY LINES	
	CONNECTION SIZES	ZURN	Z88A-LI-CR-G-PC	1/2" x 3/8" COP R COMP LAUATORY SUPPLY KIT WITH ECO-CROWN, 1/4" TURN CHROME PLATED STOPS AND CHROME PLATED COPPER TUBE SUPPLY LINES	
SH	SHOWER	COMFORT DESIGNS	K37622TR-TL-S-BAR-3R	60" x 30" x 13-1/2" 1" O.D. SURFACE 3-WAY SHOWER WITH WHITE HOSE FOLD DOWN SEAT PRE-LEVELLED BASE, TR-CELL, INVERTED WALL PENETRATING WHITE L SHAPED AND VERTICAL BRUSH BRASS ALUMINUM FRONT TRIM, CHROME DRAIN, NO CALL BRASS DRAIN CONNECTION, 3 YEAR FACTORY WARRANTY	
	SHOWER VALVE	SYMONS	940S-PL-A	WHITE CARTAN ROD AND CUPS	
	CONNECTION SIZES	ZURN	Z88A-LI-CR-G-PC	ORGANO SHOWERHEAD SHOWER SYSTEM WITH THERMOFLO, PRESSURE BALANCING VALVE, METAL EVER HANDLE, ADA 50" GRAB BAR FOR HAND SHOWER, 67" FLEXIBLE METAL HOSE, ADA HOSE HAND SHOWER WITH NON-SLIP HANDLE, SHOWER SEPARATE TUB/FUNCTION DIVERTER, WALL ELBOW CONNECTION FOR HOSE AND ADJUSTABLE STOP SCREW TO LIGHT HANDLE TURN TO HOT OR 1/2" x 3/8" COP R COMP LAUATORY SUPPLY KIT WITH ECO-CROWN, 1/4" TURN CHROME PLATED STOPS AND CHROME PLATED COPPER TUBE SUPPLY LINES	
T1	TUB	COMFORT DESIGNS	SS66070-C96	60" x 30" x 13-1/2" 1" O.D. SURFACE 3-WAY SHOWER WITH DRAIN	
	TUB - SHOWER VALVE	SYMONS	940S-PL-A	10 REAR FACTORY WARRANTY, STAINLESS STEEL CARTAN ROD AND CUPS	
	BATH WASTE CONNECTION SIZES	ZURN	Z871-90	DRAIN/TUB SHOWER SYSTEM WITH THERMOFLO, PRESSURE BALANCING VALVE, METAL EVER HANDLE, ALL UP DIVERTER SPOUT, ADJUSTABLE STOP SCREW, LIGHT HANDLE, TURN EASY CLEVER SHOWER HEAD AND SUPPLY SCREWDRIVER STOPS	
H01	WALL HYDRANT CONNECTION SIZES	ZURN	Z344-F73	CAST BRASS 104 TOP, 1/2" HOSE 1/2" DRAIN WITH BRASS NUTS	
W01	WASHER BOX	DATEY	3820	FREEZE PROOF, WHEEL HANDED EXPOSED HOSE BIBB WITH INTERNAL VACUUM BREAKER ON 3/4"	
	TRAP CONNECTION SIZES	DATEY	3956	DATEY 2 1/4" WASH PVC WASHER BOX W/ CONDENSATE LINE CONNECTOR	
B1	ICE MAKER BOX	DATEY	3956	2" x 7" TRAP PROVIDE VACUUM BREAKERS & HOSE CONNECTION WASTE 2", VENT 1/2", & 8" CW 1/2"	
H01	HAMMER ARRESTOR	ZURN	Z-1700	6" x 8" ICE MAKER BOX, HIGH IMPACT POLYESTER	
W02	WASHER BOX	DATEY	3617	STAINLESS STEEL TUBE PLUMBING ORGANISSE MIDDLE/TYPE RATINGS: 100" (1/4" FUL), 200" (3/4" FUL), 300" (1" FUL), 400" (1 1/4" FUL), 500" (1 1/2" FUL)	
	TRAP CONNECTION SIZES	DATEY	3617	FIRE RATED WASHER BOX SUPPLY & DRAIN 3/4" THERMOSET FREE RATED PLASTIC W/ METAL SUPPORTS	

ELECTRIC WATER HEATER SCHEDULE		
MARK	WH1	
DESIGN MANUFACTURER	BRACORD WHITE	
MODEL NUMBER	LE140J	
GALLON CAPACITY	50	
RECOVERY @ 100 DEG. F. RISE	18 GPH	
HEATING CAP. (KW) - NON-SIMULTANEOUS	4.5 KW	
ELECTRICAL (VOLTS/2PH)	240/60/1	
NOTES:		
1. ALTERNATIVE MANUFACTURERS: LOCHMAR, A.O. SMITH, STATE IND.		
2. PROVIDE RECIRCULATING PUMP SEE SCHEDULE.		
3. RECIRCULATING PUMP SHALL BE EQUIPPED W/ AUTOMATIC TIMER UNITS SHALL BE ASME LISTED.		

ELECTRIC WATER HEATER SCHEDULE		
MARK	WH2	
DESIGN MANUFACTURER	BRACORD WHITE	
MODEL NUMBER	LE267S	
GALLON CAPACITY	65	
RECOVERY @ 100 DEG. F. RISE	18 GPH	
HEATING CAP. (KW) - NON-SIMULTANEOUS	4.5 KW	
ELECTRICAL (VOLTS/2PH)	240/60/1	
NOTES:		
1. ALTERNATIVE MANUFACTURERS: LOCHMAR, A.O. SMITH, STATE IND.		
2. PROVIDE RECIRCULATING PUMP SEE SCHEDULE.		
3. RECIRCULATING PUMP SHALL BE EQUIPPED W/ AUTOMATIC TIMER UNITS SHALL BE ASME LISTED.		



- PLUMBING NOTES:**
- SANITARY WASTE AND VENT PIPING BOTH ABOVE AND BELOW GRADE SHALL BE SCHEDULE 40 PVC DWV PLASTIC PIPE AND FITTINGS WITH SOLVENT WELD JOINTS. PLASTIC PIPING AND PIPING COMPONENTS SHALL BE LISTED AS CONFORMING WITH ANSIFNS STD. 14 AND ASTM D 2865.
  - UNLESS INDICATED OTHERWISE ON DRAWINGS, INTERNAL WATER PIPING IS TO BE ROUTED IN CEILING SPACES, ATTICS, CRANL SPACES AND IN AND BETWEEN WALL STUDS, ETC. (AS AND WHERE APPLICABLE) AND ON INSIDE OF INSULATED BUILDING ENVELOPE. THIS PIPING SHALL BE TYPE 'L' COPPER AND INSTALLED IN ACCORDANCE WITH 2018 INTERNATIONAL PLUMBING CODE. TYPE 'X' AND/OR '3" PEX IS PERMISSIBLE UPON OWNERS APPROVAL ONLY ON WATER LINES 2" AND SMALLER. WHERE PEX IS USED COLD AND HOT WATER MAINS SHALL BE TYPE 'L' COPPER WITH BRANCH PIPING BEING PEX, WHERE PEX IS USED AS MAINS IN LEVEL OR COPPER PIPING SHALL BE A PIPE SIZE LARGER THAN WHAT IS SHOWN ON PLANS.
  - ALL VENT PIPING TO PENETRATE ROOF A MINIMUM OF 12" ABOVE ROOF. FLASH AND SEAL TO ROOF WEATHERTIGHT. PAINT VENT PIPING ABOVE ROOF AND WITH 2 COATS EPOXY BASED PAINT. COLOR TO MATCH ROOF.
  - CONTRACTOR SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS WHICH MAY AFFECT WORK, INCLUDING VERIFICATION OF LOCATIONS AND RELATIONSHIP BETWEEN FIXTURES AND CONNECTIONS.
  - PIPING PLACED IN TRENCHES SHALL BE EMBEDDED IN 8" OF LOOSE AGGREGATE FILL, TAMPS FULL MATERIAL ON EACH SIDE IN 4" LAYERS. ALL PIPING UNDER SLAB SHALL HAVE A MINIMUM 1" COVER FROM BOTTOM OF SLAB TO TOP OF PIPE AT HIGH POINT. PROTECT PIPING FROM BEING CRUSHED OR OTHERWISE CONSTRUCTED.
  - EACH SINK, WATER CLOSET, ETC. SHALL HAVE SHUT OFF VALVES LOCATED AT THE FIXTURE.
  - THE PLUMBING SYSTEM IN ITS ENTIRETY SHALL NOT BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY THE OWNER.
  - PRIOR TO COVERING THE WATER SUPPLY SYSTEM, IT SHALL BE PRESSURE TESTED AND PROVED TIGHT UNDER A WATER PRESSURE NOT LESS THAN 25 P.S.I. ABOVE THE WORKING PRESSURE UNDER WHICH IT IS TO BE OPERATED. THIS TEST SHALL BE COMPLETED AND APPROVED IN THE PRESENCE OF THE OWNER.
  - ALL SOLDERED JOINTS SHALL BE CLEANED BRIGHT AND ALL BURRS SHALL BE REMOVED AND THE SHALL BE RETURNED TO FULL BORE.
  - ALL SOLDER AND FLUX USED IN THE INSTALLATION OR REPAIR OF THE WATER SUPPLY OR DISTRIBUTION SYSTEM SHALL BE LEAD FREE.
  - ALL SOLDERED JOINT MATERIAL, SUCH AS FITTINGS, SOLDER, TUBING SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
  - ALL MATERIALS, METHODS, AND PRACTICES SHALL BE IN ACCORDANCE WITH THE 2018 INTERNATIONAL PLUMBING CODE.
  - CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED FITTINGS TO CREATE A COMPLETE AND FUNCTIONAL PLUMBING SYSTEM. CONTRACTOR SHALL DETERMINE ANY FITTINGS REQUIRED FOR CONNECTION TO FIXTURES SPECIFIED.
  - PROVIDE REMOVABLE PVC COVERS ON ALL EXPOSED SUPPLY AND WASTE FITTINGS TO COMPLY WITH ANSIFNS STD. A11.7.1 REQUIREMENTS.
  - CLEANOUTS:
    - INTERIOR FINISHED FLOOR AREAS (F01) - LACQUERED CAST IRON BODY WITH ANCHOR FLANGE, REVERSIBLE CLAMPING COLLAR, THREADED TOP ASSEMBLY AND ROUND GASKETED DEPRESSSED COVER TO ACCEPT FLOOR FINISH.
    - INTERIOR FINISHED WALL AREAS (W01) - LINE TYPE WITH LACQUERED CAST IRON BODY AND ROUND EPOXY COATED GASKET COVER, AND ROUND STAINLESS STEEL ACCESS COVER SECURED WITH MACHINE SCREW.
    - EXTERIOR SURFACED AREAS - ROUND CAST NICKEL BRONZE FRAME AND NON-SKID COVER.
    - EXTERIOR UN-SURFACED AREAS - LINE TYPE WITH LACQUERED CAST IRON BODY AND ROUND EPOXY COATED GASKET COVER.
  - ALL HOT WATER PIPE ABOVE GRADE SHALL BE INSULATED WITH 1" FIBERGLASS, LOW PRESSURE INSULATION WITH WHITE UNIVERSAL JACKET. ALL COLD WATER PIPE ABOVE GRADE SHALL BE INSULATED WITH 1 1/2" FBERGLASS, LOW PRESSURE INSULATION WITH WHITE UNIVERSAL JACKET. ALL INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
  - ALL BALL CONTROL BALANCING VALVES WHICH ARE NOT READILY ACCESSIBLE VIA LAY IN CEILING OR OPEN TO SPACE SHALL BE PROVIDED WITH AN ACCESSIBLE LOCKING PANEL EQUAL TO MFBAS TYPE CAD-FL ACCESS PANEL. SHALL BE PAINTED TO MATCH CEILING OR WALL FINISH.
  - ALL CONDENSATE PIPING SHALL BE INSULATED WITH 1" THICK ARMAREX INSULATION WITH GLEED JOINTS, OR 1 1/2" THICK FBERGLASS INSULATION WITH VAPOR BARRIER MASTIC WRAP.
  - PROVIDE VACUUM BREAKERS WHERE ANY THREADED CONNECTIONS ARE PRESENT ON WATER SUPPLY LINE.
  - WATER HAMMER ARRESTORS TO BE INSTALLED ON EQUIPMENT PER MANUFACTURER RECOMMENDATIONS.

PLUMBING LEGEND		PIPING SYMBOLS		ABBREVIATIONS	
[Symbol]	COLD WATER LINE	[Symbol]	BALL VALVE	BY	BALL VALVE
[Symbol]	HOT WATER SUPPLY	[Symbol]	BUTTERFLY VALVE	CR	CAST IRON
[Symbol]	HOT WATER RETURN	[Symbol]	GATE VALVE	CO	CLEAN OUT
[Symbol]	SANITARY SEWER LINE	[Symbol]	VENT LINE	CK	CHECK VALVE
[Symbol]	CONDENSATE	[Symbol]	GLOBE VALVE	CK-V	CHECK VALVE
[Symbol]	FLOOR DRAIN	[Symbol]	UNION	FD	FLOOR DRAIN
[Symbol]	WATER CLOSET CONNECTION	[Symbol]	PIPE TURN DOWN	HB	HOSE BIB/WALL HYDRANT
[Symbol]	FLOOR GRADE CLEAN OUT	[Symbol]	PIPE TURN UP	HW	HOT WATER
[Symbol]	WALL CLEAN OUT	[Symbol]	PIPE TEE DOWN	HWS	HOT WATER SUPPLY
[Symbol]	FIXTURE CONNECTION	[Symbol]	PIPE TEE UP	PI	FIXTURE NUMBER (SEE SCHEDULE)
[Symbol]	HOSE BIBB	[Symbol]	STRAINER	SS	SANITARY SEWER
[Symbol]	WATER HAMMER ARRESTOR	[Symbol]	CLEAN OUT	VS	VENT STACK
<b>NOTE:</b>		[Symbol]		VT	VENT LINE
1. FOR CONNECTION SIZES AT FIXTURES, SEE PLUMBING FIXTURE SCHEDULE.		[Symbol]		VR	VENT THRU ROOF
		[Symbol]		VB	VACUUM BREAKER
		[Symbol]		WH	WATER HEATER



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STRUCTURAL ENGINEER:  
**HAINES STRUCTURAL GROUP**

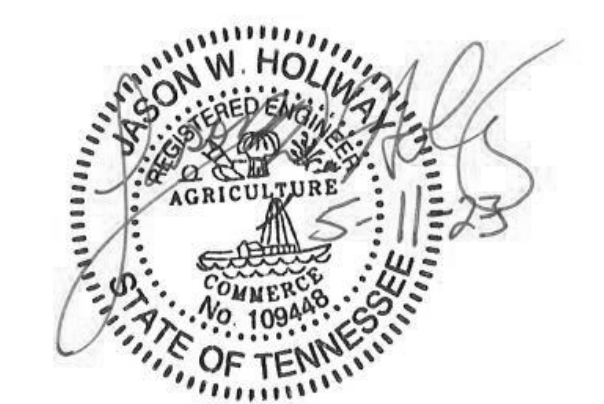
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Project Information:  
**22054**

**MHA - MERCURY HOUSING PHASE I**  
415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

#	ISSUED BY:	DATE

Issue Date: MAY 11, 2023  
PIC: J. HOLLIWAY  
PM: W. RODER  
PA: . . .  
Drawn By: B. DAVIS  
Checked By: J. HOLLIWAY, L. HEADLA

**P-001**  
PLUMBING NOTES  
SCHEDULES AND  
DETAILS

Consultants:

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Project Information:

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**MHA - MERCURY HOUSING PHASE I**

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MURFREESBORO, TN 37130



Consultant:



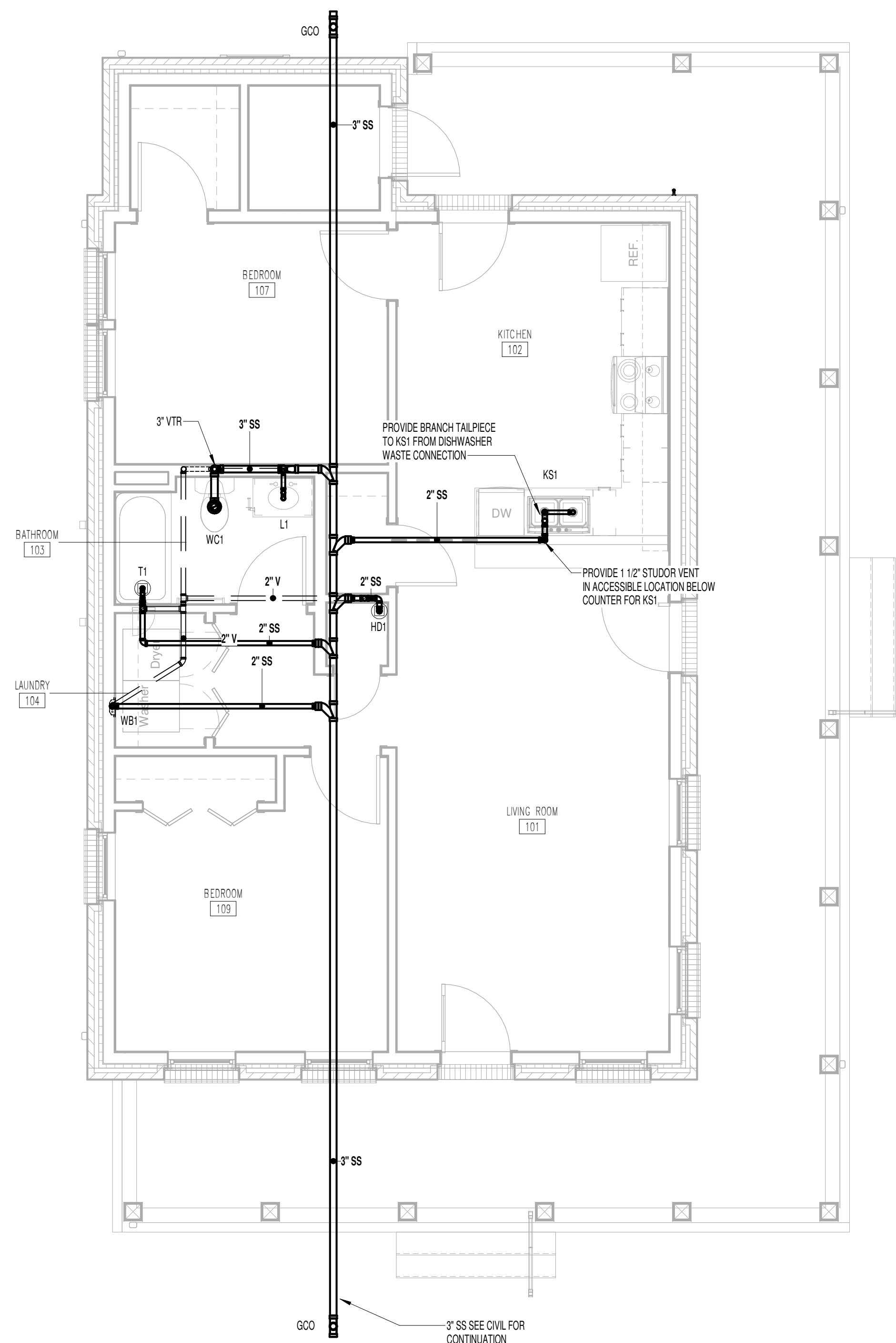
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PM	W. ROPER
PA	-
Drawn By:	B. DAVIS
Checked By:	J. HOLLIWAY, L. HEADLA

Sheet Information:

## P-111

2.1.A - SANITARY



① 2 BED SINGLE - 2.1.A SANITARY  
1/4" = 1'-0"

GENERAL NOTE:  
1. COORDINATE WITH CIVIL FOR THE EXIT OF THE SANITARY FOR EACH BUILDING. WHERE THE SANITARY EXITS TO THE OPPOSITE SIDE OF THE BUILDING AS SHOWN, REVERSE ALL FITTINGS AT MAIN SEWER CONNECTIONS TO MATCH FLOW.



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**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:



#	ISSUED BY:	DATE
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Issue Date: MAY 11, 2023

PIC J. HOLIWAY

PM W. RODER

PA -

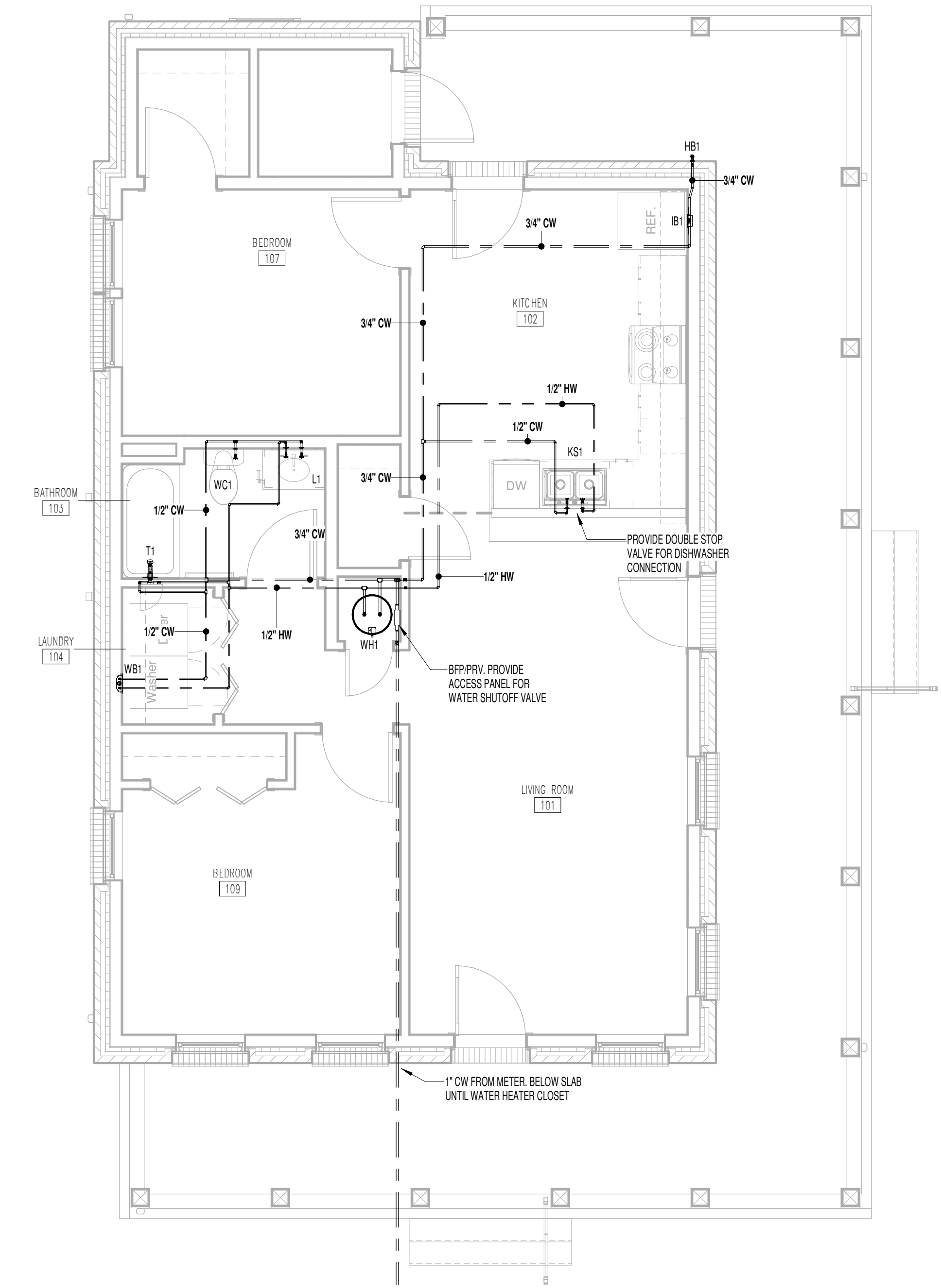
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Sheet Information:

**P-112**

2.1.A - DOMESTIC WATER

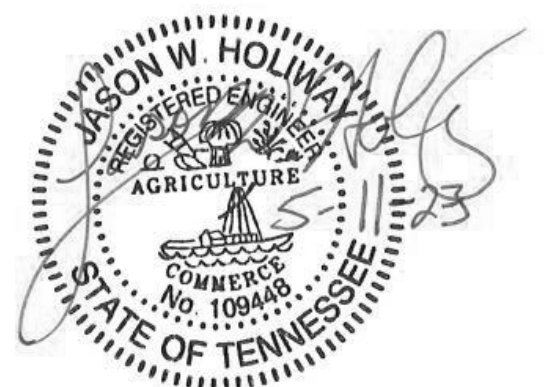


① 2 BED SINGLE - 2.1.A DOMESTIC WATER  
1/4" = 1'-0"

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### MHA - MERCURY HOUSING PHASE I

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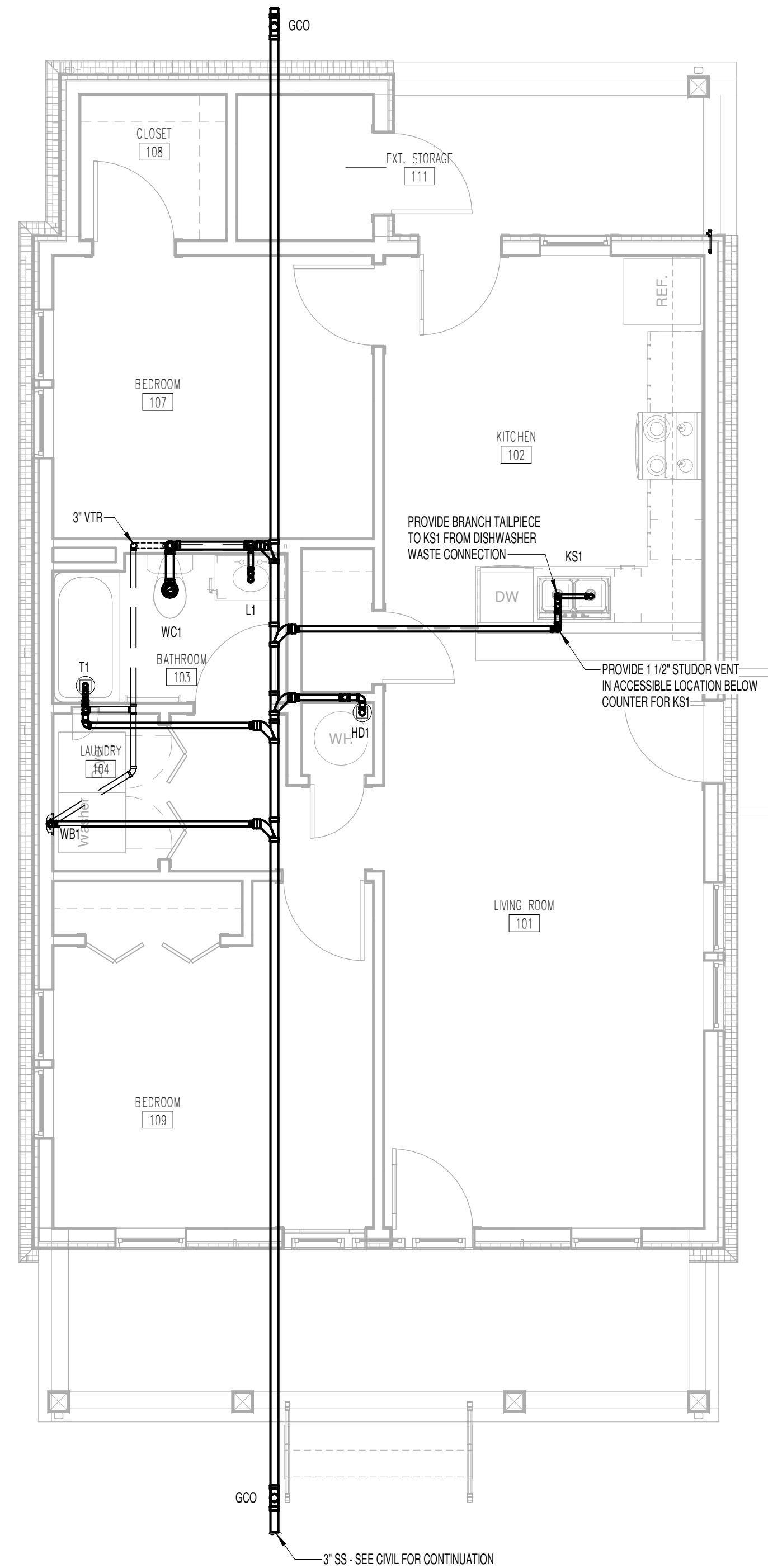
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Sheet Information:

# P-121

## 2.1.B - SANITARY



**1 2 BED SINGLE - 2.1.B SANITARY**  
1/4" = 1'-0"

GENERAL NOTE:  
1. COORDINATE WITH CIVIL FOR THE EXIT OF THE SANITARY FOR EACH BUILDING, WHERE THE SANITARY EXITS TO THE OPPOSITE SIDE OF THE BUILDING AS SHOWN.  
REVERSE ALL FITTINGS AT MAIN SEWER CONNECTIONS TO MATCH FLOW.

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## MHA - MERCURY HOUSING PHASE I

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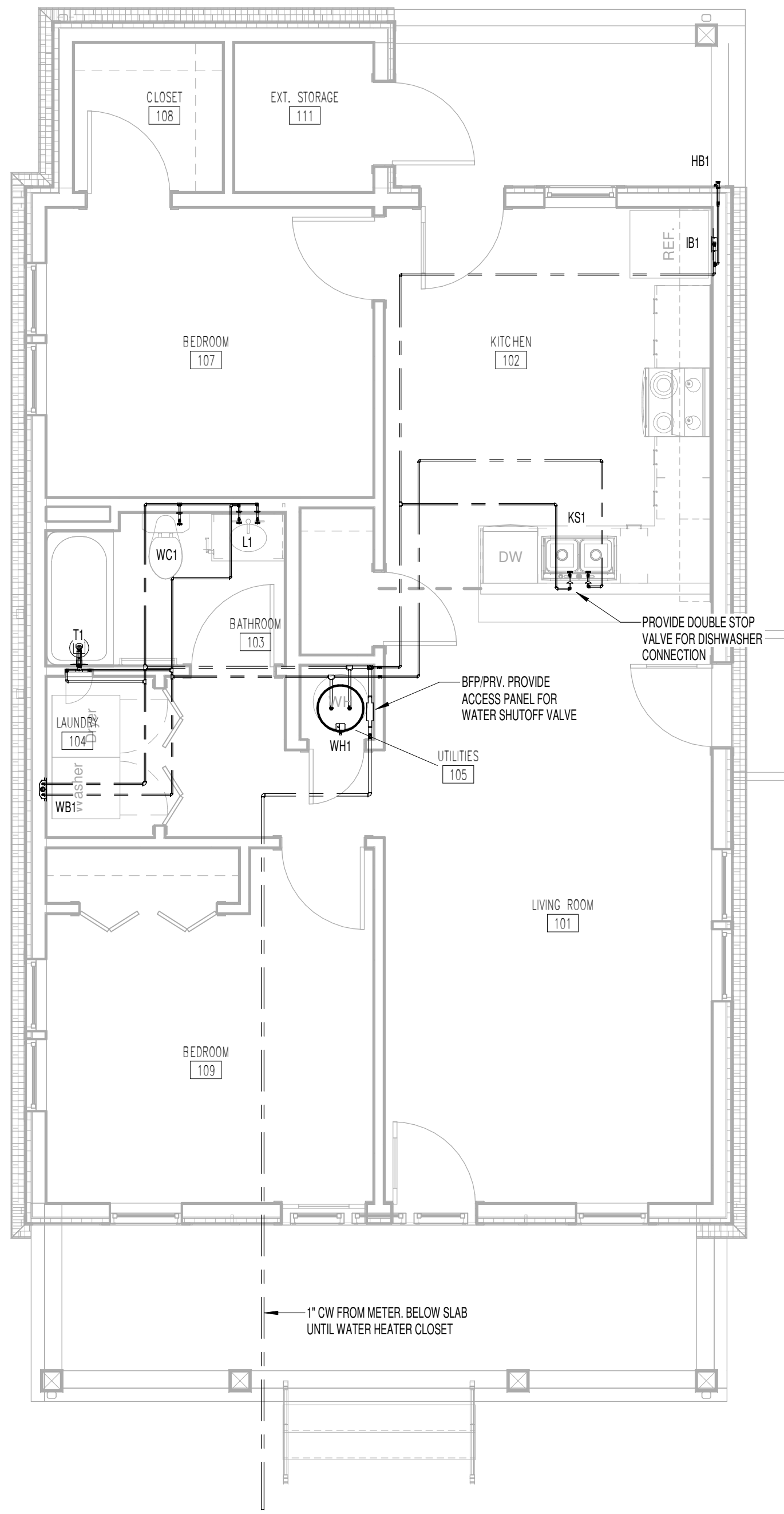
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Sheet Information:

# P-122

2.1.B - DOMESTIC WATER



① 2 BED SINGLE - 2.1.B DOMESTIC WATER  
1/4" = 1'-0"

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Consultants:

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## MHA - MERCURY HOUSING PHASE I

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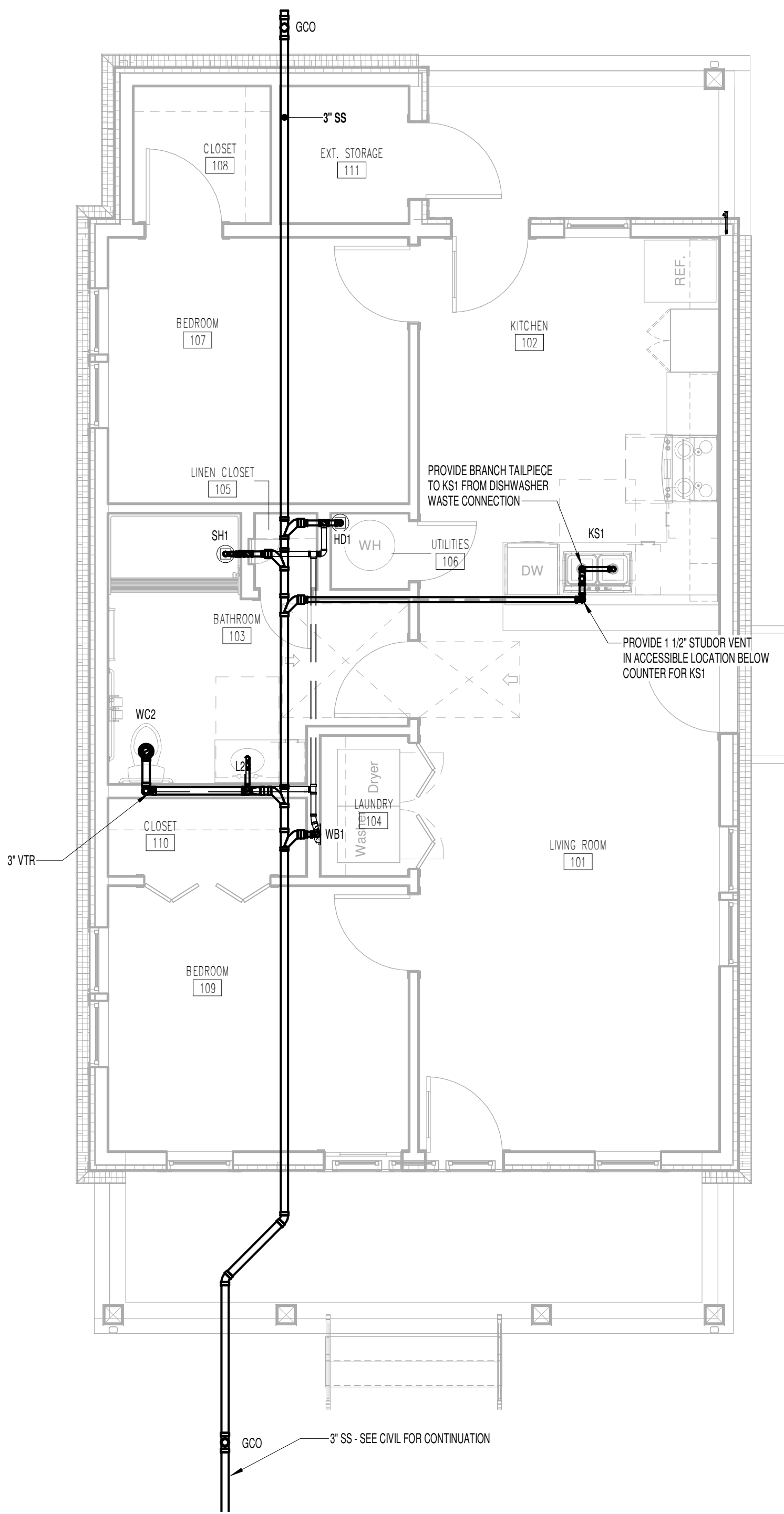
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Drawn By: B. DAVIS  
Checked By: J. HOLIWAY, L. HEADLA

Sheet Information:

# P-125

2.1.B(U) - SANITARY

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1 2 BED SINGLE - 2.1.B(u) SANITARY  
1/4" = 1'-0"

GENERAL NOTE:  
1. COORDINATE WITH CIVIL FOR THE EXIT OF THE SANITARY FOR EACH BUILDING. WHERE THE SANITARY EXITS TO THE OPPOSITE SIDE OF THE BUILDING AS SHOWN. REVERSE ALL FITTINGS AT MAIN SEWER CONNECTIONS TO MATCH FLOW.

Consultants:

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**ELECTRICAL ENGINEER:**  
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## MHA - MERCURY HOUSING PHASE I

415 NORTH MAPLE ST.  
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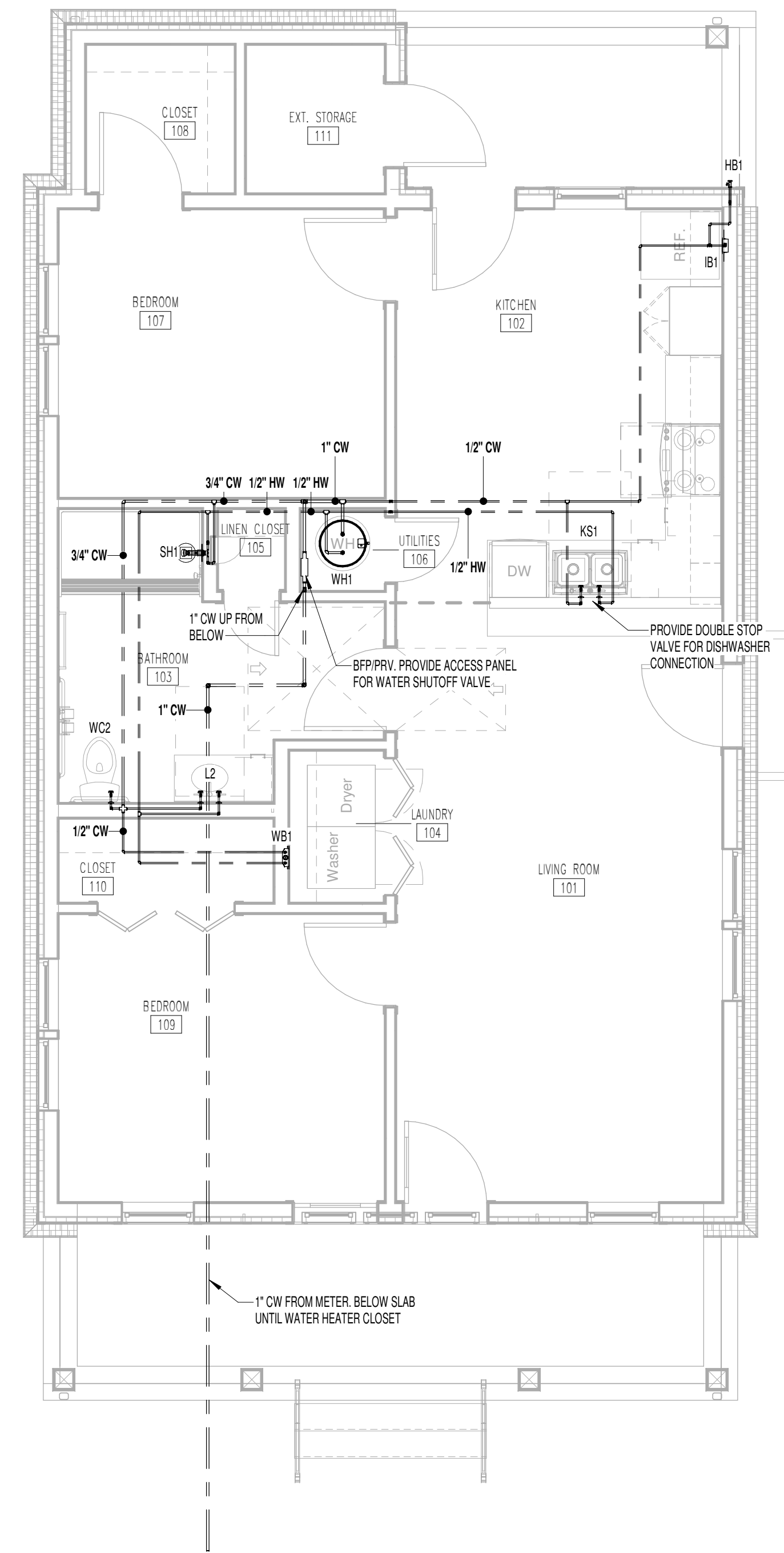
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Sheet Information:

## P-126

2.1.B(U) - DOMESTIC WATER



① 2 BED SINGLE - 2.1.B(U) DOMESTIC WATER  
 1/4" = 1'-0"

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**LANDSCAPE ARCHITECT:**  
**RAGAN SMITH**  
1500 MEDICAL CENTER PKWY., STE 2J  
MURFREESBORO, TN 37129  
1.615.546.6050

**STRUCTURAL ENGINEER:**  
**HAINES STRUCTURAL GROUP**  
800 SOUTH GAY ST., ste 1625  
KNOXVILLE, TN 37902  
1.865.329.9900

**MECHANICAL/PLUMBING ENGINEER:**  
**FACILITY SYSTEMS CONSULTANTS, LLC**  
713 SOUTH CENTRAL STREET, ste 101  
KNOXVILLE, TN 37902  
1.865.248.0164

**ELECTRICAL ENGINEER:**  
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713 SOUTH CENTRAL STREET, ste 101  
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Project Information:  
**22054**

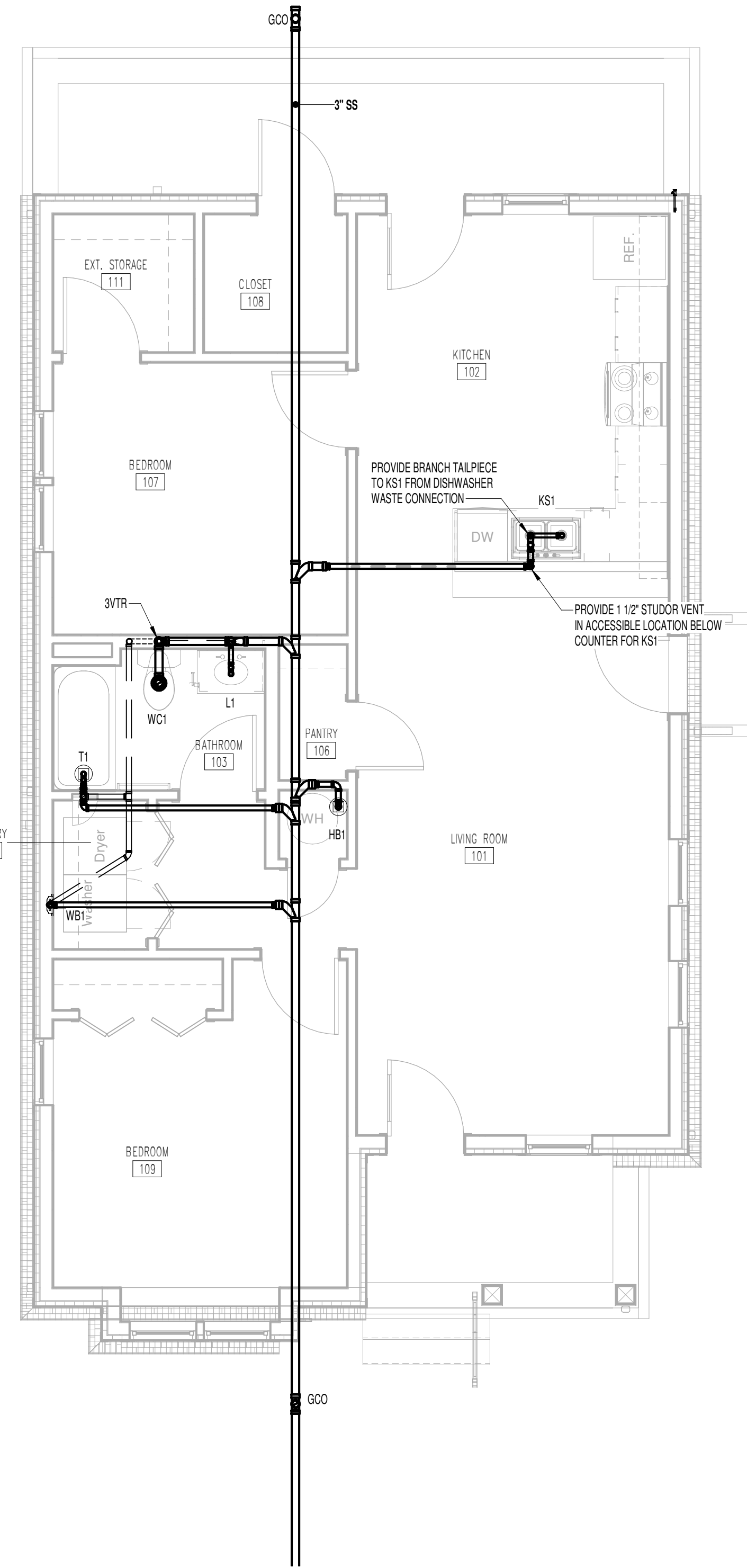
**MHA - MERCURY HOUSING PHASE I**  
415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



# ISSUED BY: DATE

Issue Date: MAY 11, 2023  
PIC: J. HOLWAY  
PM: W. RÖDER  
PA: --  
Drawn By: B. DAVIS  
Checked By: J. HOLWAY, L. HEADLA

Sheet Information:



**2 BED SINGLE - 2.1.C SANITARY**  
1/4" = 1'-0"

GENERAL NOTE:  
1. COORDINATE WITH CIVIL FOR THE EXIT OF THE SANITARY FOR EACH BUILDING. WHERE THE SANITARY EXITS TO THE OPPOSITE SIDE OF THE BUILDING AS SHOWN, REVERSE ALL FITTINGS AT MAIN SEWER CONNECTIONS TO MATCH FLOW.

Consultants:

CIVIL ENGINEER:  
**SITE ENGINEERING  
CONSULTANTS, INC.**  
850 MIDDLE TN BLVD.  
MURFREESBORO, TN 37129  
1.615.890.7901

LANDSCAPE ARCHITECT:  
**RAGAN SMITH**

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STRUCTURAL ENGINEER:  
**HAINES STRUCTURAL GROUP**

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MECHANICAL/PLUMBING ENGINEER:  
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CONSULTANTS, LLC**  
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KNOXVILLE, TN 37902  
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ELECTRICAL ENGINEER:  
**FACILITY SYSTEMS  
CONSULTANTS, LLC**  
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KNOXVILLE, TN 37902  
1.865.248.0164

Project Information:

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**MHA - MERCURY  
HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:



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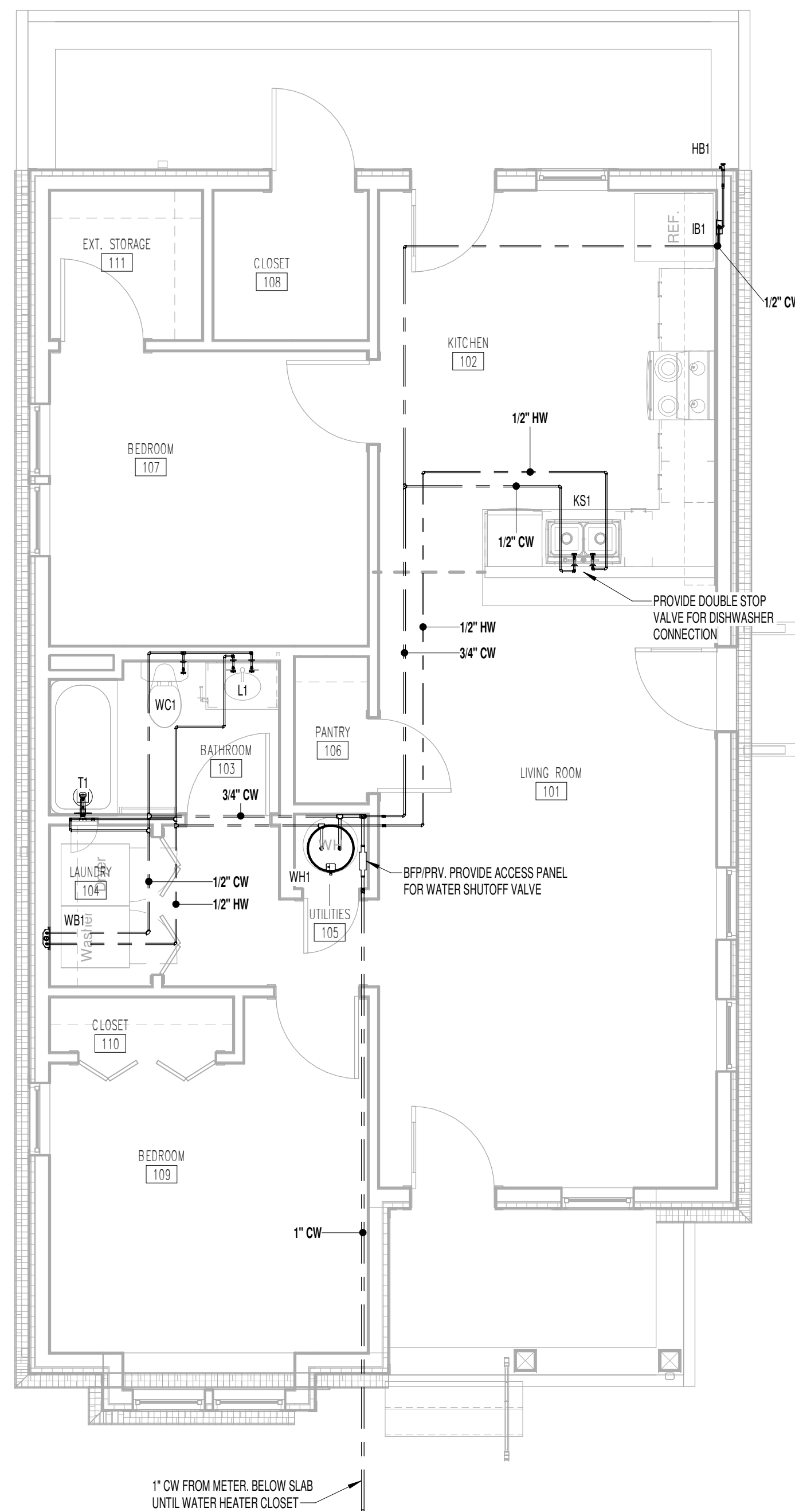
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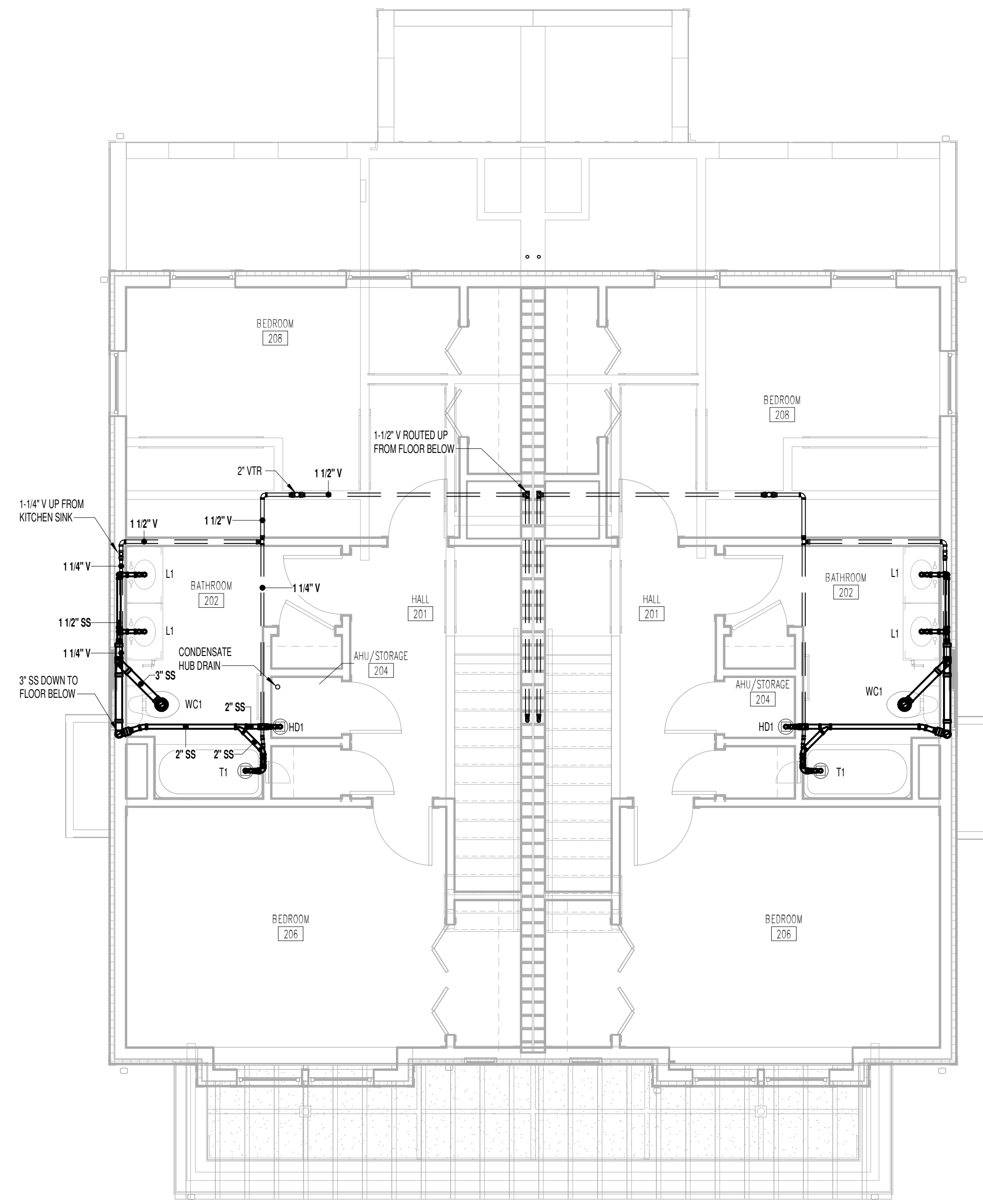
## P-132

**2.1.C - DOMESTIC  
WATER**

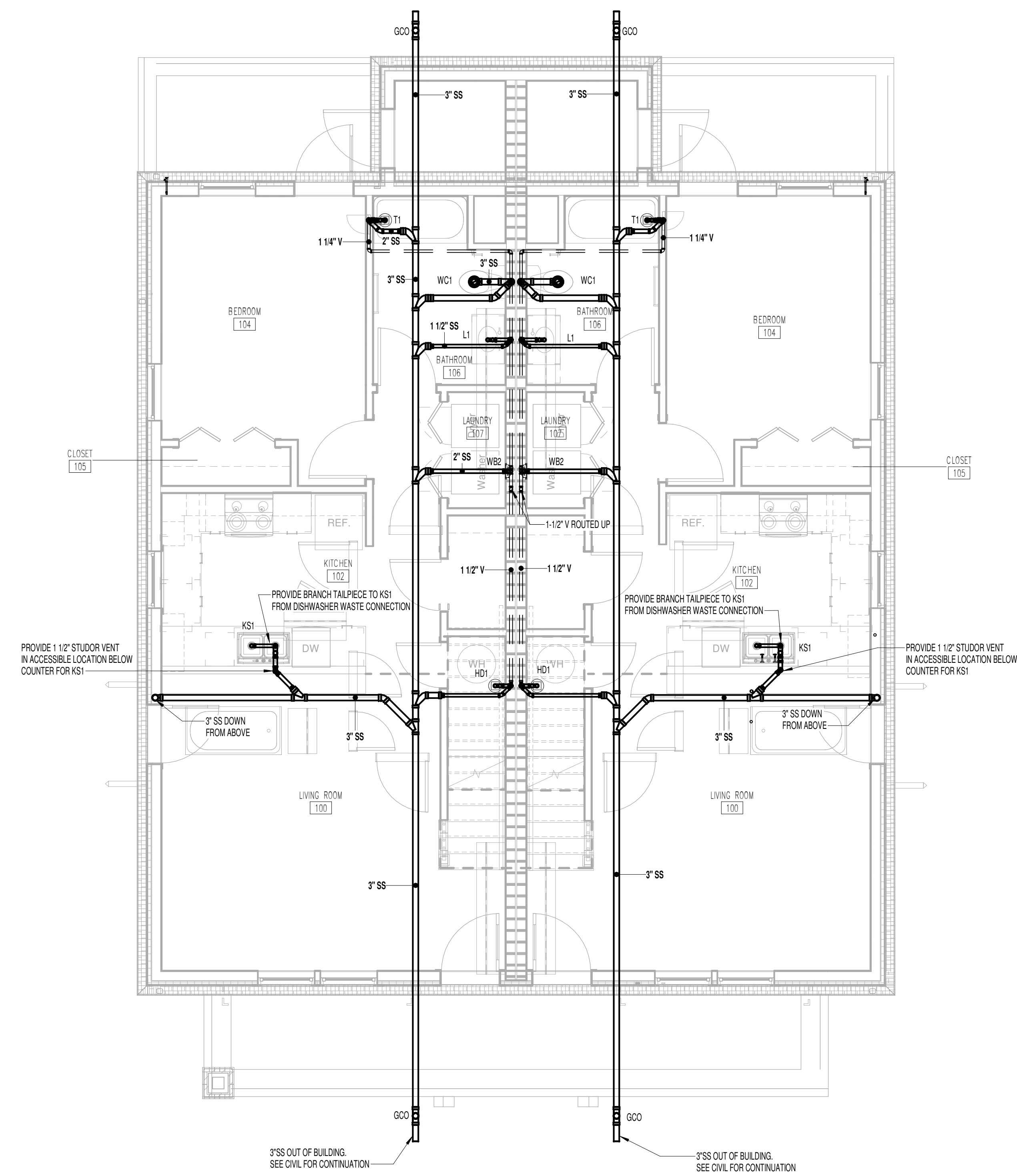
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① 2 BED SINGLE - 2.1.C DOMESTIC WATER  
1/4" = 1'-0"



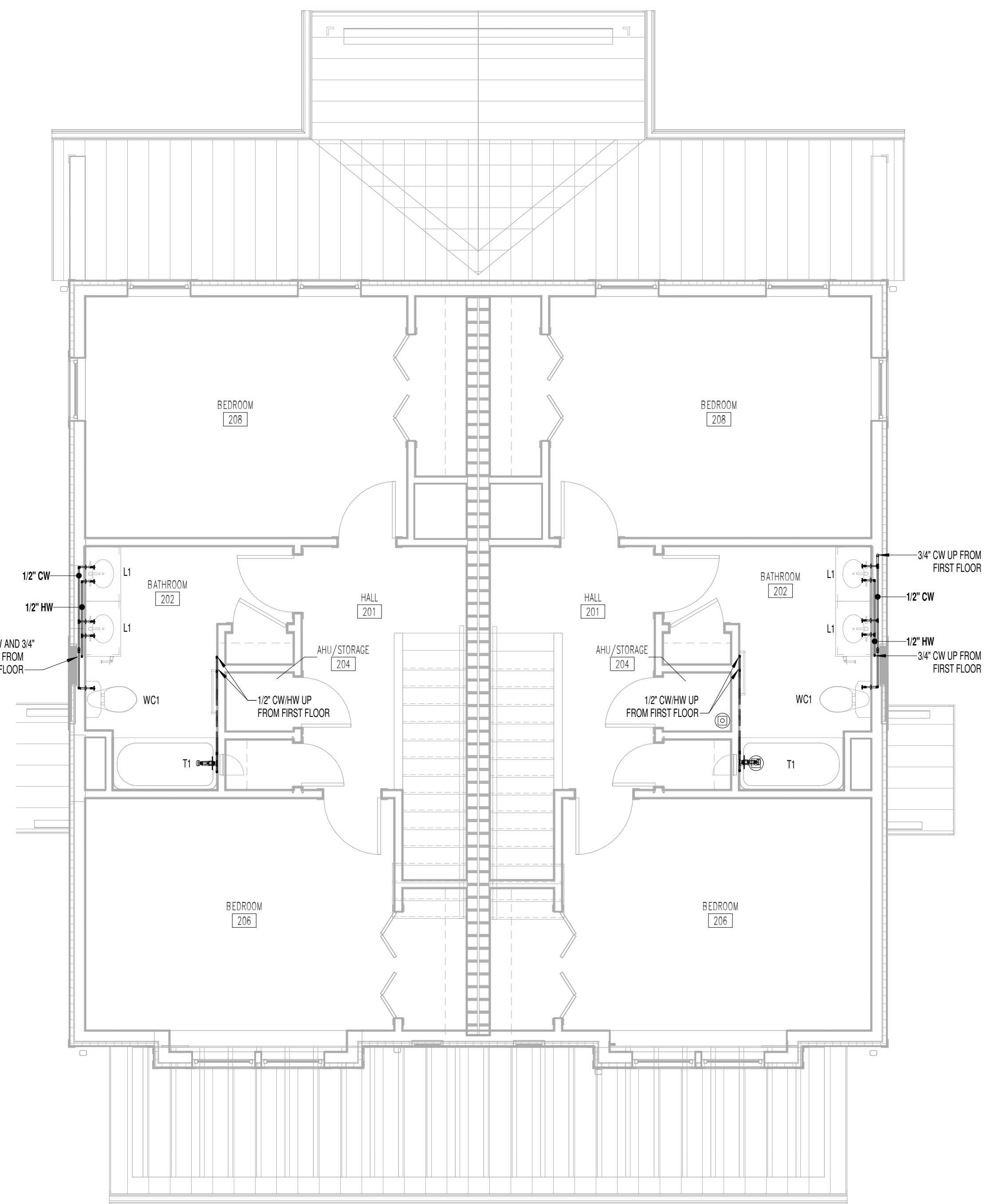
② 3 BED DUPLEX - 3.2.A SECOND FLOOR SANITARY  
1/4" = 1'-0"



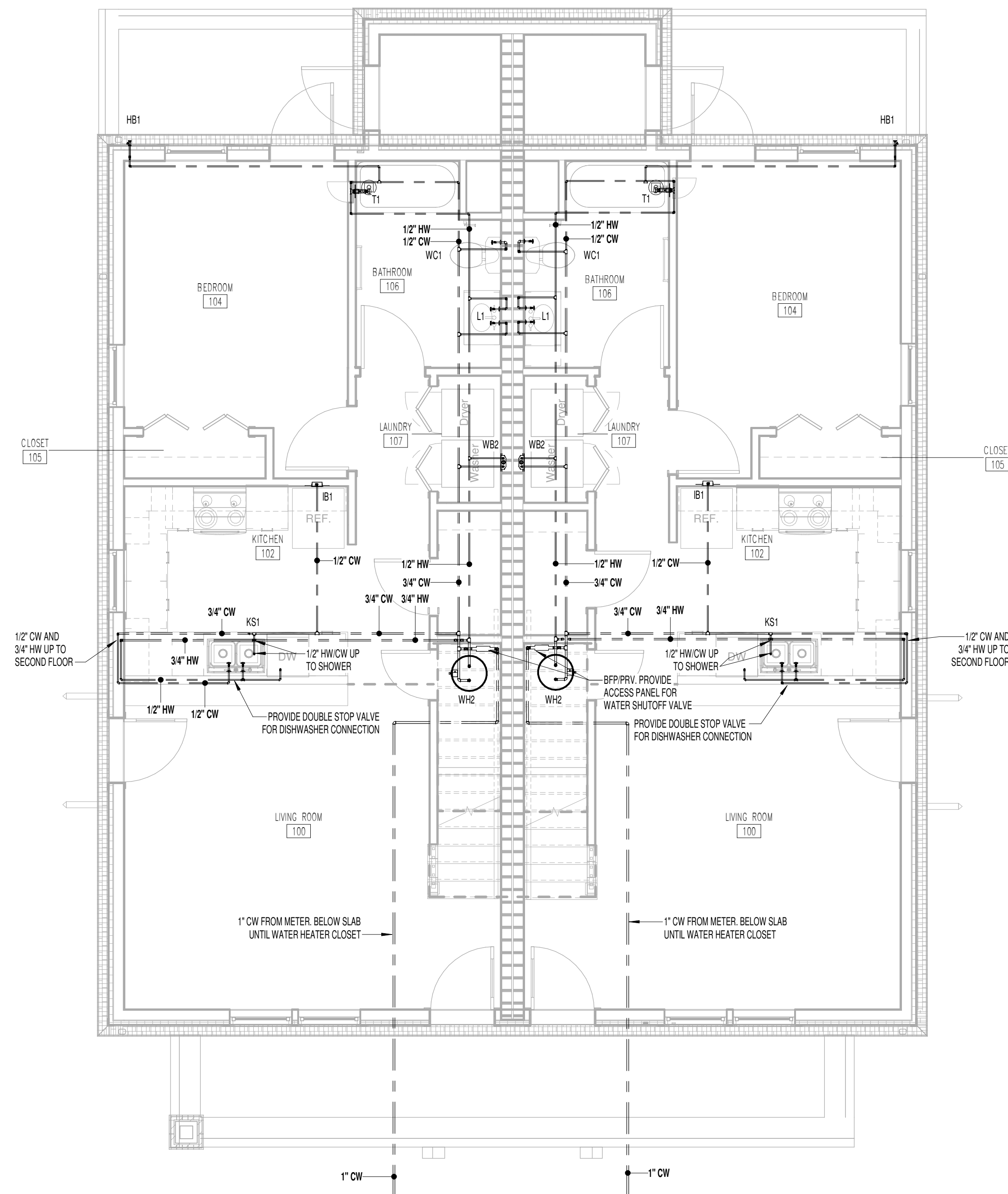
① 3 BED DUPLEX - 3.2.A FIRST FLOOR SANITARY  
1/4" = 1'-0"

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② 3 BED DUPLEX - 3.2.A SECOND FLOOR DOMESTIC WATER  
1/4" = 1'-0"



① 3 BED DUPLEX - 3.2.A FIRST FLOOR DOMESTIC WATER  
1/4" = 1'-0"

McCarthy Holsapple McCarty  
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1.865.544.2000  
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Consultants:

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1.615.890.7901

**LANDSCAPE ARCHITECT:**  
**RAGAN SMITH**

1500 MEDICAL CENTER PKWY., STE 2J  
MURFREESBORO, TN 37129  
1.615.546.6500

**STRUCTURAL ENGINEER:**  
**HAINES STRUCTURAL GROUP**

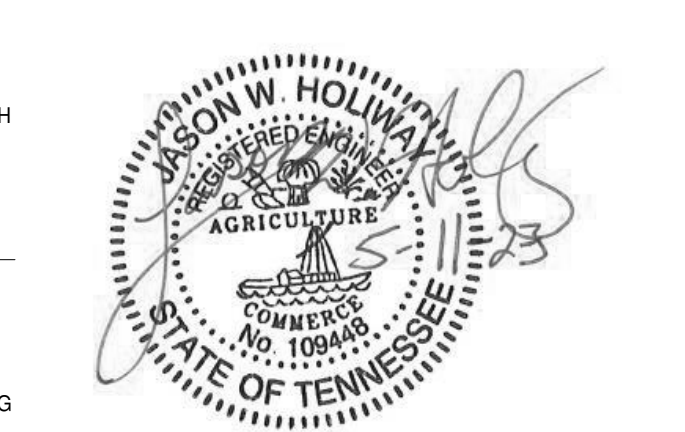
800 SOUTH GAY ST., STE 1625  
KNOXVILLE, TN 37902  
1.865.329.9900

**MECHANICAL/PLUMBING ENGINEER:**  
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1.865.248.0164

**ELECTRICAL ENGINEER:**  
**FACILITY SYSTEMS CONSULTANTS, LLC**  
713 SOUTH CENTRAL STREET, STE 101  
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1.865.248.0164

Project Information:  
**22054**

**MHA - MERCURY HOUSING PHASE I**  
415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



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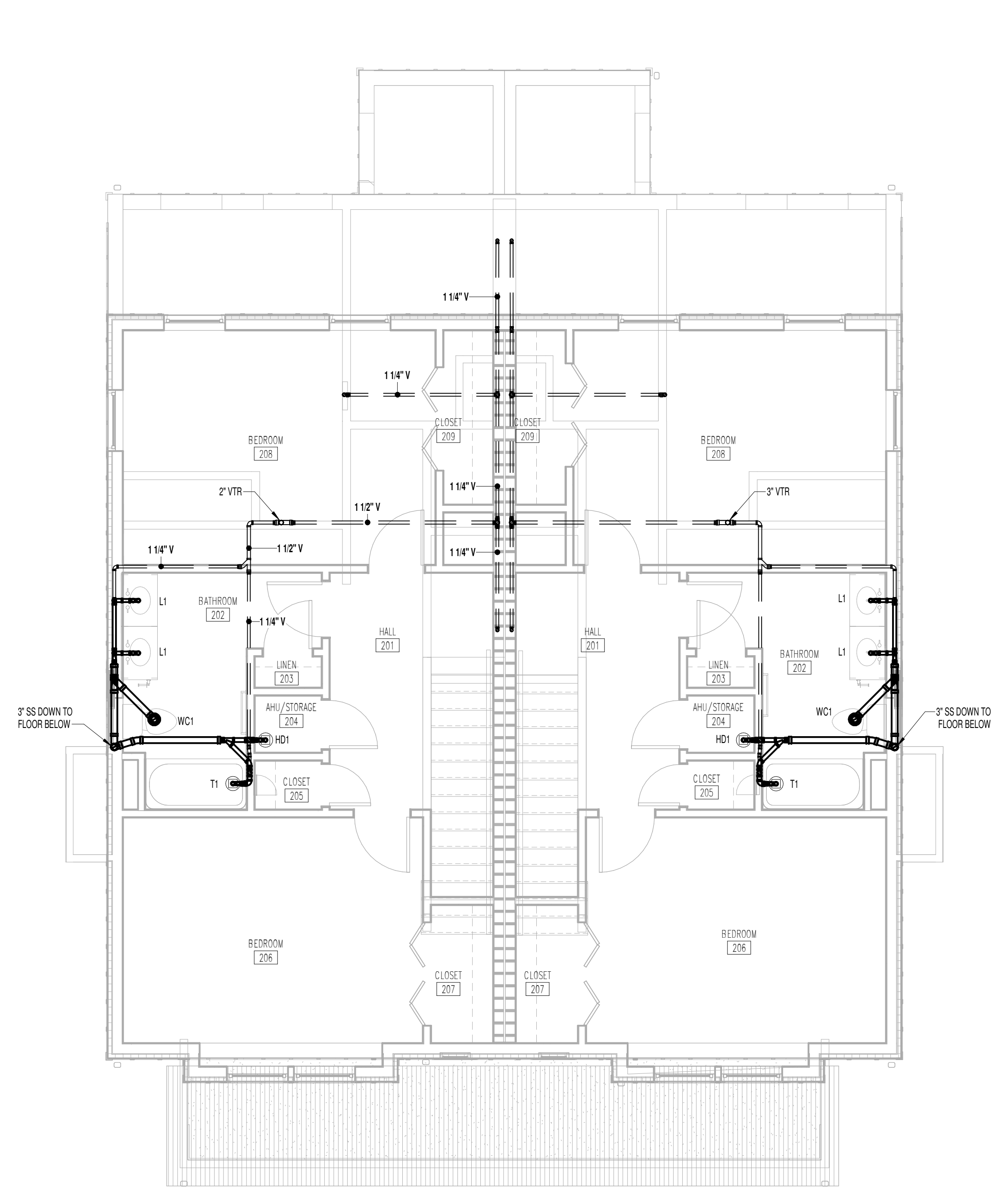
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PM: W. ROPER  
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Drawn By: B. DAVIS  
Checked By: J. HOLWAY, L. HEADLA

Sheet Information:

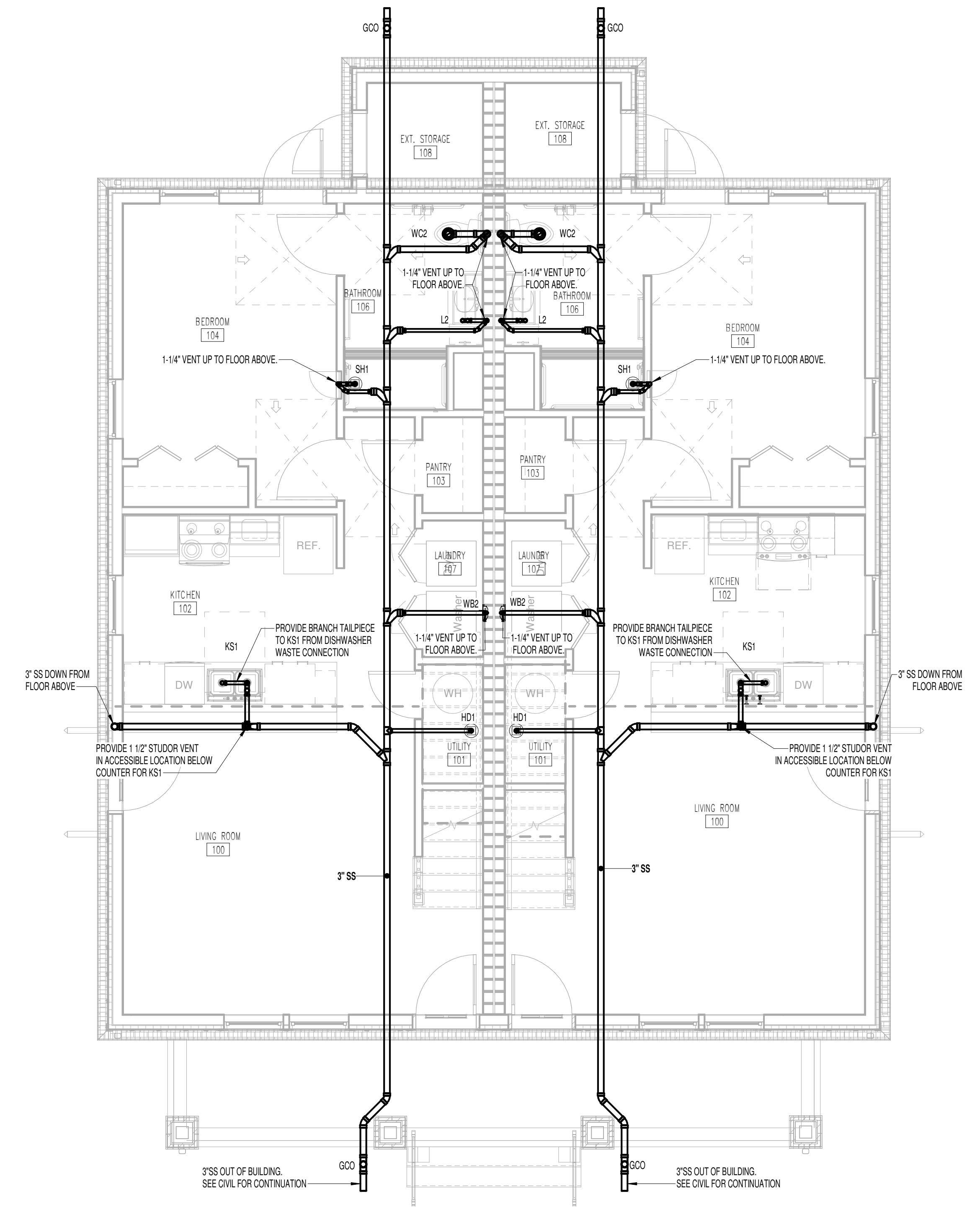
## P-145

3.2.A(U) - SANITARY

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② 3 BED DUPLEX - 3.2.A(u) SECOND FLOOR SANITARY  
1/4" = 1'-0"



① 3 BED DUPLEX - 3.2.A(u) FIRST FLOOR SANITARY  
1/4" = 1'-0"

GENERAL NOTE:  
1. COORDINATE WITH CIVIL FOR THE EXIT OF THE SANITARY FOR EACH BUILDING. WHERE THE SANITARY EXITS TO THE OPPOSITE SIDE OF THE BUILDING AS SHOWN, REVERSE ALL FITTINGS AT MAIN SEWER CONNECTIONS TO MATCH FLOW.

6/30/2023 10:30:22 AM

Consultants:

CIVIL ENGINEER:  
**SITE ENGINEERING CONSULTANTS, INC.**  
850 MIDDLE TN BLVD.  
MURFREESBORO, TN 37129  
1.615.890.7901

LANDSCAPE ARCHITECT:  
**RAGAN SMITH**

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1.615.546.6500

STRUCTURAL ENGINEER:  
**HAINES STRUCTURAL GROUP**

800 SOUTH GAY ST. ste 1625  
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MECHANICAL/PLUMBING ENGINEER:  
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713 SOUTH CENTRAL STREET, ste 101  
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1.865.248.0164

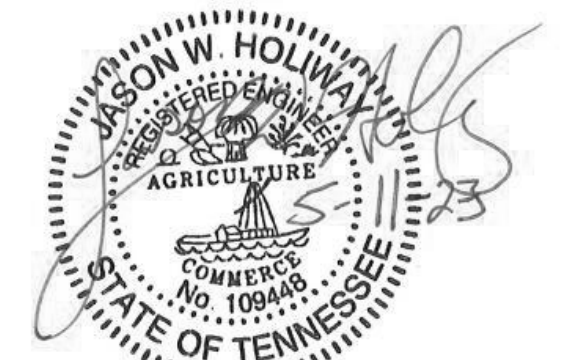
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KNOXVILLE, TN 37902  
1.865.248.0164

Project Information:

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## MHA - MERCURY HOUSING PHASE I

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



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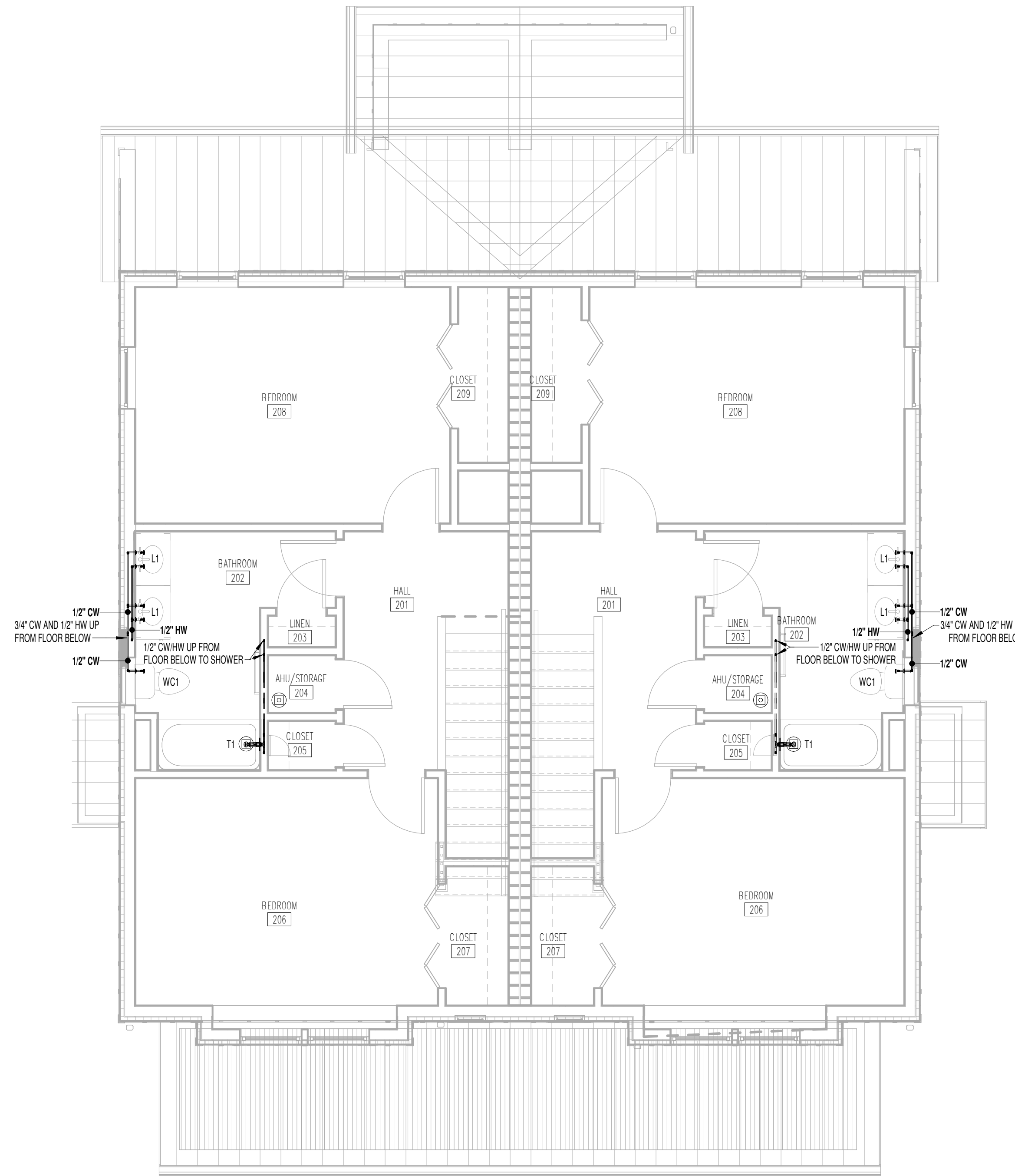
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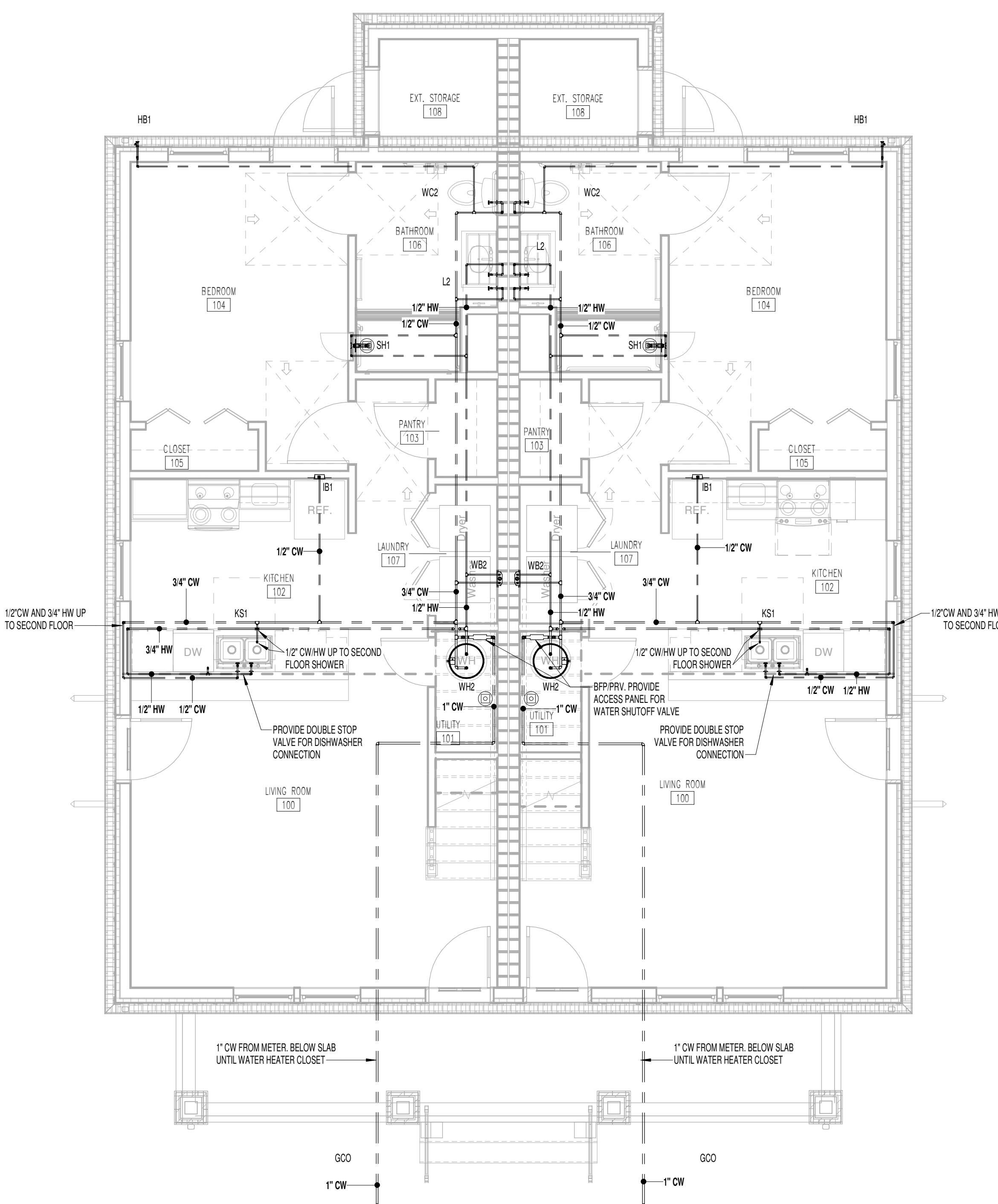
Sheet Information:

### P-146

3.2.A(U) - DOMESTIC WATER



② 3 BED DUPLEX - 3.2.A(U) SECOND FLOOR DOMESTIC WATER  
1/4" = 1'-0"



① 3 BED DUPLEX - 3.2.A(U) FIRST FLOOR DOMESTIC WATER  
1/4" = 1'-0"

Consultants:

CIVIL ENGINEER:  
**SITE ENGINEERING CONSULTANTS, INC.**  
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1.615.890.7901

LANDSCAPE ARCHITECT:  
**RAGAN SMITH**

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STRUCTURAL ENGINEER:  
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MECHANICAL/PLUMBING ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**  
713 SOUTH CENTRAL STREET, ste 101  
KNOXVILLE, TN 37902  
1.865.246.0164

ELECTRICAL ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**  
713 SOUTH CENTRAL STREET, ste 101  
KNOXVILLE, TN 37902  
1.865.246.0164

Project Information:

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**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



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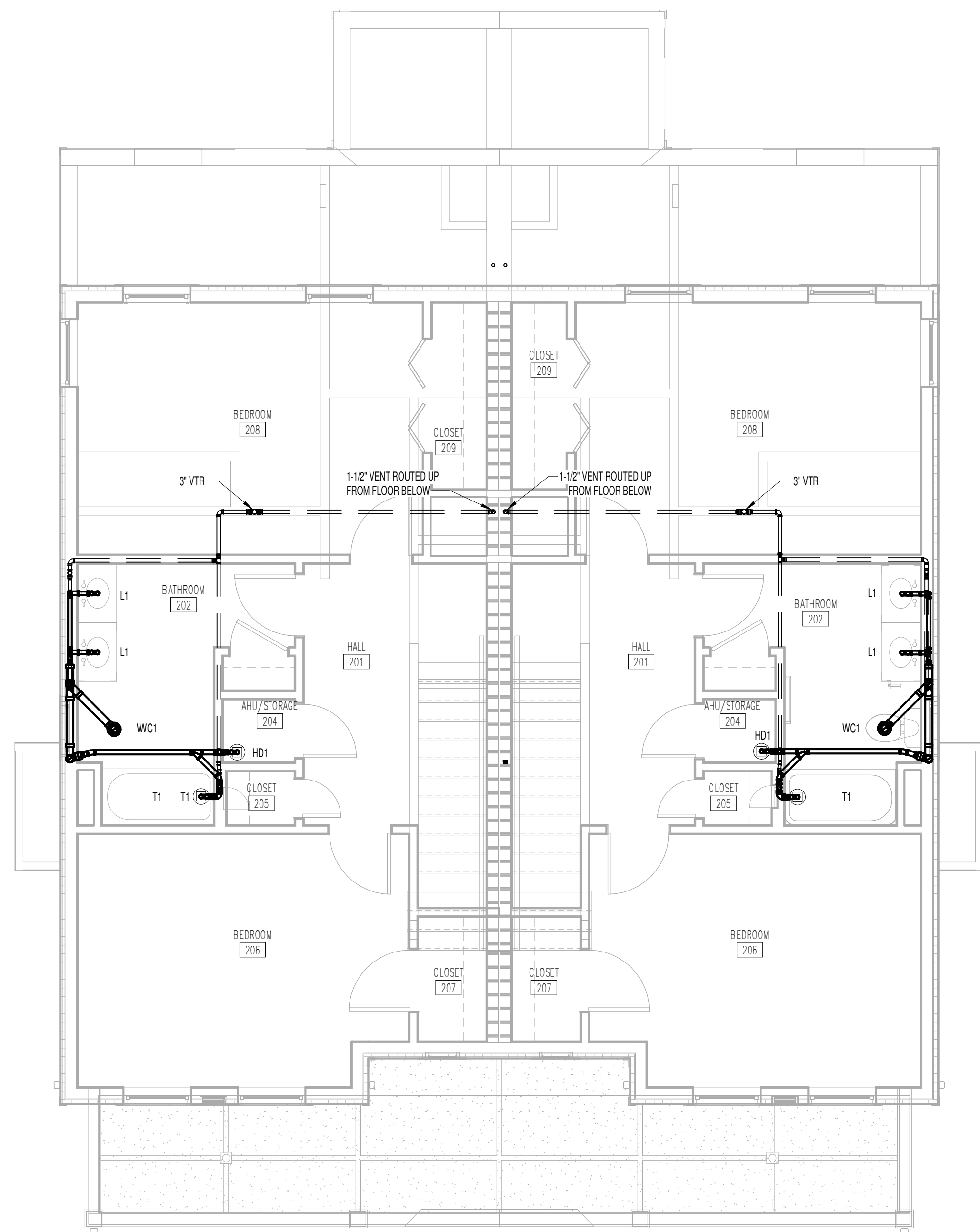
Issue Date: MAY 11, 2023  
PIC: J. HOLIWAY  
PM: W. RODER  
PA: -  
Drawn By: B. DAVIS  
Checked By: J. HOLIWAY, L. HEADLA

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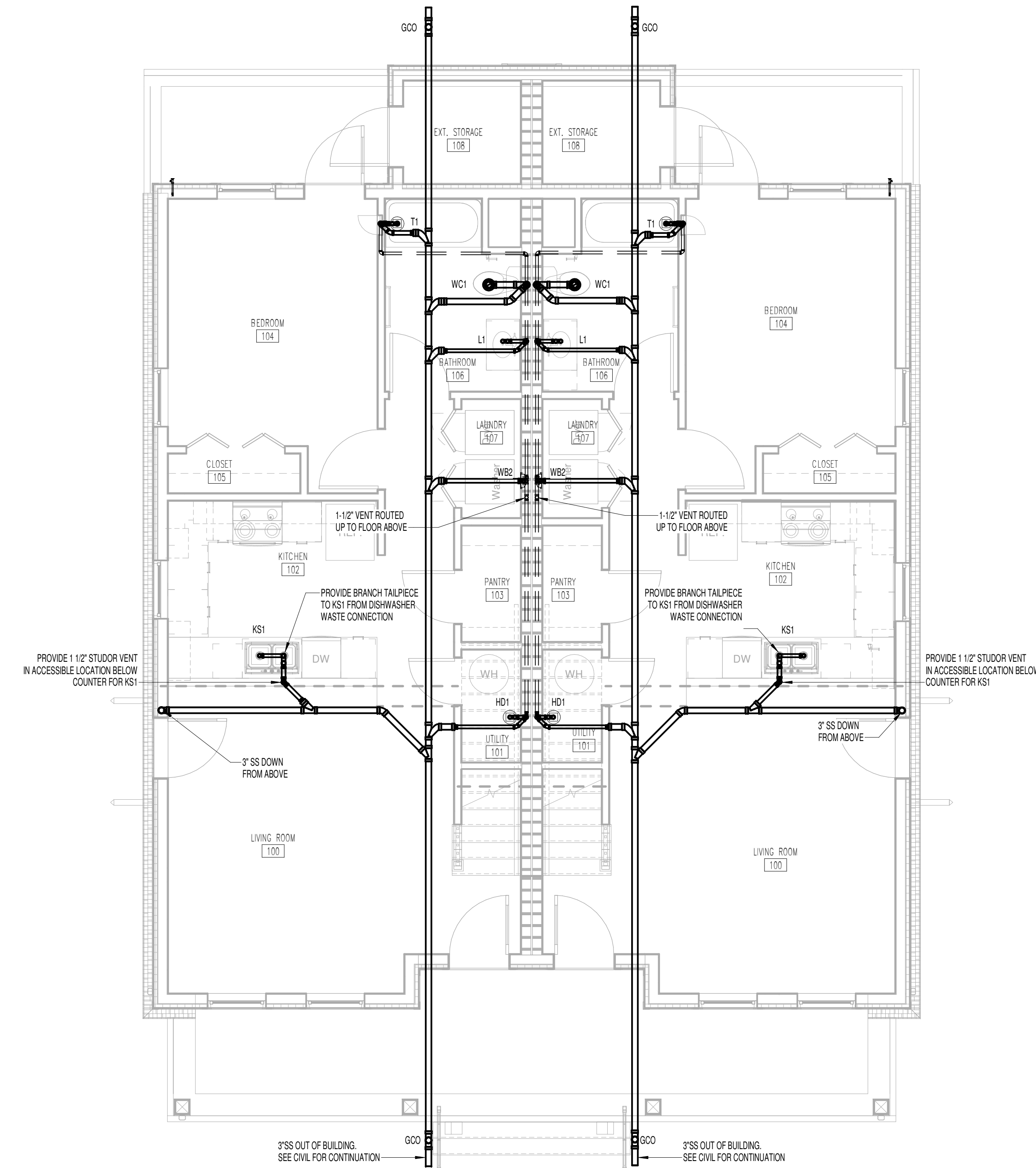
**P-151**

3.2.B - SANITARY

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② 3 BED DUPLEX - 3.2.B SECOND FLOOR SANITARY  
1/4" = 1'-0"



① 3 BED DUPLEX - 3.2.B FIRST FLOOR SANITARY  
1/4" = 1'-0"

GENERAL NOTE:  
1. COORDINATE WITH CIVIL FOR THE EXIT OF THE SANITARY FOR EACH BUILDING. WHERE THE SANITARY EXITS TO THE OPPOSITE SIDE OF THE BUILDING AS SHOWN, REVERSE ALL FITTINGS AT MAIN SEWER CONNECTIONS TO MATCH FLOW.

Consultants:

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1.615.890.7901

**LANDSCAPE ARCHITECT:**  
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1.865.246.0164

Project Information:

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**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



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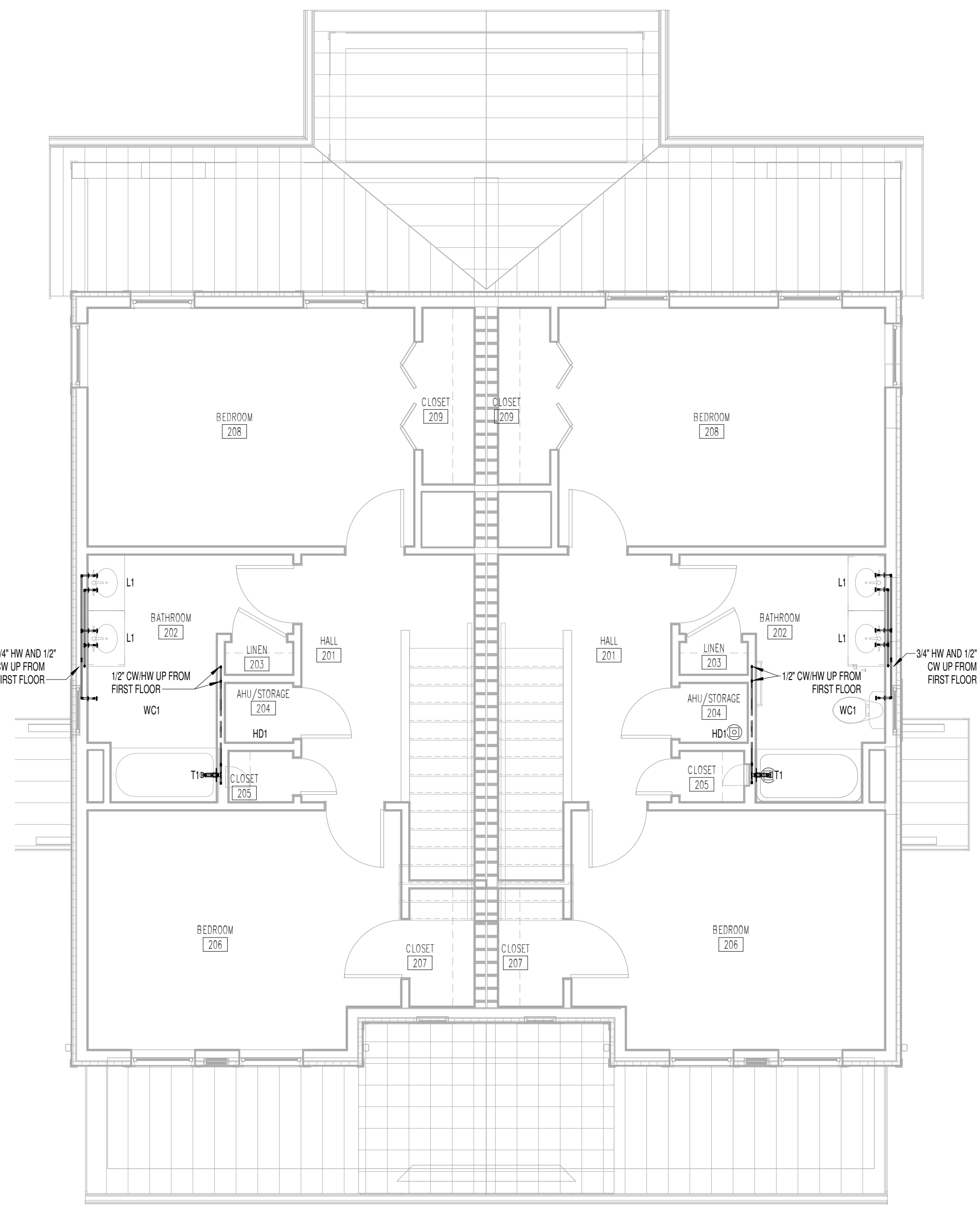
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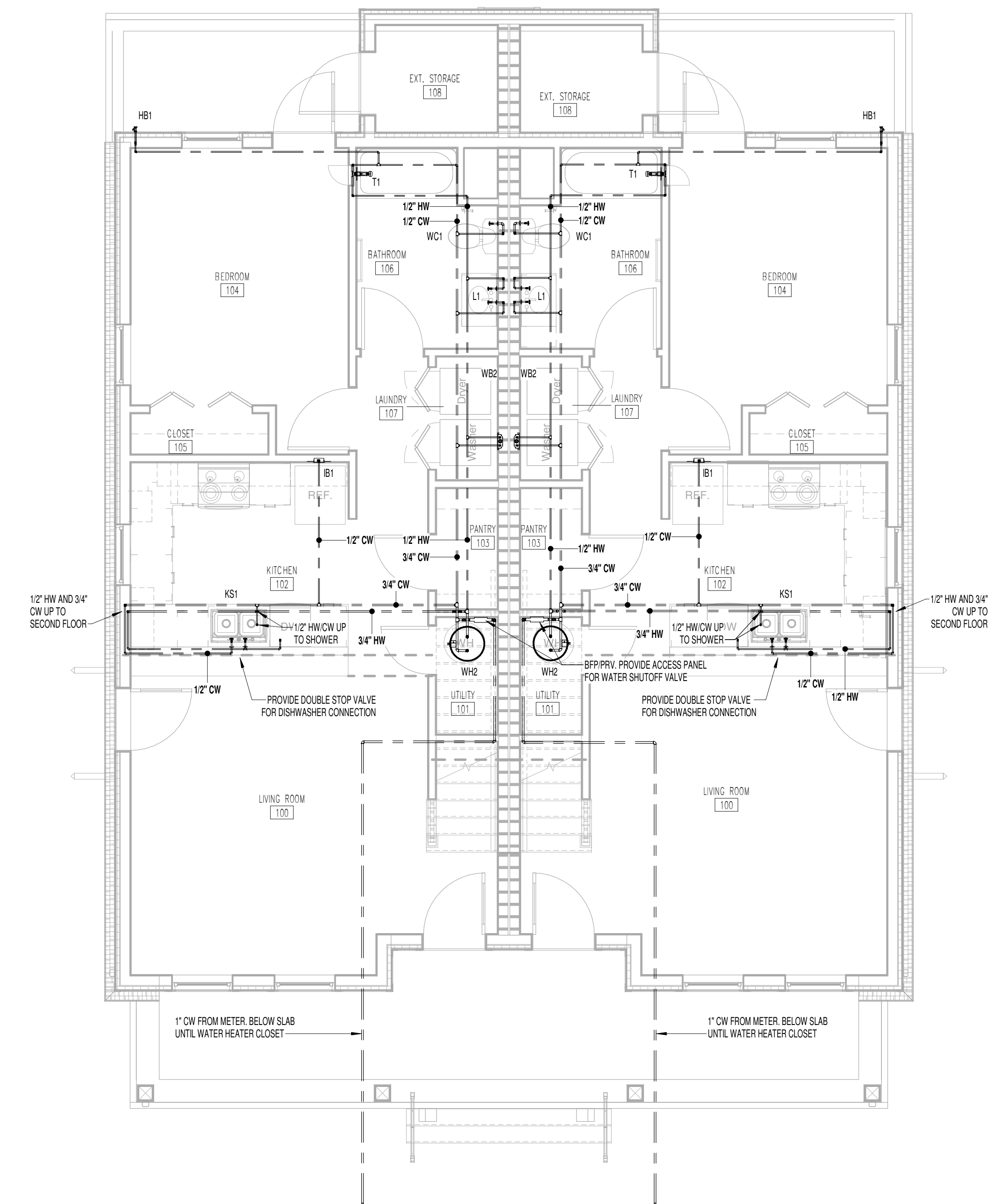
**P-152**

**3.2.B - DOMESTIC WATER**

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② 3 BED DUPLEX - 3.2.B SECOND FLOOR DOMESTIC WATER  
1/4" = 1'-0"



① 3 BED DUPLEX - 3.2.B FIRST FLOOR DOMESTIC WATER  
1/4" = 1'-0"

Consultants:

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1.615.890.7901

LANDSCAPE ARCHITECT:  
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Project Information:

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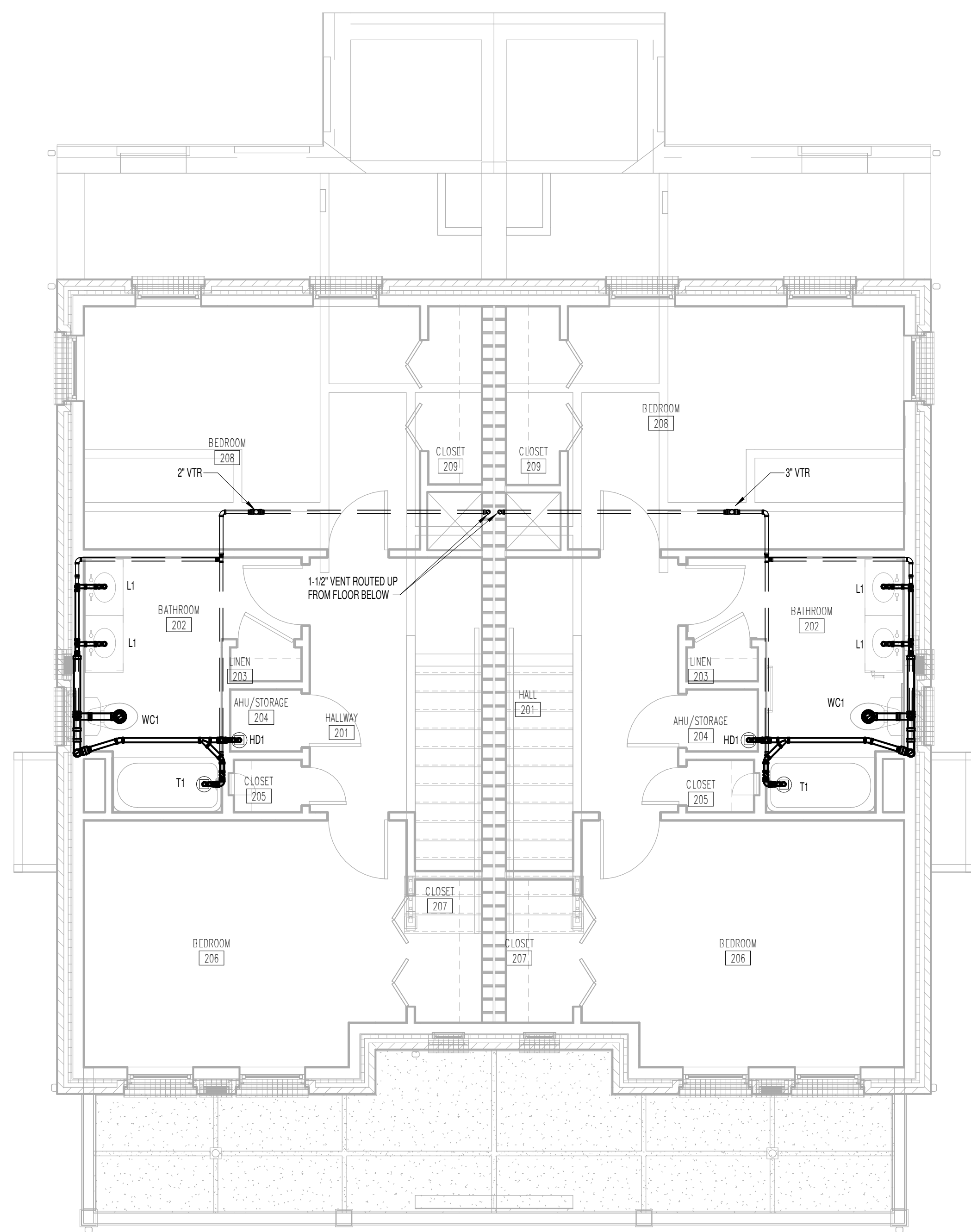
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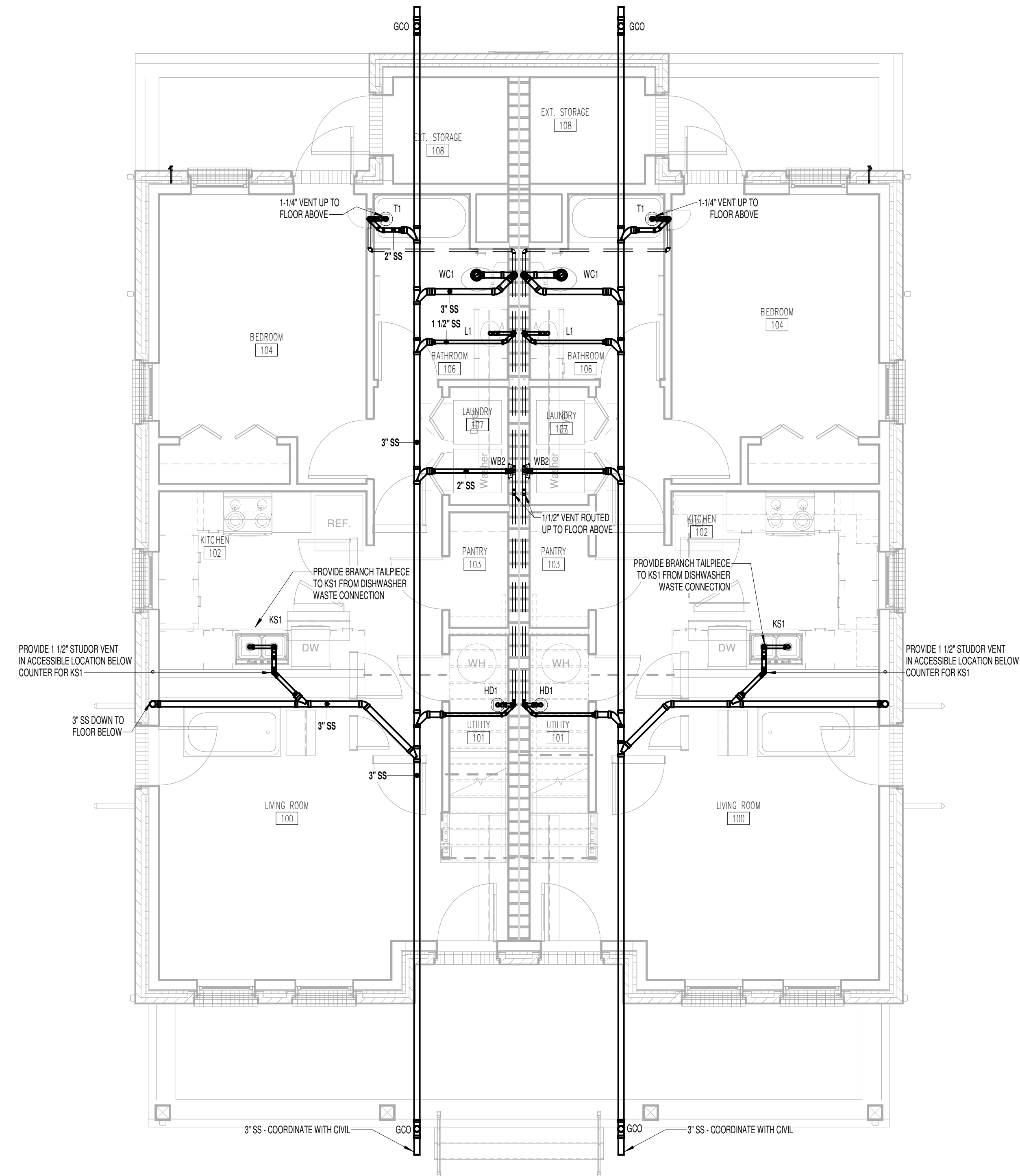
## P-161

3.2.C - SANITARY

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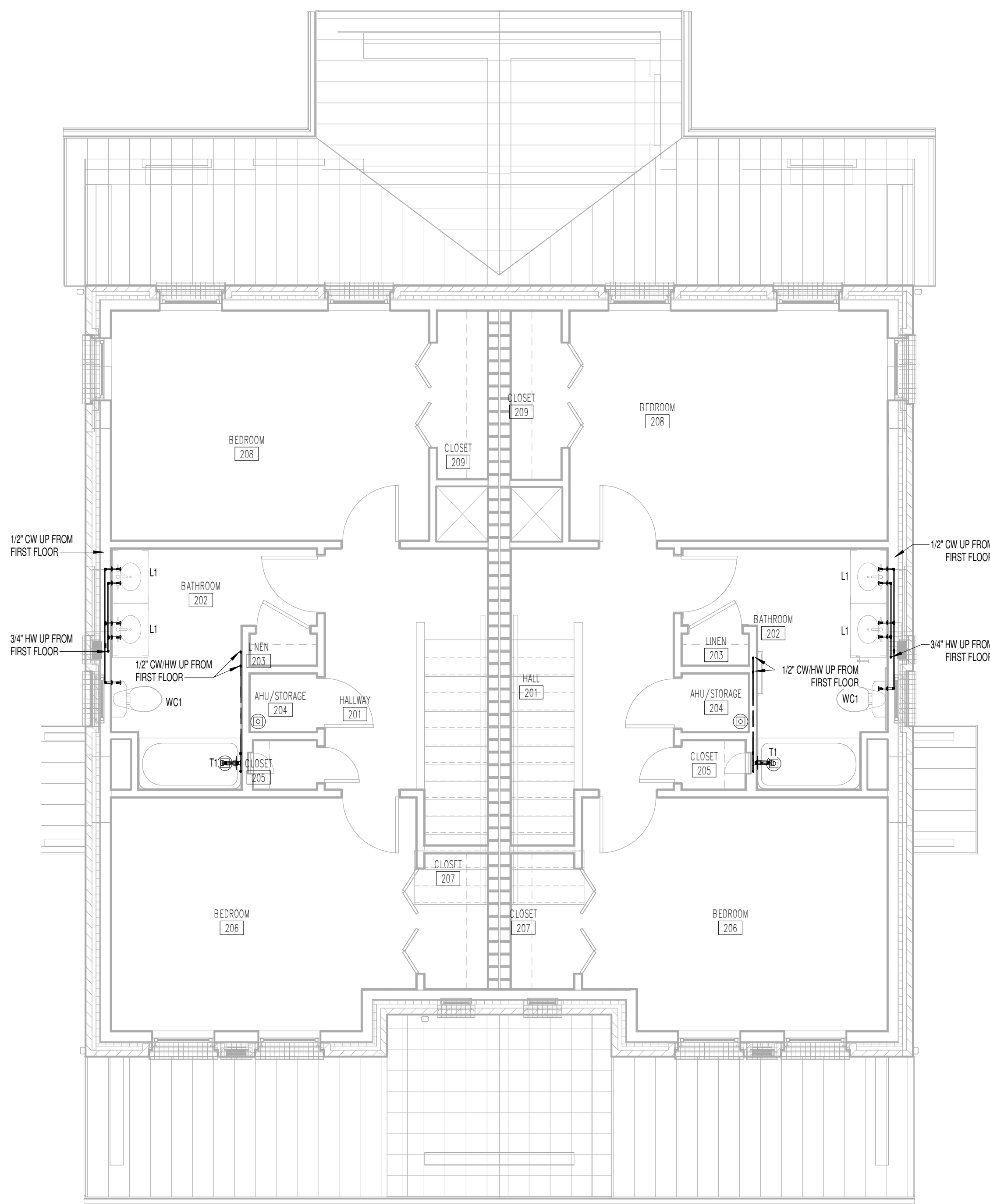


② 3 BED DUPLEX - 3.2.C SECOND FLOOR SANITARY  
1/4" = 1'-0"

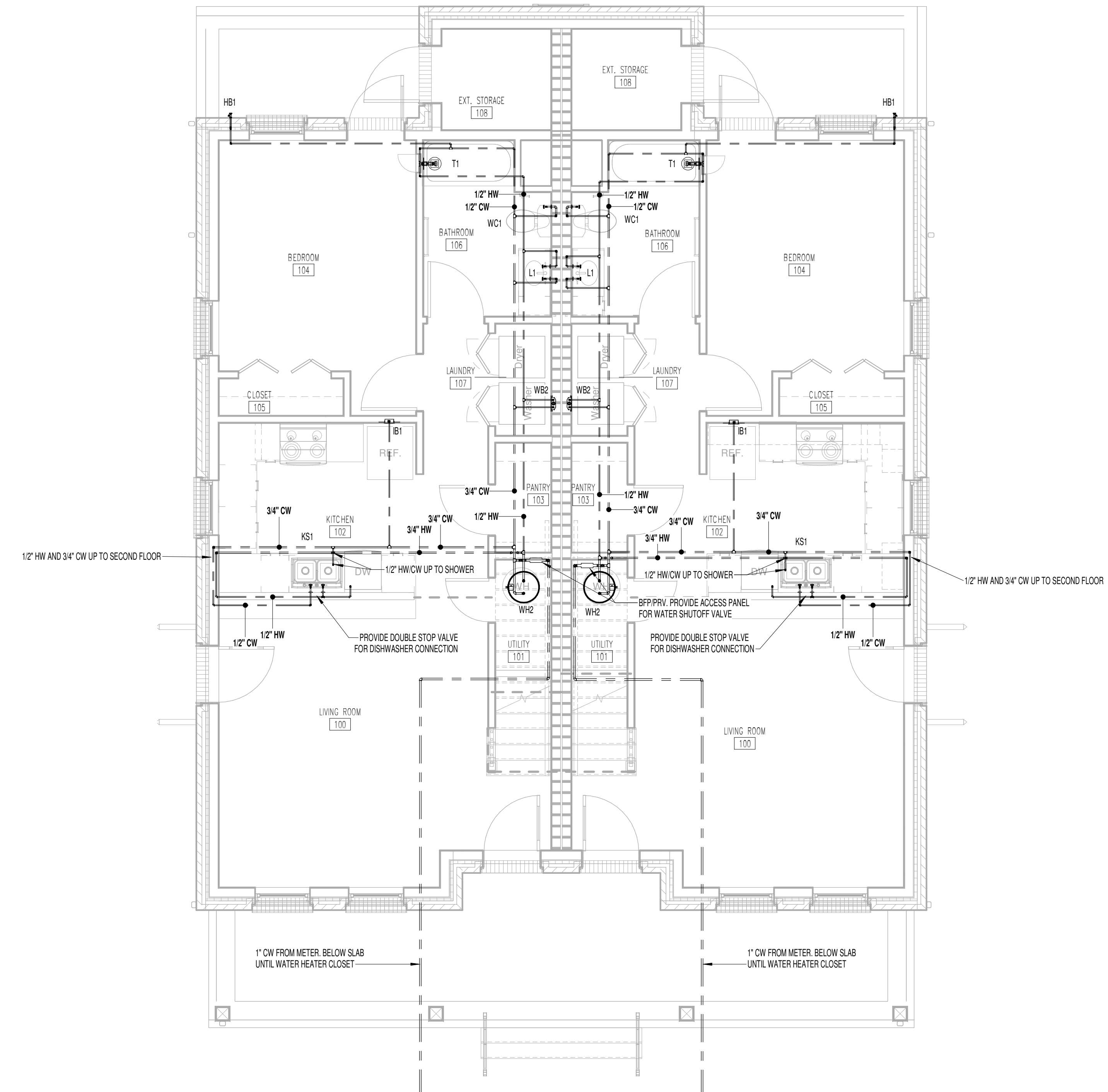


① 3 BED DUPLEX - 3.2.C FIRST FLOOR SANITARY  
1/4" = 1'-0"

GENERAL NOTE:  
1. COORDINATE WITH CIVIL FOR THE EXIT OF THE SANITARY FOR EACH BUILDING. WHERE THE SANITARY EXISTS TO THE OPPOSITE SIDE OF THE BUILDING AS SHOWN, REVERSE ALL FITTINGS AT MAIN SEWER CONNECTIONS TO MATCH FLOW.



② 3 BED DUPLEX - 3.2.C SECOND FLOOR DOMESTIC WATER  
1/4" = 1'-0"



① 3 BED DUPLEX - 3.2.C FIRST FLOOR DOMESTIC WATER  
1/4" = 1'-0"

### ELECTRIC SPLIT SYSTEM HEAT PUMP UNIT SCHEDULE

DESIGNATION	AMU	HP	CFM	O.A. CFM	EXT. S.P.	EVAP. FAN HP	CAPACITY (BTUH)			WEIGHT (LBS)	AUX. HEAT (KW) CIRCUIT 1 / CIRCUIT 2	INDOOR UNIT			SEER	COP @ 47F	HSPF (BTUH/WATT)	MANUFACTURER AND MODEL NO.		
							TOTAL COOLING	SENSIBLE COOLING	HEATING			MCA	MCP	VOLTAGE				WEIGHT (LBS)	MCA	MCP
1	1		800	0	0.4	1/3	23,800	18,100	23,200	113	4.8kW	27	30	230/160	176	20	30	230/160	RHEEM RPH24	RHEEM RPH24
2	2		1,000	0	0.7	1/3	29,400	20,800	15,750	113	7.2kW	41	45	230/160	220	18	25	230/160	RHEEM RPH30	RHEEM RPH30

**ACCESSORIES AND FEATURES:**

\* ESP DOES NOT INCLUDE FILTER SECTION.  
 \* PROVIDE FILTER TRAY AND 1" THICK THROW AWAY FILTER.  
 \* PROVIDE 7 DAY PROGRAMMABLE THERMOSTAT.  
 \* PROVIDE A/CR COPPER REFRIGERANT TUBING WITH FILTER DRYER, SIGHT GLASS, AND SERVICE VALVES.  
 \* 5 YEAR COMPRESSOR WARRANTY.  
 \* EQUIPMENT TO BE AIR CERTIFIED AND UL APPROVED.  
 \* ALTERNATE MANUFACTURERS: TRANE, LENOX, CARRIER.

\* COOLING CAPACITY AT 80/67 EAT, 85 COOT.  
 \* HEATING CAPACITY AT 47 COOT.  
 \* PROVIDE CONCRETE PAD UNDER CONDENSING UNIT.  
 \* SAFETY DISCONNECT BY ELECTRICAL.  
 \* REFER TO OVERALL PLAN FOR TOTAL QUANTITY REQUIRED.

### EXHAUST FAN SCHEDULE

DESIGNATION	CFM	EXHAUST S.P.	RPM	WATTS / HP	TYPE	CONTROL	VOLTAGE	ONES	WEIGHT	MANUF. AND MODEL NO.	NOTES
1	200	0.4	1,075	84	DIRECT	WALL SWITCH	115/160	5.0	24	COOK GF-189	1 - 5
2	200	0.4	1,075	84	DIRECT	WALL SWITCH	115/160	5.0	24	COOK GF-189	1 - 5

**ACCESSORIES AND FEATURES:**

1. PROVIDE UNIT MOUNTED SOLID STATE SPEED CONTROL.  
 2. PROVIDE WALL CAP WITH BRID SCREEN.  
 3. PROVIDE SMART BATH BATH FAN SWITCH WITH VENTILATION CONTROL AND DELAY TIMER. THE FINAL RUN TIME OF THE EXHAUST SHALL BE DETERMINED DURING THE BLOWER TEST AT COMPLETION OF PROJECT.  
 4. REFER TO OVERALL PLANS FOR TOTAL QUANTITY REQUIRED.  
 5. PROVIDE SMART BATHROOM EXHAUST BATH FAN CONTROLLER.

### DRYER BOOSTER FAN SCHEDULE

DESIGNATION	CFM	RPM	WATTS	TYPE	VOLTAGE	WEIGHT (LBS)	MANUF. AND MODEL NO.
1	173	2559	71.9	DIRECT	120/160	7.69	FANTECH DEFAULT

\* PROVIDE AIR PRESSURE SWITCH AND MOUNTING BRACKETS.  
 \* REFER TO DRAWINGS FOR QUANTITY REQUIRED.

### AIR DISTRIBUTION SCHEDULE

DESIGNATION	SERVICE	DESCRIPTION	MATERIAL	MANUF. AND MODEL NO.	ACCESSORIES AND FEATURES
RG-1	SIDEWALL RETURN GRILLE	*45 DEGREE DEFLECTION *FIXED BARS	STEEL CONSTRUCTION WITH WHITE BAKED ENAMEL FINISH	PRICE 530	*NC-3B
SG-1	RESIDENTIAL SUPPLY GRILLE	*DOUBLE DEFLECTION	STEEL CONSTRUCTION WITH WHITE BAKED ENAMEL FINISH	PRICE 540	*ADJUSTABLE FRONT AND REAR BARS *NC-3B
SS-1	SIDEWALL SUPPLY GRILLE	*DOUBLE DEFLECTION	STEEL CONSTRUCTION WITH WHITE BAKED ENAMEL FINISH	PRICE 520	*3/4" BLADE SPACING *NC-3S
TG-1	SIDEWALL SUPPLY GRILLE	*DOUBLE DEFLECTION	STEEL CONSTRUCTION WITH WHITE BAKED ENAMEL FINISH	PRICE 520	*3/4" BLADE SPACING *NC-3S

\* SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR MOUNTINGS TYPE REQUIRED.  
 PROVIDE PLASTER FRAME FOR ALL AIR DEVICES LOCATED IN GYP. BOARD CELINGS.  
 \* VERIFY THE MOUNTING OF ALL CEILING AIR DISTRIBUTION DEVICES COMPLY WITH BUILDING STRUCTURE PRIOR TO PURCHASE.

### HVAC LEGEND & SYMBOLS

	A. RECTANGULAR DUCT: * MANUAL OPPOSED BLADE DAMPER WITH LOCKING QUADRANT LEVER OPERATOR, OF STEEL CONSTRUCTION. * LOUVERS & DAMPERS MODEL, CD-400, KRUEGER MODEL, 600-DM TYPE 2 OPERATION FOR LESS THAN 10" WIDE.
	A. ROUND DUCT: * ROUND BLADE CONTROL DAMPER OF STEEL CONSTRUCTION WITH MANUAL OPERATOR. * LOUVERS AND DAMPERS MODEL, CD-800.
	RECTANGULAR ELBOW WITH SINGLE THICKNESS TURNING VANES OF STEEL CONSTRUCTION.
	CONSTRUCT ALL BRANCH CONNECTIONS WITH 45° FITTING PER SMACNA STANDARDS. DIMENSION: L = 14W, 4" MINIMUM.
	SHEET METAL CONNECTORS, INC. HIGH EFFICIENCY TAKEOFF WITH DAMPER AND LOCKING QUADRANT FOR ROUND DUCT TAKEOFFS FROM RECTANGULAR DUCTWORK. INCREASE MAIN DUCT SIZE AT FITTING TO ACCOMMODATE ITS INSTALLATION IF REQUIRED TO MEET SMACNA AND MANUFACTURER'S INSTRUCTIONS. DIMENSION: D = RUN/OUT DIAMETER (6" - 14")
	DUCT RISER
	DUCT DROP
	ROUND DUCT RISER
	ROUND DUCT DROP
	FLEXIBLE DUCT EQUAL TO FLEXMASTER TYPE 3 INSULATED FLEXIBLE DUCT WITH ALUMINUM FOIL JACKET AND ALUMINUM FOIL FIBERGLASS POLYESTER LAMINATE LINER. INSTALL IN ACCORDANCE WITH SECTION II OF SMACNA'S HVAC DUCT CONSTRUCTION STANDARDS, METAL AND FLEXIBLE.
	SUPPLY DUCT
	RETURN DUCT
	EXHAUST DUCT
	INDICATES NEW HVAC EQUIPMENT
	DUCT TRANSITION
	DOOR GRILLE (DG)
	BALANCING DAMPER
	INDICATES 3/4" UNDERCUT DOOR
	WALL MOUNTED THERMOSTAT
	SUPPLY DIFFUSER W/ FLEX DUCT (CD)
	EGGCRATE CEILING RETURN (CR)
	CEILING EXHAUST GRILLE (CE)
	EXHAUST FAN (EF)
	CEILING SUPPLY GRILLE (SG)
	SIDEWALL SUPPLY GRILLE (SWS)
	SIDEWALL RETURN GRILLE (RG)

### ELECTRIC SPLIT SYSTEM HEAT PUMP SEQUENCE

**OCCUPIED MODE:**  
 OCCUPANCY MODE OF THE HEAT PUMP WILL BE CONTROLLED BY A SEVEN DAY PROGRAMMABLE THERMOSTAT DURING THE OCCUPIED MODE THE SUPPLY FAN SHALL OPERATE CONTINUOUSLY.

**UNOCCUPIED MODE:**  
 DURING THE UNOCCUPIED MODE THE SUPPLY FAN SHALL CYCLE WITH HEATING OR COOLING TO MAINTAIN UNOCCUPIED ZONE SET POINTS.

**HEAT PUMP CONTROL:**  
 WHEN THE ZONE TEMPERATURE FALLS BELOW THE ZONE TEMPERATURE SET POINT THE REVERSING VALVE (S) WILL BE INDEXED TO PROVIDE HEATING WHEN THE COMPRESSOR IS RUNNING. WHEN THE ZONE TEMPERATURE RISES ABOVE THE ZONE TEMPERATURE SET POINT THE REVERSING VALVE (S) WILL BE INDEXED TO PROVIDE COOLING MODE WHEN THE OUTDOOR AIR TEMPERATURE IS BELOW THE LOCKOUT SET POINT, THE COMPRESSOR WILL BE LOCKOUT FROM HEATING MODE. WHEN THE OUTDOOR AIR TEMPERATURE IS ABOVE THE LOCKOUT SET POINT.

**TEMPERATURE CONTROL:**  
 THE UNIT WILL CONTROL TO MAINTAIN THE ZONE TEMPERATURE SET POINT AS SENSED BY THE THERMOSTAT MOUNTED ON THE WALL.

**AUXILIARY HEAT:**  
 AUXILIARY HEATING SHALL BE STAGED WITH THE HEAT PUMP IN ORDER TO MAINTAIN ZONE TEMPERATURE SET POINTS. WHENEVER THE HEAT PUMP IS LOCKED OUT DUE TO LOW OUTSIDE AIR TEMPERATURES, THE AUXILIARY HEAT WILL BECOME THE FIRST STAGE OF HEATING.

### GENERAL NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATION OF H.V.A.C. COMPONENTS OR PURCHASE OF EQUIPMENT.
- CONTRACTOR SHALL COORDINATE ALL OTHER TRADES WITH THE INSTALLATION OF H.V.A.C. SYSTEM.
- H.V.A.C. LEGEND MAY CONTAIN SYMBOLS AND ABBREVIATIONS NOT USED ON THIS SPECIFIC PROJECT. LEGEND SHALL BE USED FOR REFERENCED PURCHASES.
- CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE H.V.A.C. SYSTEM AS IT RELATES TO DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR IS REQUIRED TO REVIEW ARCHITECTURAL PLANS FOR RATED ASSEMBLIES. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH THE SPECIFICATIONS AND APPLICABLE BUILDING CODES.
- STANDARD ACCESSORIES OR CONTROLS ON H.V.A.C. EQUIPMENT SHALL BE THOSE WHICH MANUFACTURER PROVIDES ON THE MAJORITY OF STOCK MODELS.
- BRAND NAMES AND MODEL NUMBERS ARE PROVIDED TO ESTABLISH A LEVEL OF QUALITY AND PERFORMANCE. EQUAL TO ITEMS MAY BE SUBMITTED FOR CONSIDERATION BY THE ENGINEER AND OWNER.
- THE DRAWINGS ARE GENERALLY DIAGNOSTIC AND INDICATE THE APPROXIMATE ROUTING OF PIPING AND DUCTWORK. CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES. MINOR OFFSETS AND ADJUSTMENTS SHALL BE PROVIDED WHERE REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE CEILING DIFFUSERS AND REGISTER LOCATIONS WITH ARCHITECT'S REFLECTED CEILING PLAN.

### HVAC NOTES:

- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE SUPPLY, RETURN AND EXHAUST DUCT AS FOLLOWS: DUCTWORK TO BE DESIGNED, BRACED, AND SUPPORTED IN ACCORDANCE WITH SMACNA FOR LOW PRESSURE APPLICATIONS, SEAL CLASS C PER SMACNA HVAC DUCT CONSTRUCTION STANDARDS. METAL AND FLEXIBLE DUCTWORK (FLEXIBLE DUCT MAX. 5) SMACNA AIR SINGLE WIRE HANGERS SHALL NOT BE ALLOWED FOR FLEXIBLE DUCTWORK SUPPORT. FLEXIBLE DUCTWORK SHALL BE SUPPORTED IN A MANNER THAT PREVENTS CONSTRUCTION OR DRIP. INSULATION SHALL BE AS NOTED BELOW.
- ALL DUCT ELBOWS SHALL BE 15 R/D, UNLESS NOTED OTHERWISE.
- MANUAL OPPOSED BLADE DAMPERS SHALL BE PLACED IN EACH BRANCH OF SUPPLY DUCTWORK FOR FINAL BALANCING PURPOSES. BALANCING DEVICES SHALL BE IN ACCORDANCE WITH IMC (2018) 603.18.
- CONTRACTOR SHALL FIELD VERIFY ALL DUCT ROUTING DIMENSIONS AND TERMINAL DEVICES TO AVOID INTERFERENCES.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SUPPORTS FOR PIPING AND DUCTWORK.
- CONDENSATE DRAIN PIPING SHALL BE FULL SIZE PER EQUIPMENT CONNECTION WITH PIPING ROUTED TO INDIRECT CONNECTION WITHOUT CREATING AN OBSTRUCTION. ALL SUPPORTS FOR THE CONDENSATE DRAIN PIPING IS BY THE MECHANICAL / HVAC CONTRACTOR.
- THE MECHANICAL SYSTEMS SHALL HAVE TESTING AND BALANCING PERFORMED BY THE CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE SYSTEMS. THE CONTRACTOR SHALL PREPARE AND SUBMIT A COMPLETE REPORT IDENTIFYING ALL MAJOR PIECES OF HVAC EQUIPMENT AND AIR DISTRIBUTION DEVICES WITH PERFORMANCE AND FINAL AIR BALANCE OF EACH. SUBMITTAL SHALL BE PRESENTED TO THE ENGINEER AND BUILDING OWNER OR TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL. BOTH PROCEDURES ARE TO BE DONE AT THE SAME TIME AND TO BE COORDINATED TO ACHIEVE DESIRED RESULTS.
- PROVIDE MINIMUM 10 FEET SEPARATION BETWEEN OUTSIDE AIR INTAKES AND EXHAUST VENTS, PLUMBING VENTS, ETC.
- THERMOSTATS SHALL BE MOUNTED 4" ABOVE FINISHED FLOOR UNLESS INDICATED OTHERWISE.
- PROVIDE ACCESS DOOR (12"x12" MIN AS REQUIRED FOR DAMPER AND CONTROL ACCESS IN WALLS AND CEILINGS.

### DUCT SEALING:

- PRESSURE SENSITIVE TAPE USED AS THE PRIMARY SEALANT IS CERTIFIED AND SHALL COMPLY WITH UL-181A OR UL-181B.
- PROVIDE CONDITIONAL SEAMS ON RIGID DUCT AND TRANSVERSE SEAMS ON ALL DUCTS.
- PROVIDE MECHANICAL FASTENERS AND SEALANTS SHALL BE USED TO CONNECT DUCTS AND AIR DISTRIBUTION DEVICES.

### INSULATION:

- DUCTWORK SHALL BE INSULATED IN ACCORDANCE WITH THE FOLLOWING:  
 A. NO INSULATION FOR EXHAUST OR EXPOSED SUPPLY AND RETURN DUCTWORK.  
 B. ALL OTHER DUCTWORK PROVIDE FIBERGLASS BLANKET TYPE INSULATION WITH FOIL VAPOR BARRIER COVER IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS.

### PENETRATIONS:

- SLEEVES SHALL BE INSTALLED WHERE DUCTS, LOUVERS, OR PIPING PENETRATE NON-RATED EXTERIOR WALLS, PARTITIONS, FLOORS, OR ROOF. PACK AROUND SLEEVES AND SEAL WEATHER TIGHT. INSTALL FLASHING AS REQUIRED. SLEEVES SHALL BE MINIMUM 16 GAUGE GALVANIZED STEEL AND SHALL BE FIRMLY SET IN BUILDING STRUCTURE.

### SUBMITTALS AND ACCEPTANCE:

- UNLESS OTHERWISE INSTRUCTED, THE CONTRACTOR SHALL SUBMIT ONE (1) DIGITAL SET (PDF) OF HVAC SHOP DRAWINGS TO THE PROJECT MANAGER WHO SHALL THEN RELAY THEM TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE PURCHASE OF EQUIPMENT.
- OPERATION AND MAINTENANCE MANUALS FOR ALL MECHANICAL EQUIPMENT SHALL BE COMPILED INTO A THREE RING BINDER AND TURNED OVER TO BUILDING OWNER UPON PROJECT COMPLETION.



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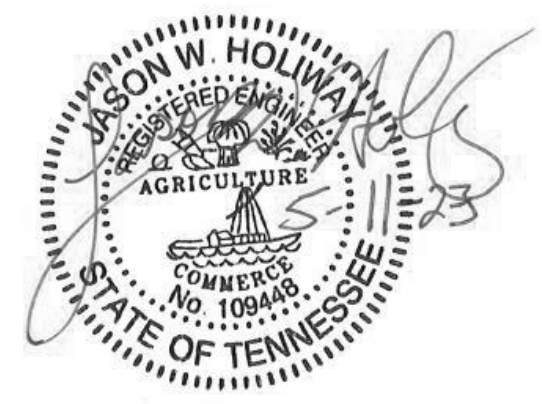
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Project Information:

**22054**

**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
 MURFREESBORO, TN 37130



Consultant:

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 PA: --  
 Drawn By: B. DAVIS  
 Checked By: J. HOLLIWAY, L. HEADLA

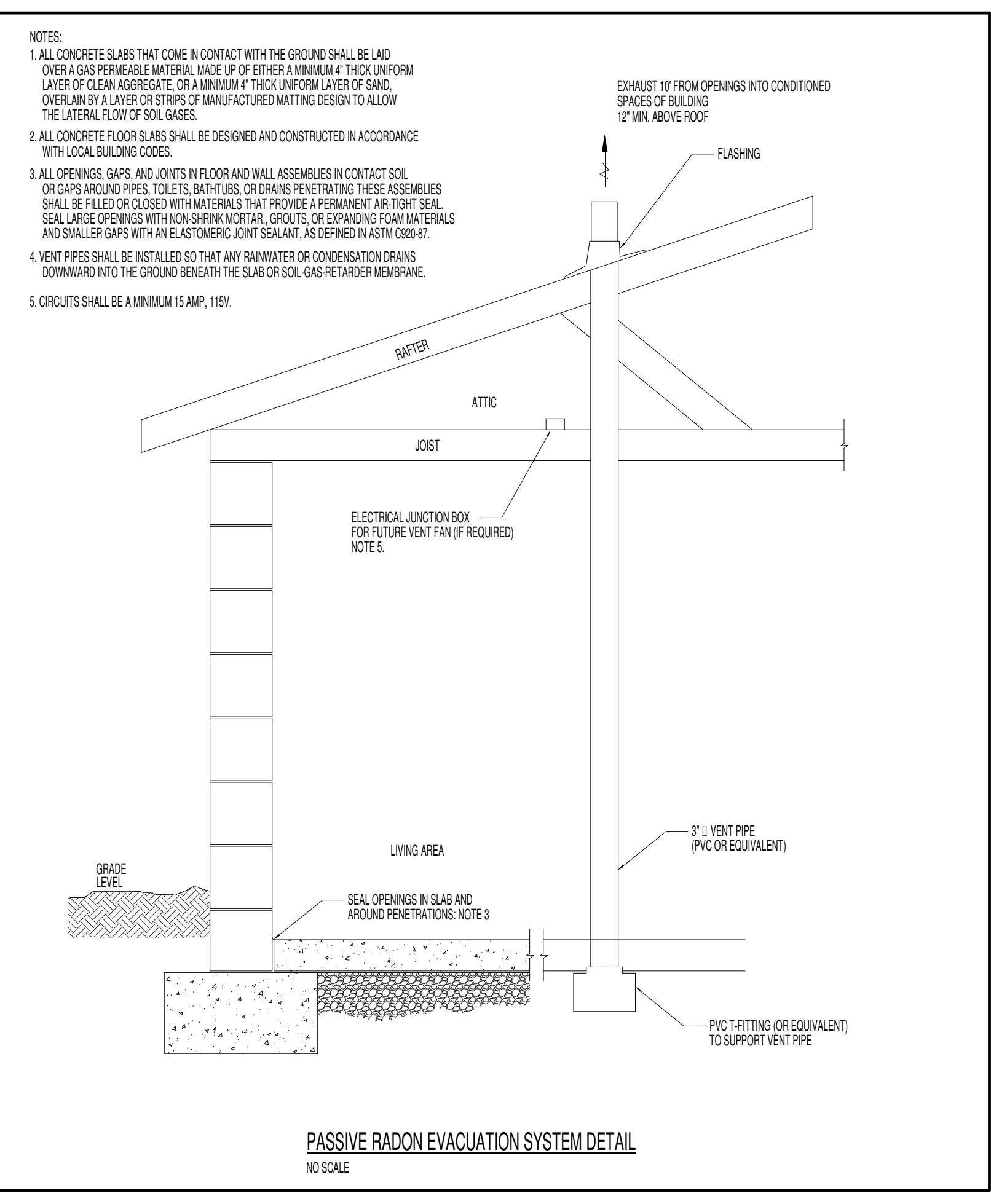
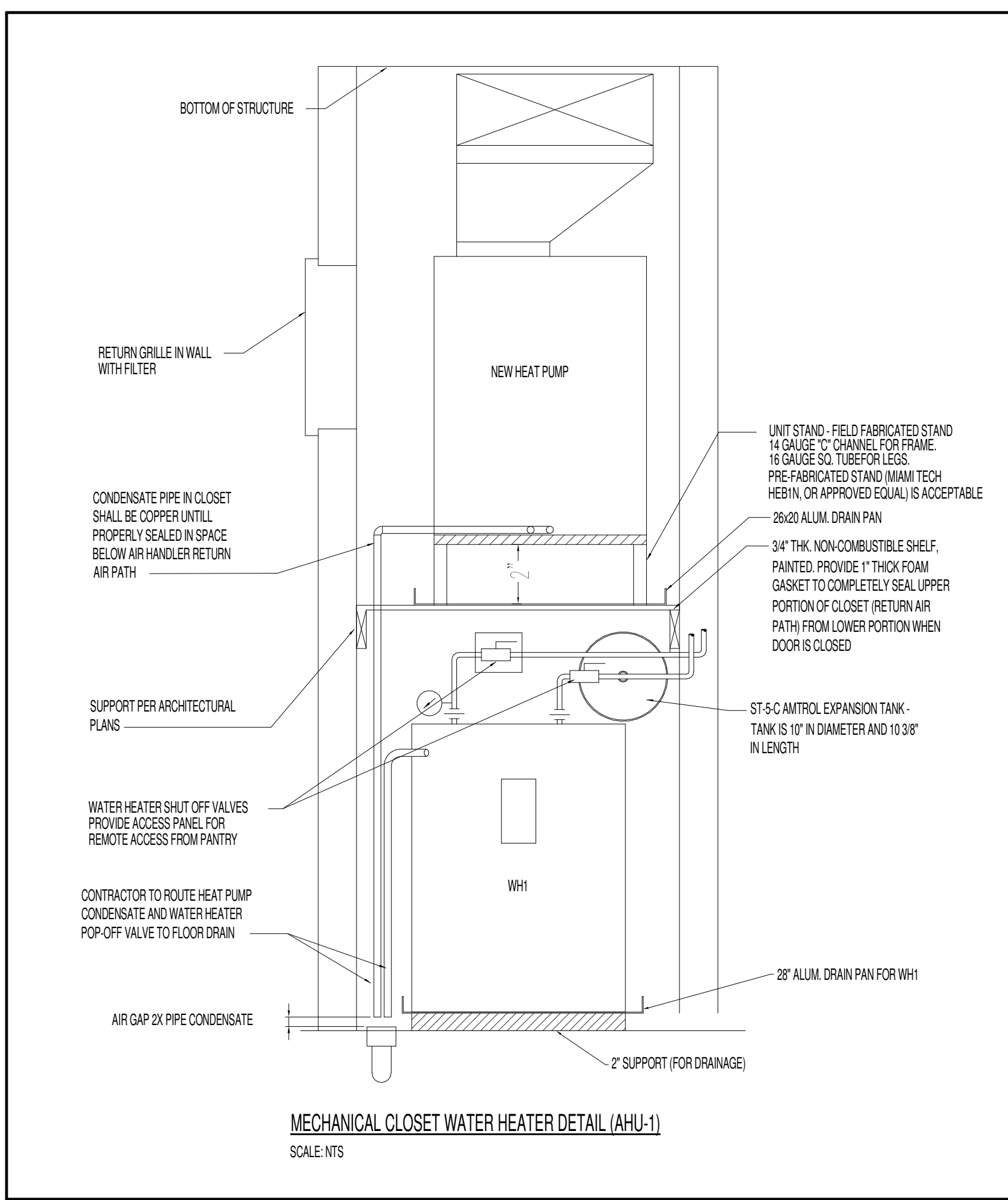
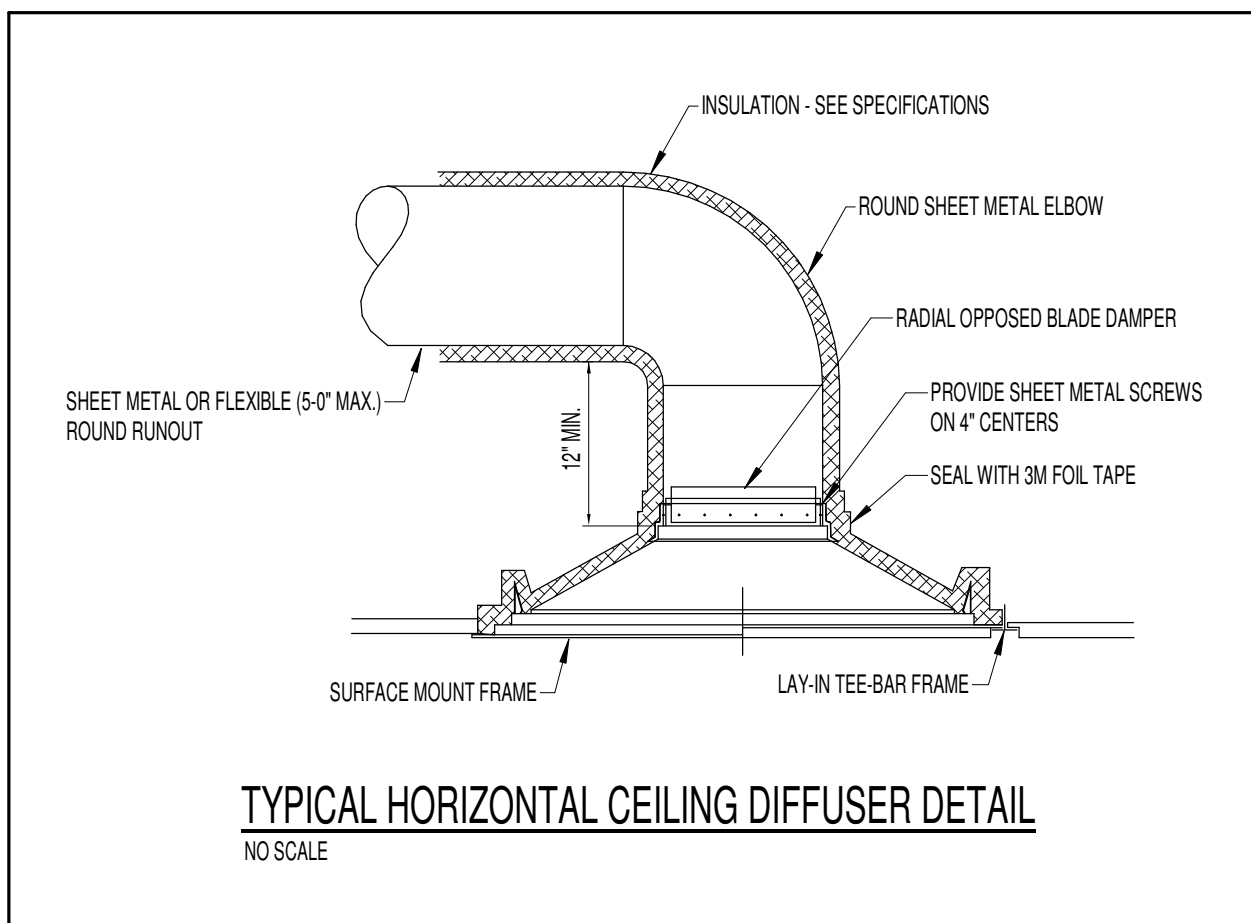
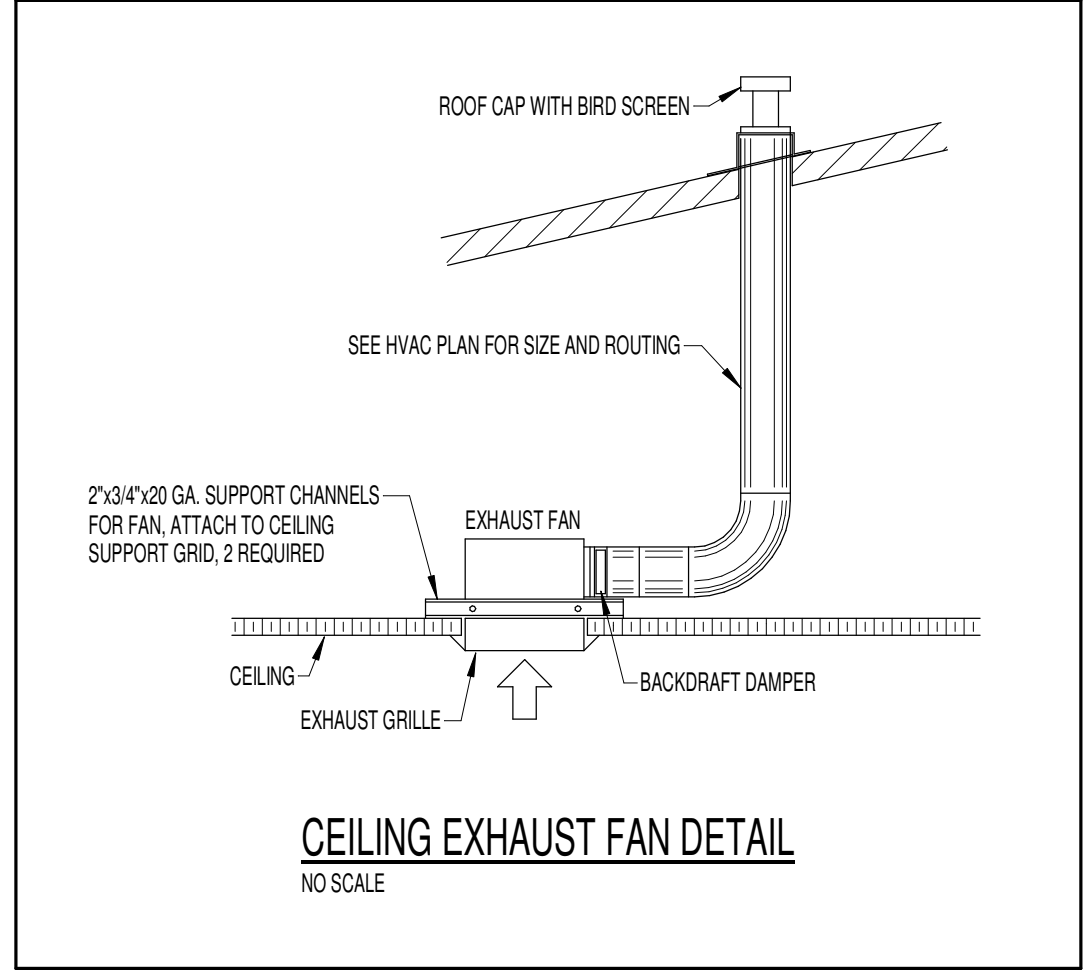
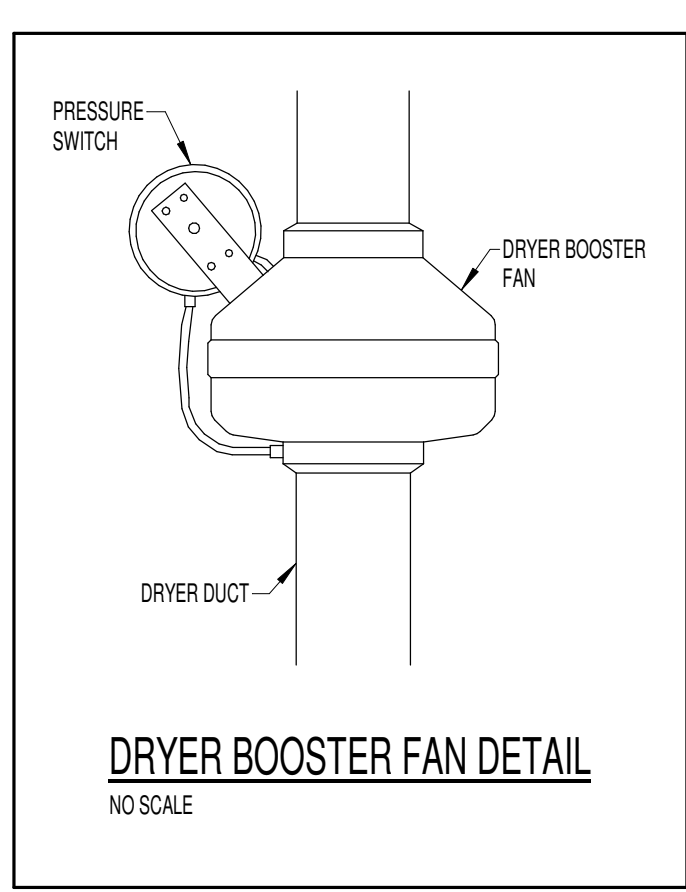
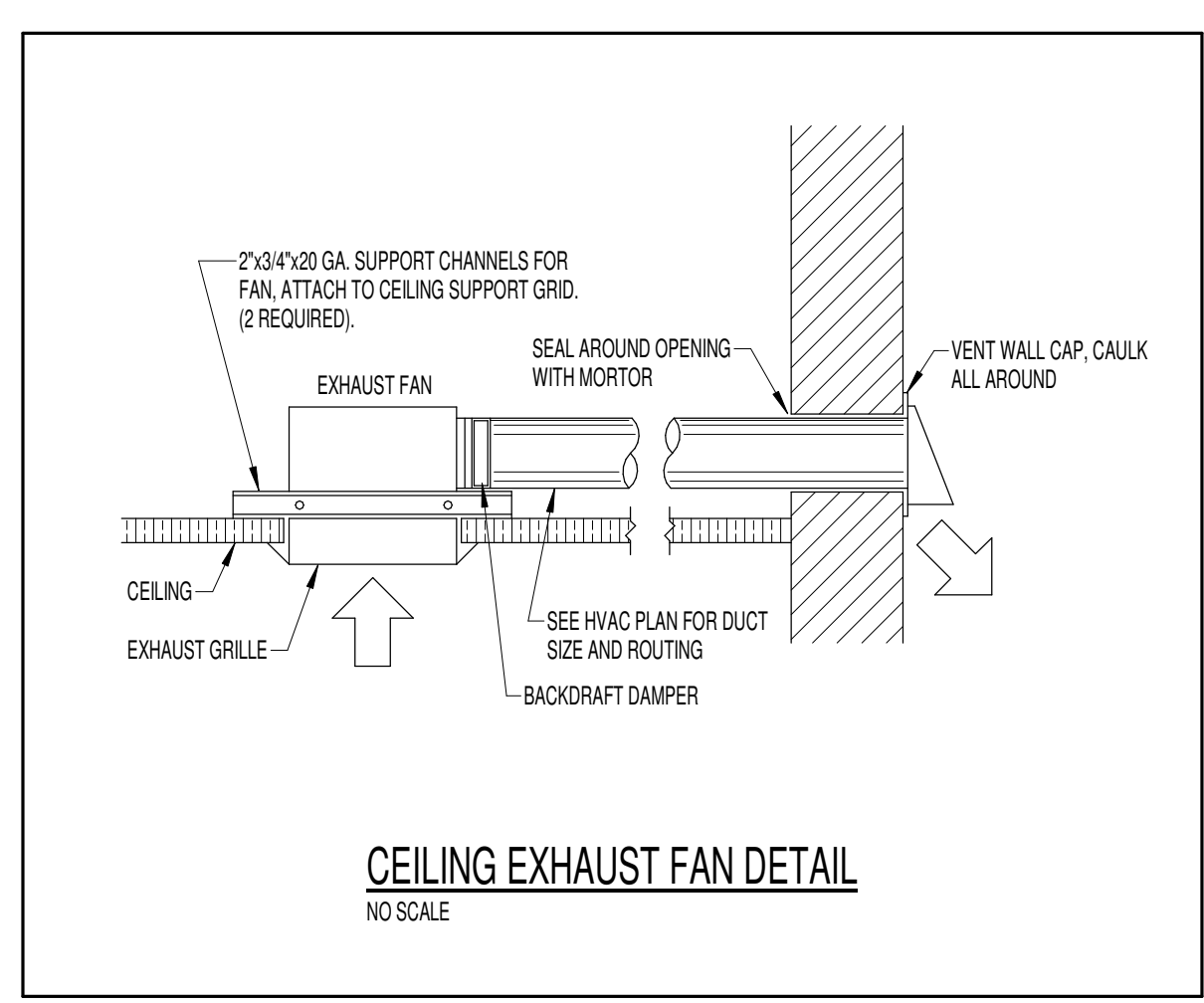
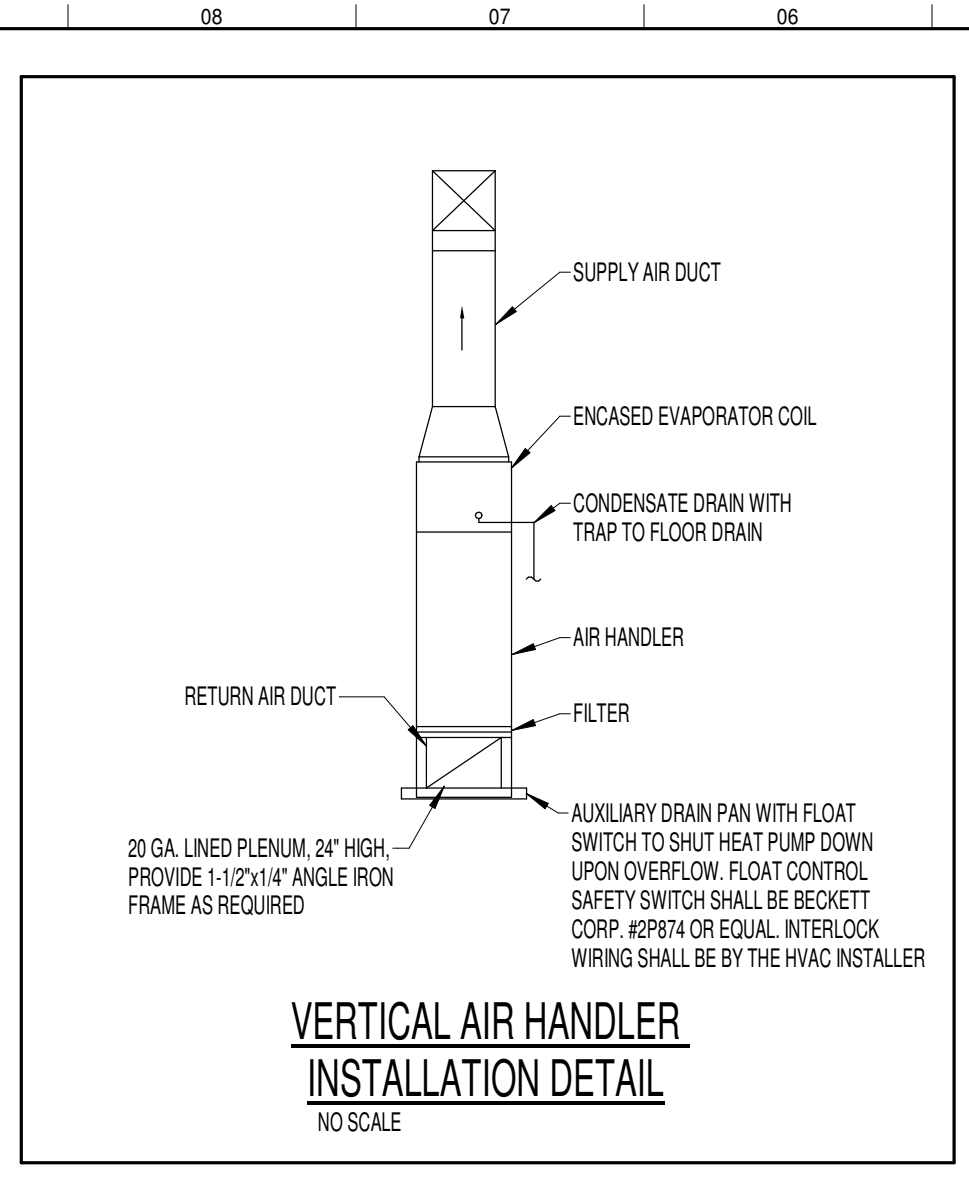
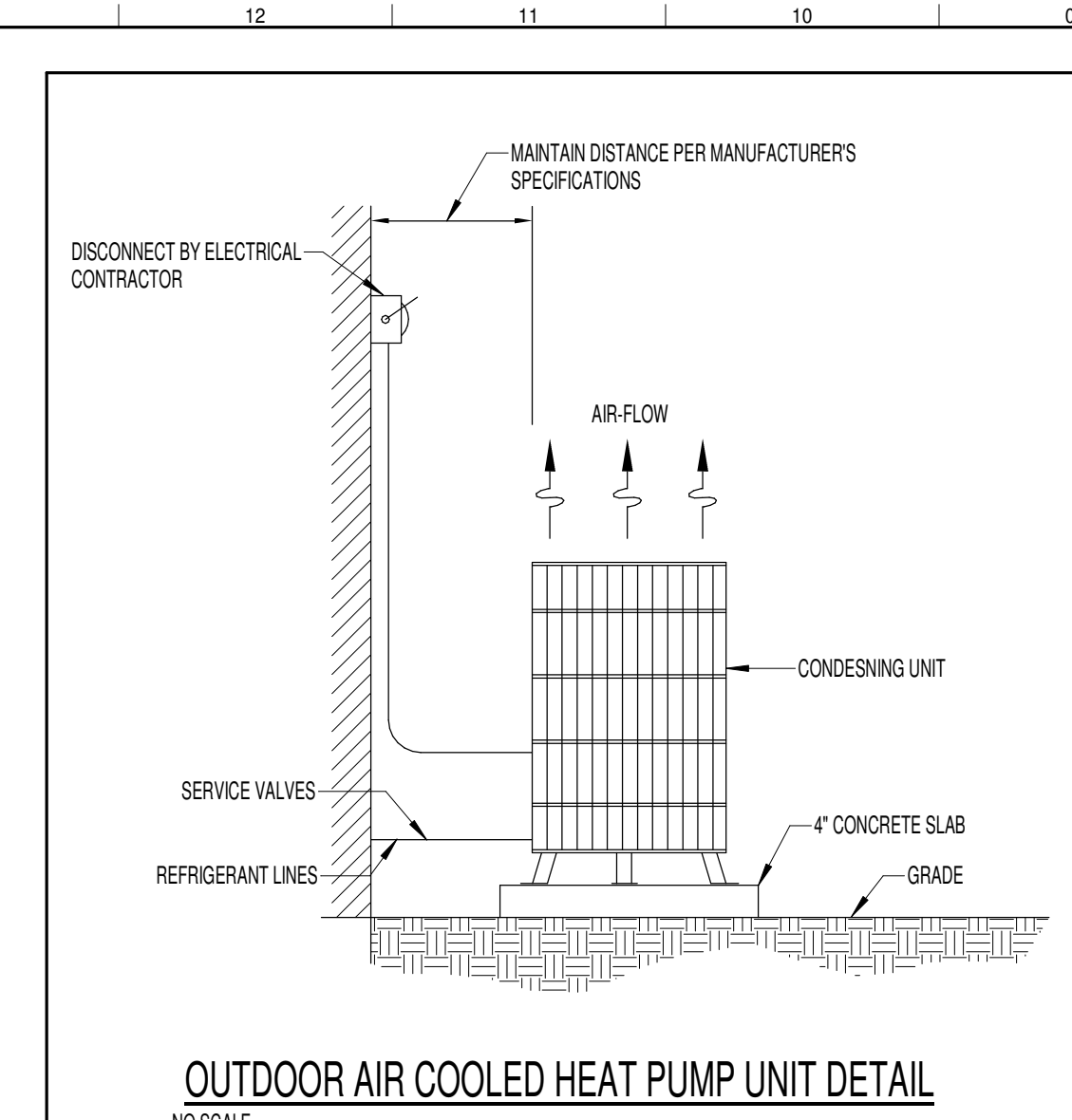
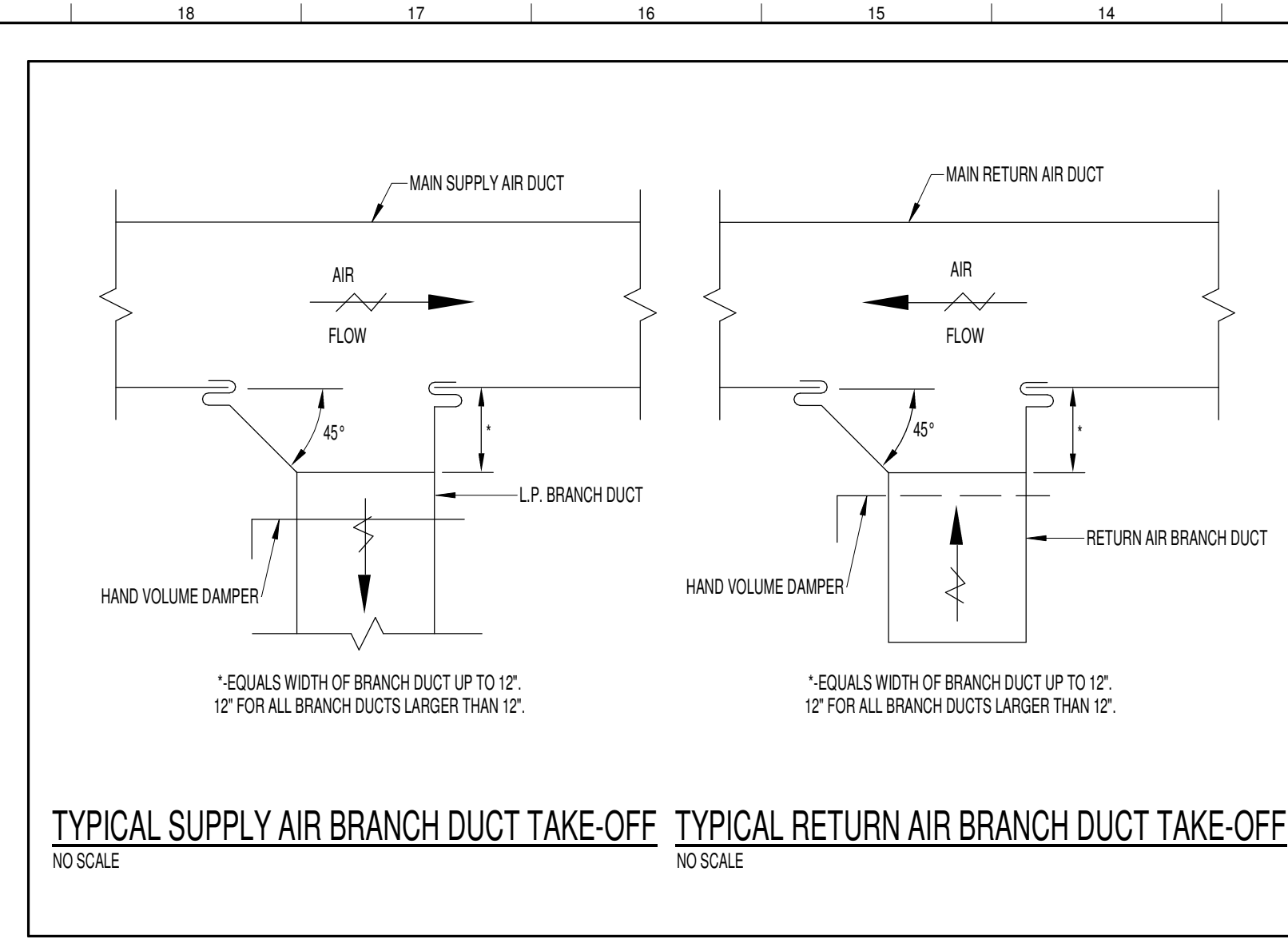
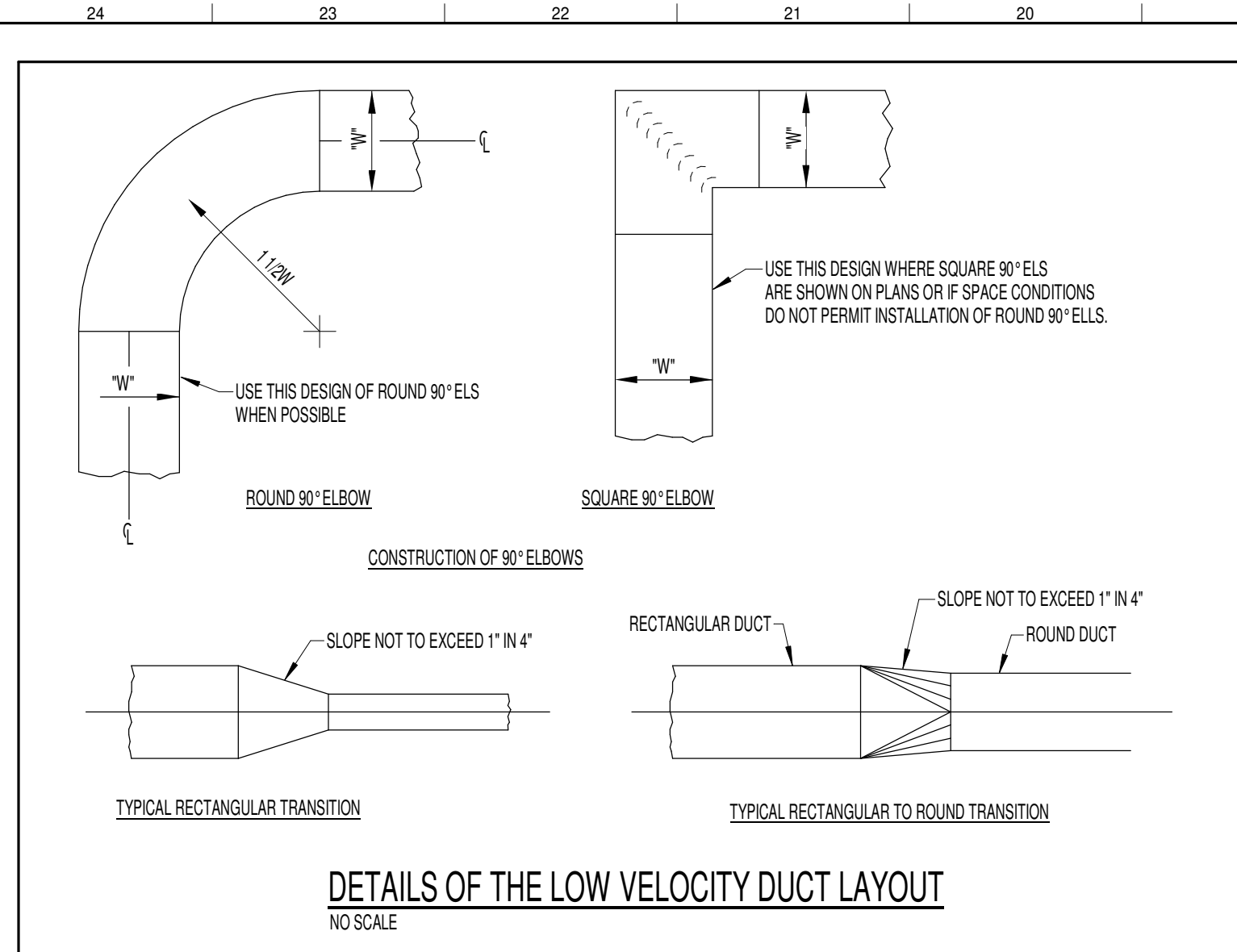
Sheet Information:

**M-001**

MECHANICAL LEGEND, NOTES AND SCHEDULES

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**GENERAL NOTES:**

- COORDINATE FINAL DUCT ROUTING WITH STRUCTURAL FRAMING.

**KEY NOTES:**

- (1) 12x6 TRANSFER GRILLE CENTERED ABOVE DOOR. COORDINATE LOCATION OF ALL TRANSFER GRILLES WITH FRAMING.
- (2) 8x6 TRANSFER GRILLE CENTERED ABOVE DOOR.
- RECIRCULATING RANGE HOOD WITH CHARCOAL FILTER. PROVIDE AND INSTALLED BY GENERAL CONTRACTOR.
- COORDINATE FINAL LOCATION WITH ARCHITECT. LENGTH OF REFRIGERANT PIPING NOT TO EXCEED MANUFACTURER RECOMMENDATION.
- 3" RADON VENT UP FROM BELOW SLAB THROUGH ROOF. REFER TO DETAIL ON SHEET M-002.



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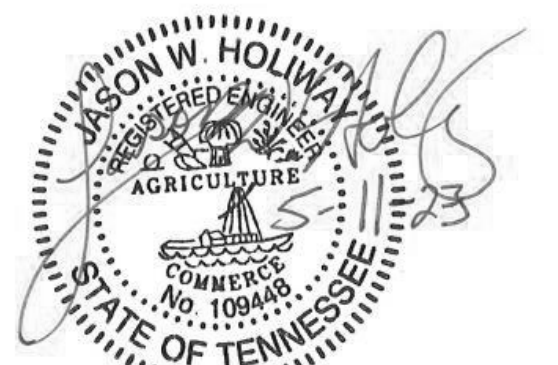
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**MHA - MERCURY**  
**HOUSING PHASE I**  
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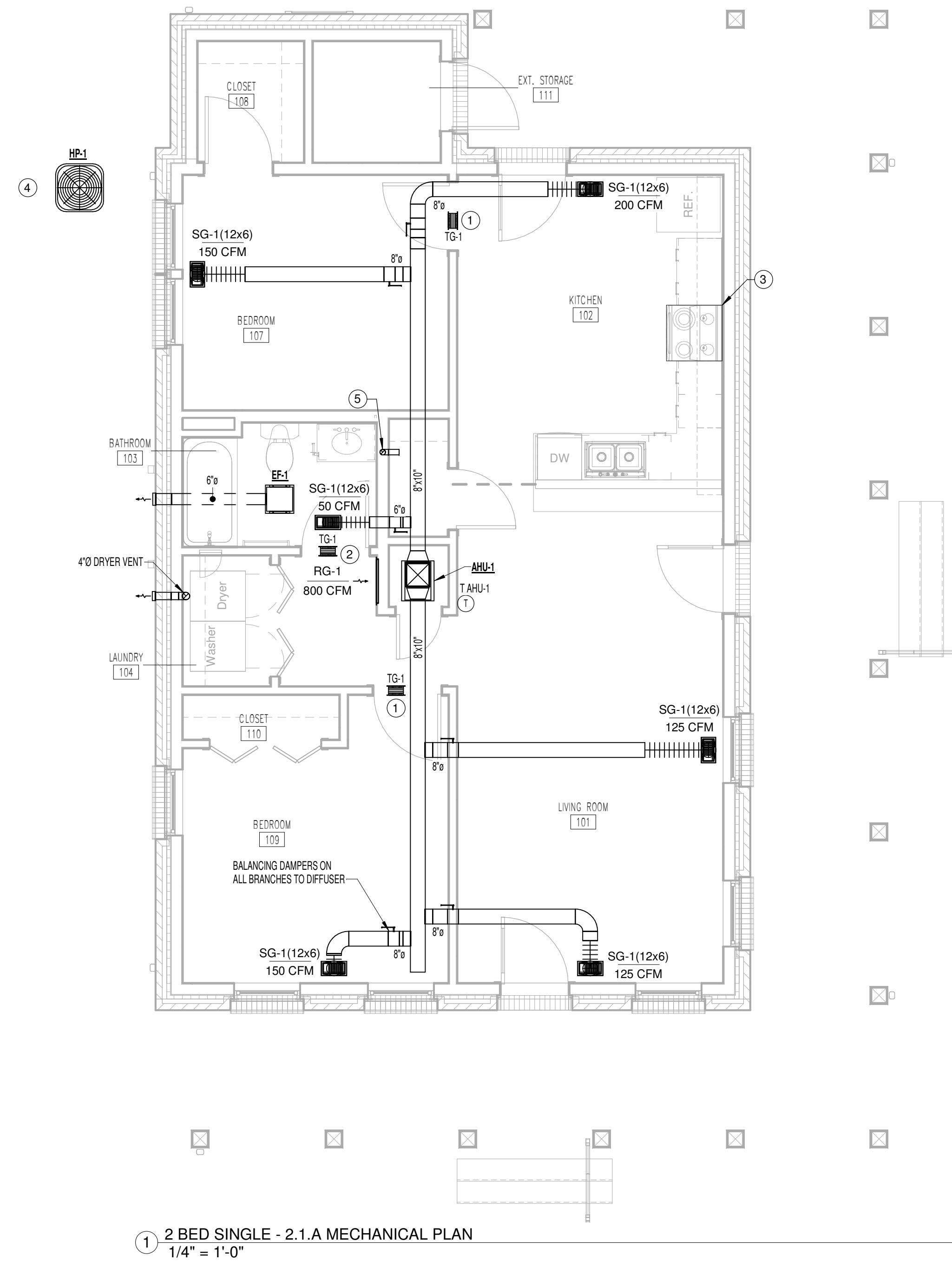
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Sheet Information:

**M-111**

**2.1.A -MECHANICAL**  
**HVAC PLAN**

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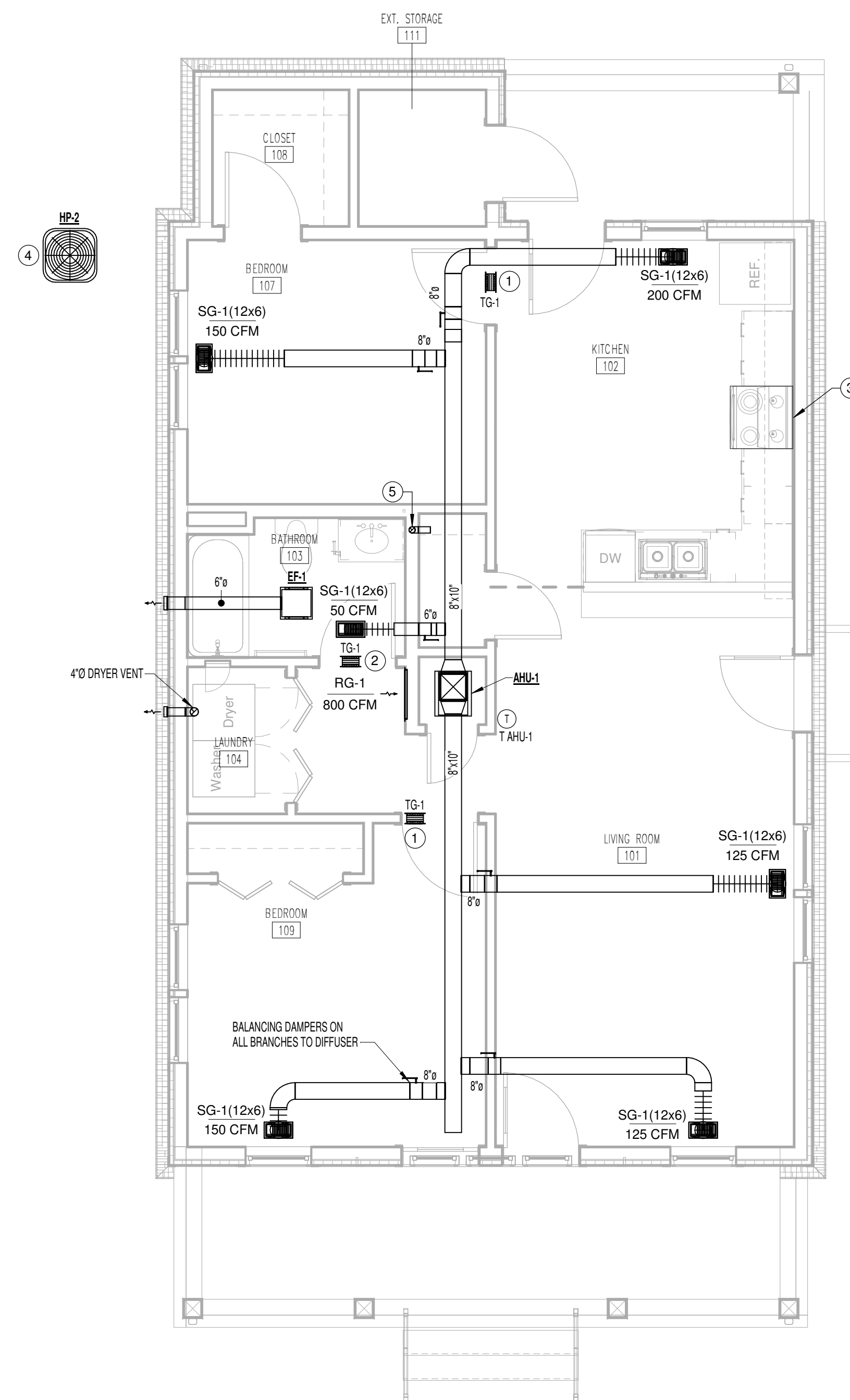
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### GENERAL NOTES:

- COORDINATE FINAL DUCT ROUTING WITH STRUCTURAL FRAMING.

### KEY NOTES:

- (1) 12x6 TRANSFER GRILLE CENTERED ABOVE DOOR. COORDINATE LOCATION OF ALL TRANSFER GRILLES WITH FRAMING.
- (2) 8x6 TRANSFER GRILLE CENTERED ABOVE DOOR.
- RECIRCULATING RANGE HOOD WITH CHARCOAL FILTER. PROVIDE AND INSTALLED BY GENERAL CONTRACTOR.
- COORDINATE FINAL LOCATION WITH ARCHITECT. LENGTH OF REFRIGERANT PIPING NOT TO EXCEED MANUFACTURER RECOMMENDATION.
- 8" RADON VENT UP FROM BELOW SLAB THROUGH ROOF. REFER TO DETAIL ON SHEET M-202.



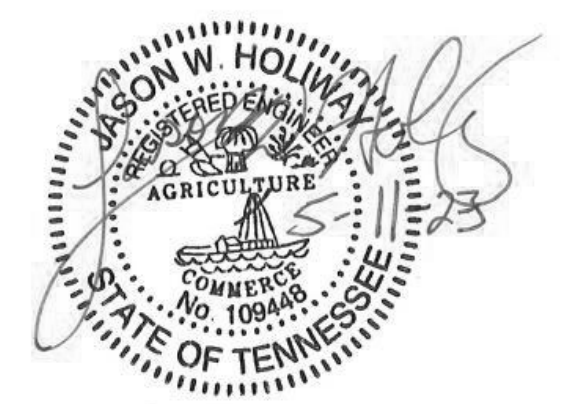
① - 2 BED SINGLE - 2.1.B MECHANICAL PLAN  
1/4" = 1'-0"

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### MHA - MERCURY HOUSING PHASE I

415 NORTH MAPLE ST.  
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Sheet Information:

## M-121

2.1.B - MECHANICAL HVAC PLAN

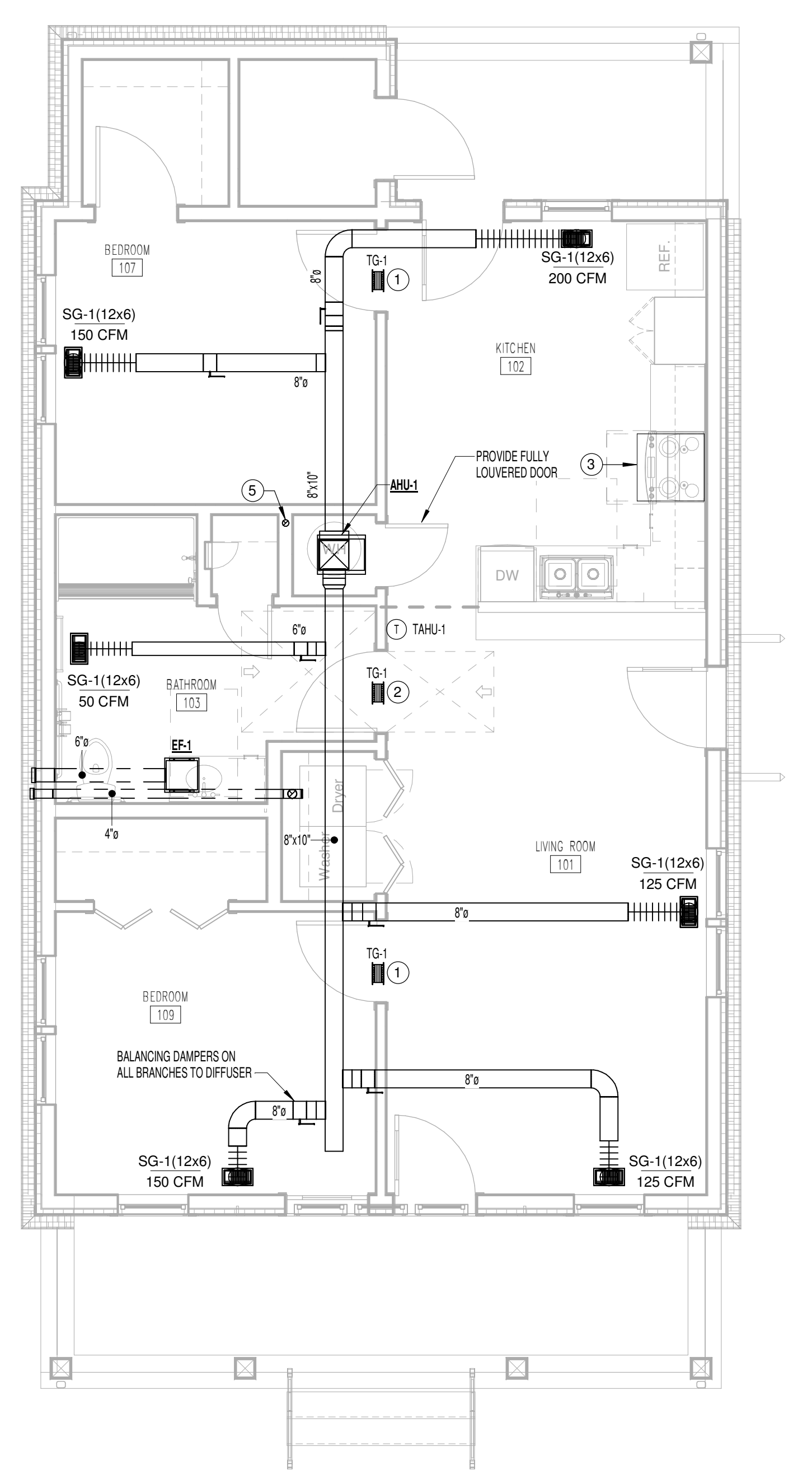
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### GENERAL NOTES:

1. COORDINATE FINAL DUCT ROUTING WITH STRUCTURAL FRAMING.

### KEY NOTES:

- ① (2) 12x6 TRANSFER GRILLE CENTERED ABOVE DOOR. COORDINATE TRANSFER GRILLE LOCATIONS WITH FRAMING.
- ② (2) 8x6 TRANSFER GRILLE CENTERED ABOVE DOOR.
- ③ RECIRCULATING RANGE HOOD WITH CHARCOAL FILTER. PROVIDE AND INSTALLED BY GENERAL CONTRACTOR.
- ④ COORDINATE FINAL LOCATION WITH ARCHITECT. LENGTH OF REFRIGERANT PIPING NOT TO EXCEED MANUFACTURER RECOMMENDATION.
- ⑤ 3" RADON VENT UP FROM BELOW SLAB THROUGH ROOF. REFER TO DETAIL ON SHEET M-202.



① 2 BED SINGLE - 2.1.B(u) MECHANICAL PLAN  
1/4" = 1'-0"



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## M-122

2.1.B(u) - MECHANICAL  
HVAC PLAN

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**GENERAL NOTES:**

1. COORDINATE FINAL DUCT ROUTING WITH STRUCTURAL FRAMING.

**KEY NOTES:**

- ① (2) 12x6 TRANSFER GRILLE CENTERED ABOVE DOOR. COORDINATE TRANSFER GRILLE LOCATIONS WITH FRAMING.
- ② (2) 8x6 TRANSFER GRILLE CENTERED ABOVE DOOR.
- ③ RECIRCULATING RANGE HOOD WITH CHARCOAL FILTER. PROVIDE AND INSTALLED BY GENERAL CONTRACTOR.
- ④ COORDINATE FINAL LOCATION WITH ARCHITECT. LENGTH OF REFRIGERANT PIPING NOT TO EXCEED MANUFACTURER RECOMMENDATION.
- ⑤ 3" RADON VENT UP FROM BELOW SLAB THROUGH ROOF. REFER TO DETAIL ON SHEET M-202.



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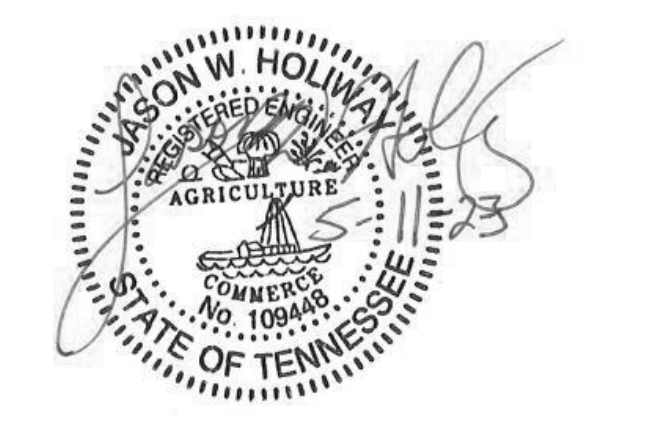
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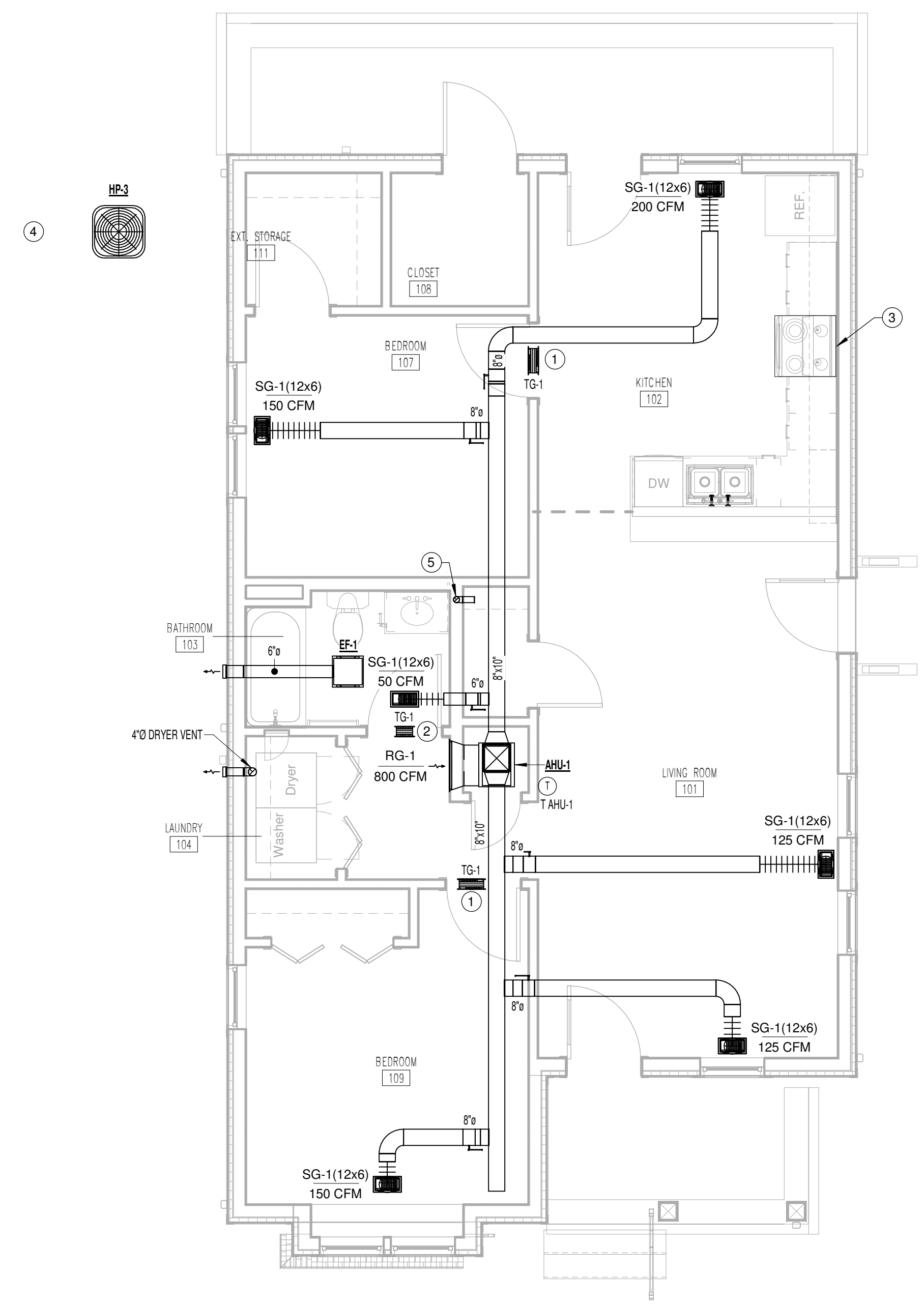
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Sheet Information:  
**M-131**  
2.1.C - MECHANICAL HVAC PLAN  
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① 2 BED SINGLE - 2.1.C MECHANICAL PLAN  
1/4" = 1'-0"

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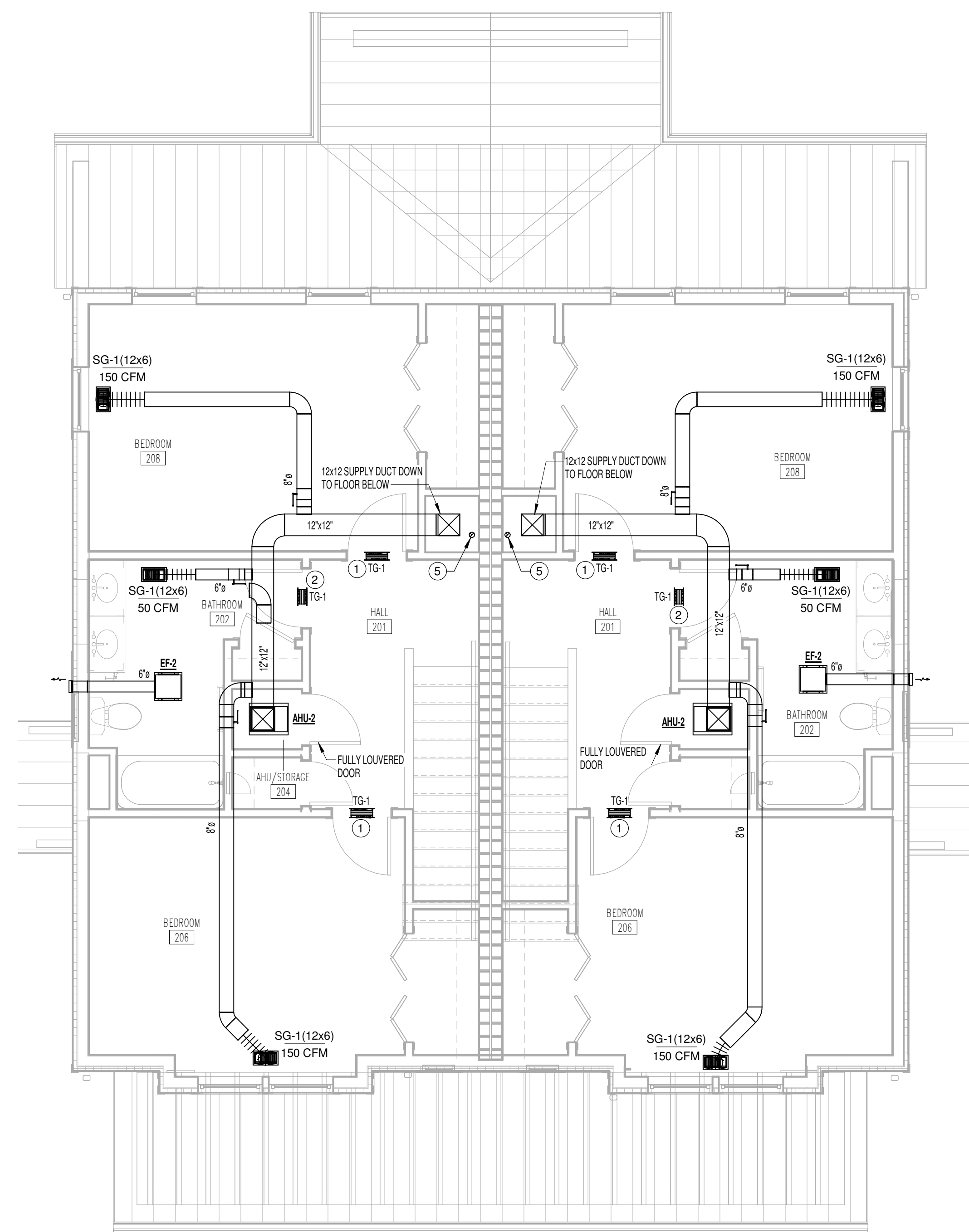


### GENERAL NOTES:

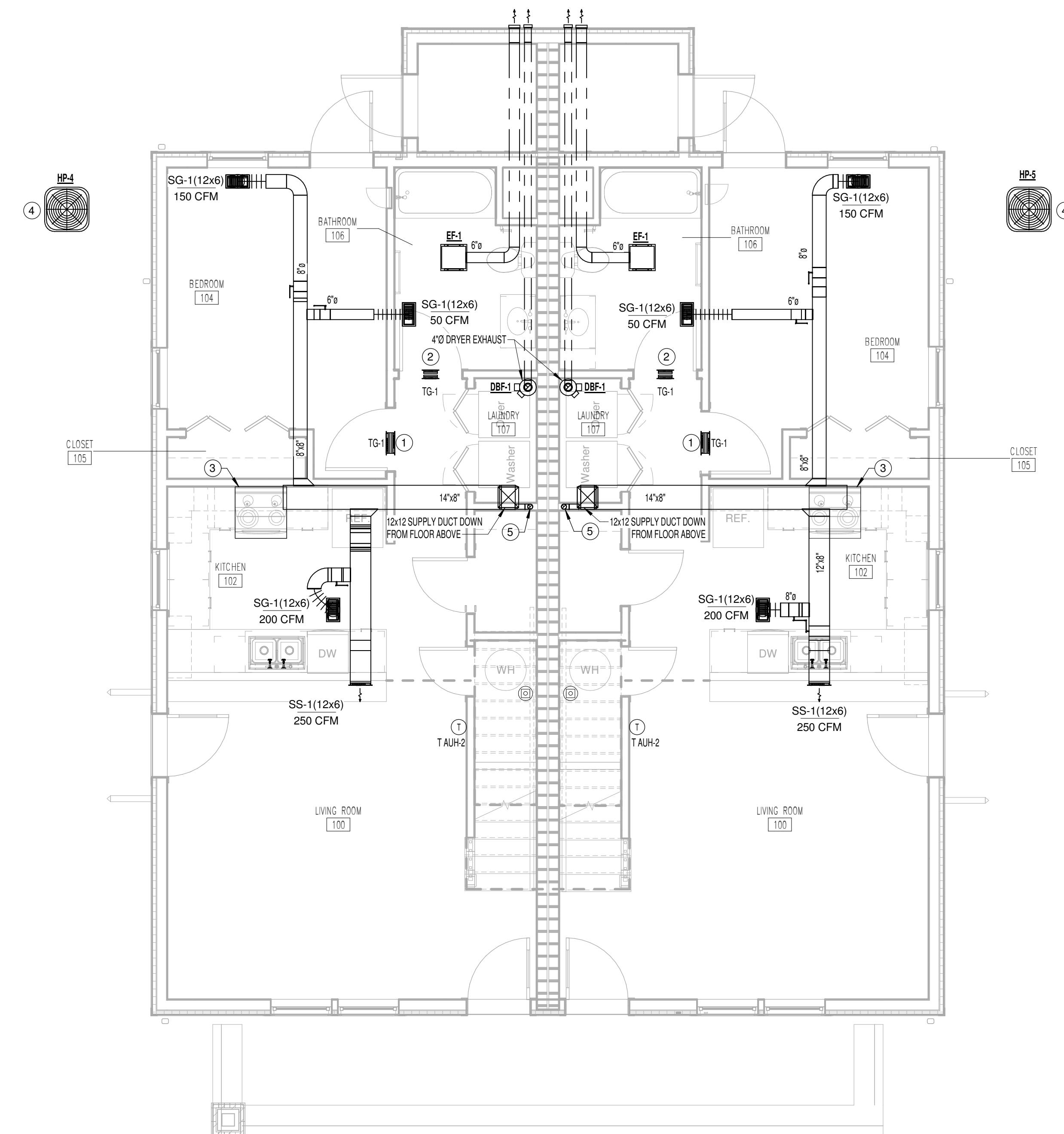
- COORDINATE FINAL DUCT ROUTING WITH STRUCTURAL FRAMING.

### KEY NOTES:

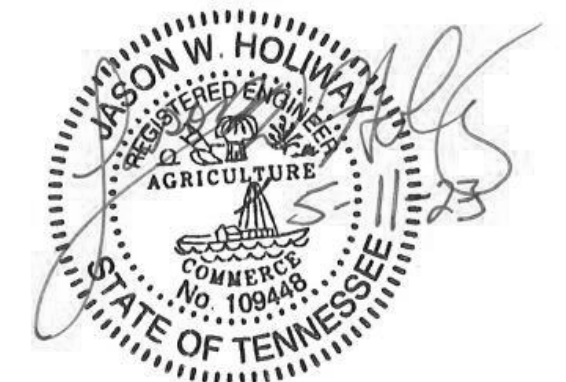
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- (2) 8x6 TRANSFER GRILLE CENTERED ABOVE DOOR.
- RECIRCULATING RANGE HOOD WITH CHARCOAL FILTER. PROVIDE AND INSTALLED BY GENERAL CONTRACTOR.
- COORDINATE FINAL LOCATION WITH ARCHITECT. LENGTH OF REFRIGERANT PIPING NOT TO EXCEED MANUFACTURER RECOMMENDATION.
- 3" RADON VENT UP FROM BELOW SLAB THROUGH ROOF. REFER TO DETAIL ON SHEET M-102.



2 3 BED DUPLEX - 3.2.A SECOND FLOOR MECHANICAL PLAN  
1/4" = 1'-0"



1 3 BED DUPLEX - 3.2.A FIRST FLOOR MECHANICAL PLAN  
1/4" = 1'-0"



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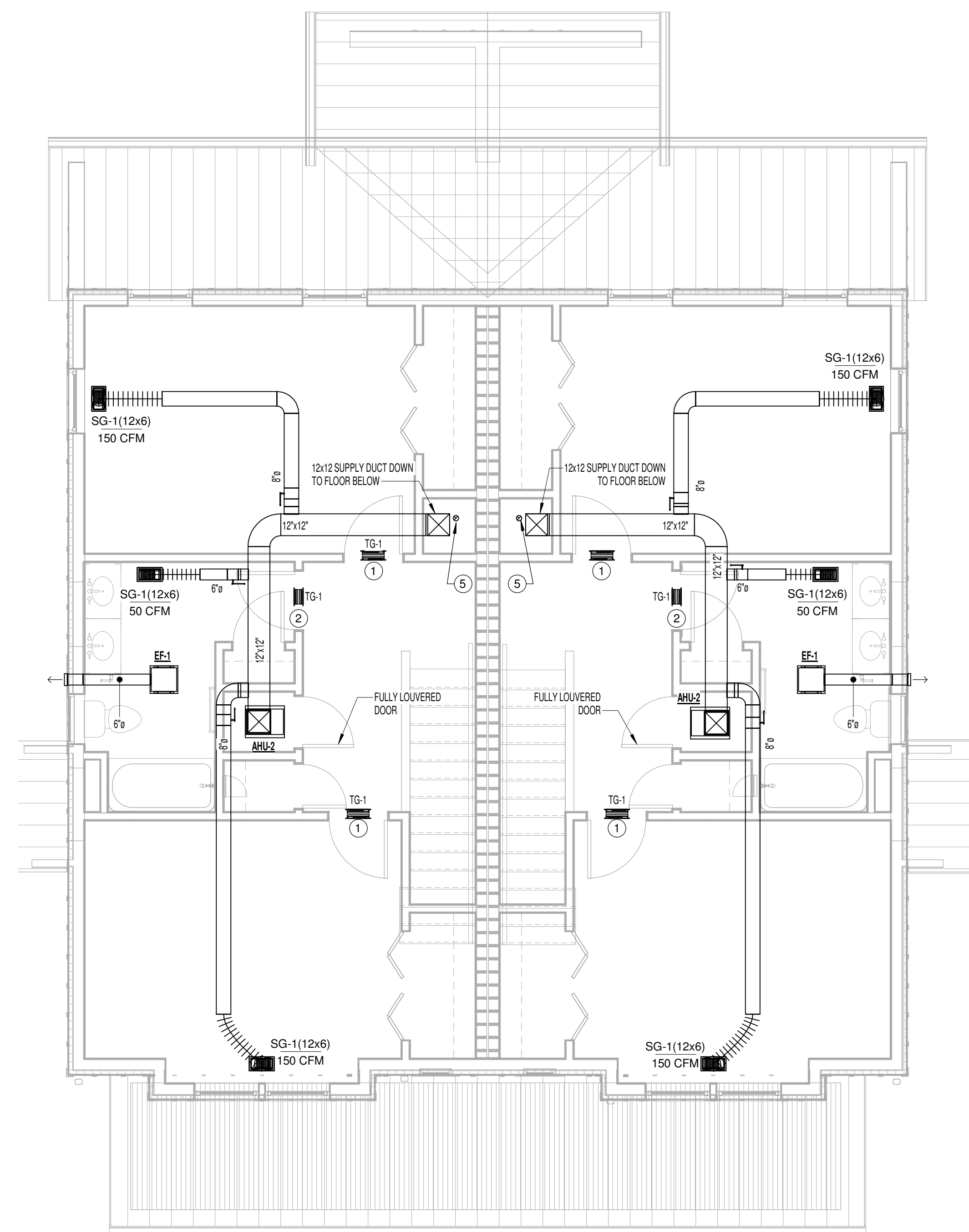
Sheet Information:

### GENERAL NOTES:

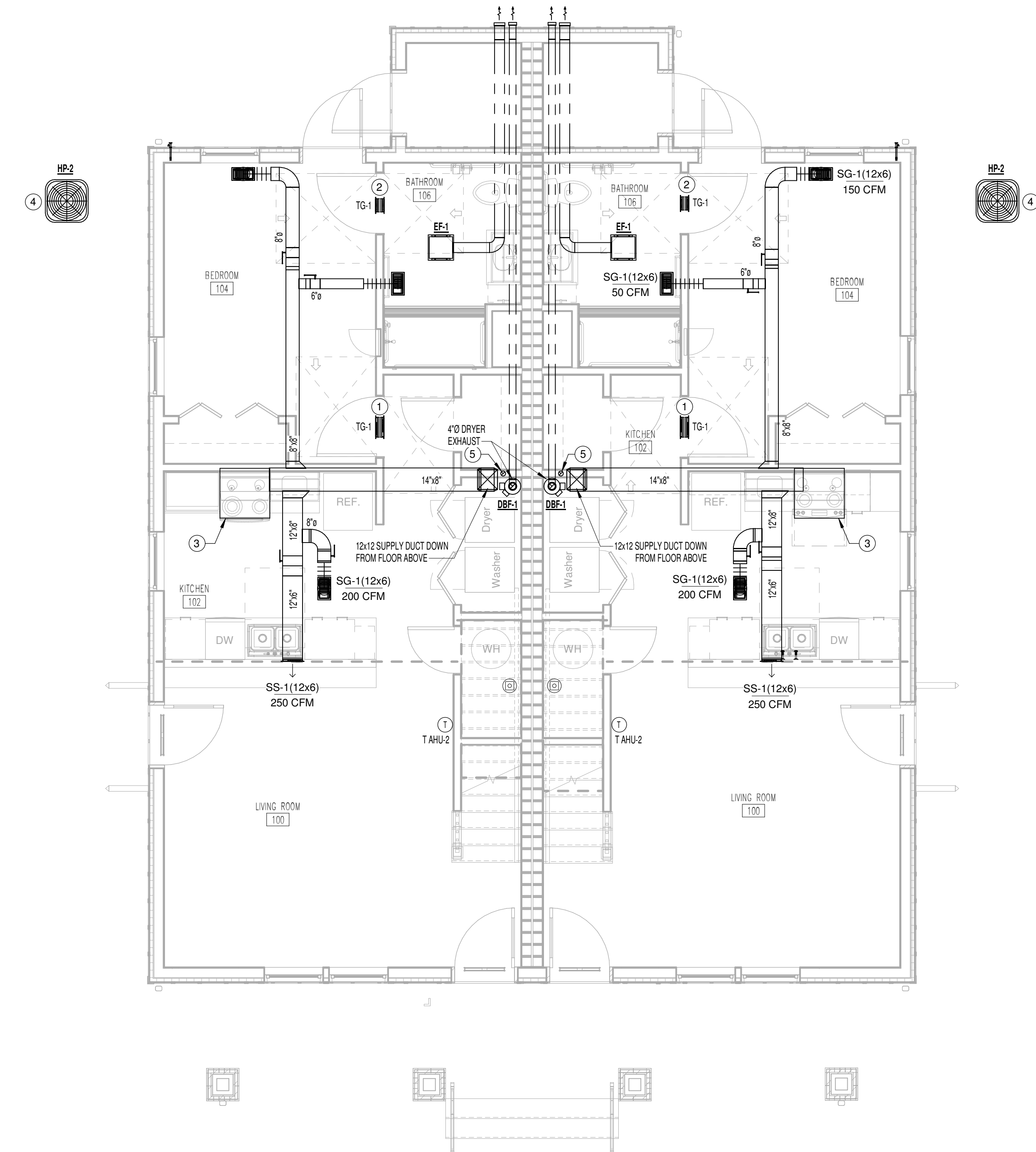
1. COORDINATE FINAL DUCT ROUTING WITH STRUCTURAL FRAMING.

### KEY NOTES:

1. (2) 12x6 TRANSFER GRILLE CENTERED ABOVE DOOR. COORDINATE LOCATION OF TRANSFER GRILLES WITH FRAMING (TYP).
2. (2) 8x6 TRANSFER GRILLE CENTERED ABOVE DOOR.
3. RECIRCULATING RANGE HOOD WITH CHARCOAL FILTER. PROVIDE AND INSTALLED BY GENERAL CONTRACTOR.
4. COORDINATE FINAL LOCATION WITH ARCHITECT. LENGTH OF REFRIGERANT PIPING NOT TO EXCEED MANUFACTURER RECOMMENDATION.
5. 3" RADON VENT UP FROM BELOW SLAB THROUGH ROOF. REFER TO DETAIL ON SHEET M-002.



2 3 BED DUPLEX - 3.2.A(u) SECOND FLOOR MECHANICAL PLAN  
1/4" = 1'-0"



1 3 BED DUPLEX - 3.2.A(u) FIRST FLOOR MECHANICAL PLAN  
1/4" = 1'-0"

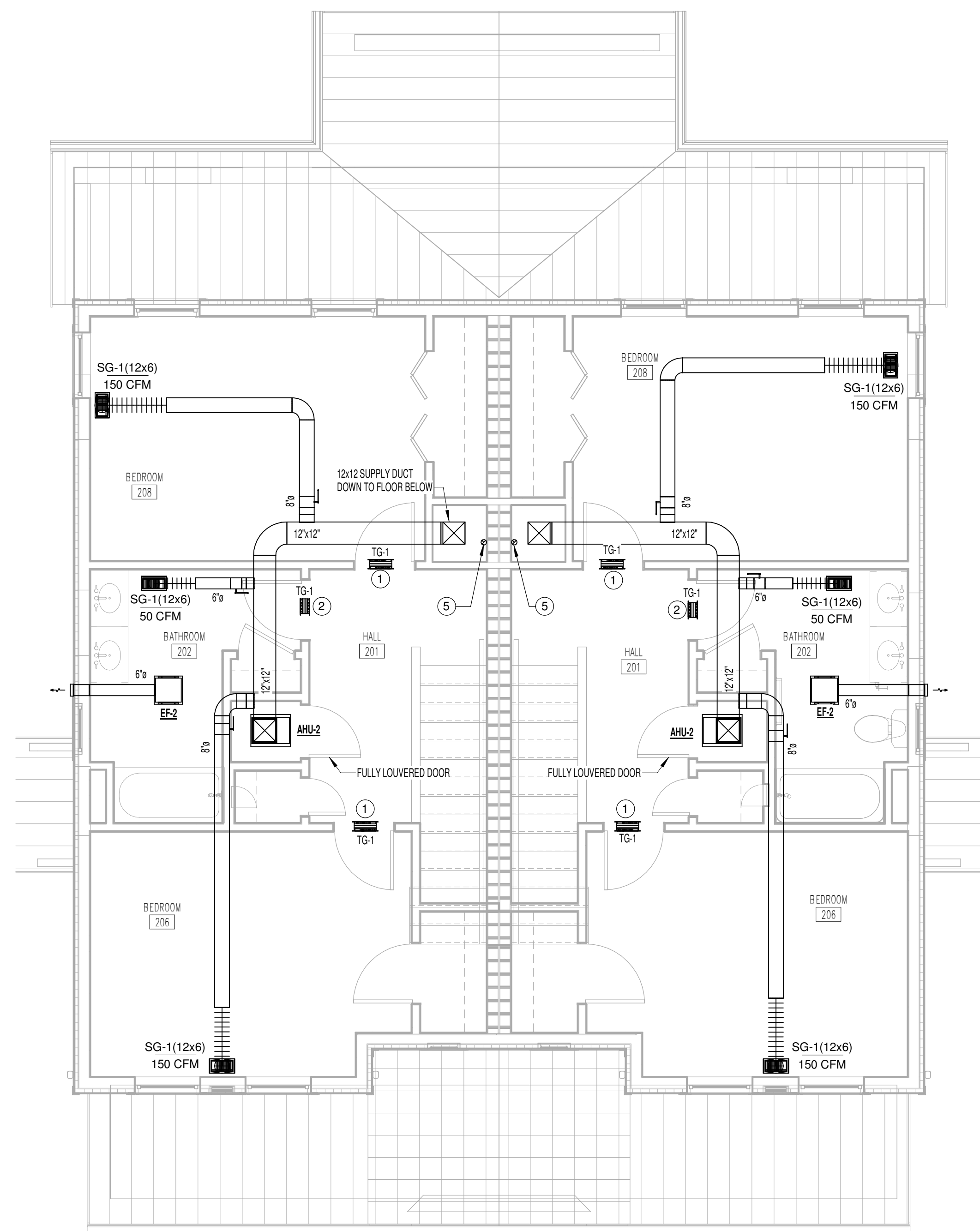


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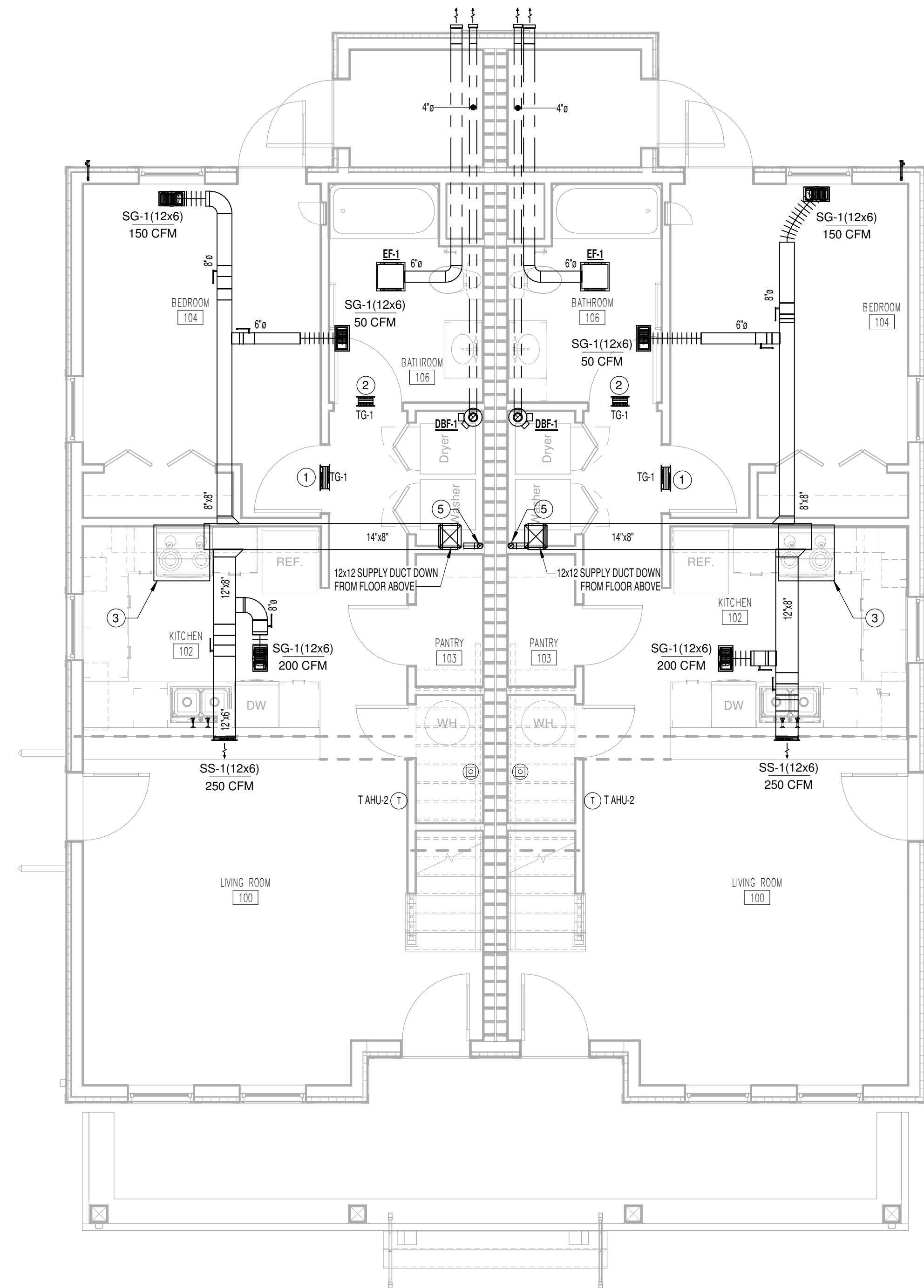
- COORDINATE FINAL DUCT ROUTING WITH STRUCTURAL FRAMING.

### KEY NOTES:

- (1) 12x6 TRANSFER GRILLE CENTERED ABOVE DOOR. COORDINATE TRANSFER GRILLE LOCATIONS WITH FRAMING (TYP).
- (2) 8x6 TRANSFER GRILLE CENTERED ABOVE DOOR.
- RECYCLATING RANGE HOOD WITH CHARCOAL FILTER. PROVIDE AND INSTALLED BY GENERAL CONTRACTOR.
- COORDINATE FINAL LOCATION WITH ARCHITECT. LENGTH OF REFRIGERANT PIPING NOT TO EXCEED MANUFACTURER RECOMMENDATION.
- 3" RADON VENT UP FROM BELOW SLAB THROUGH ROOF. REFER TO DETAIL ON SHEET M-102.

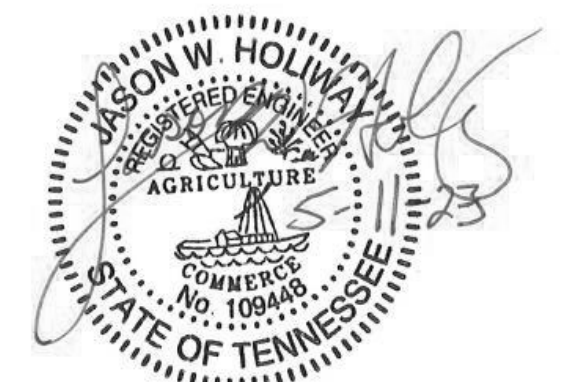


② 3 BED DUPLEX - 3.2.B SECOND FLOOR MECHANICAL PLAN  
1/4" = 1'-0"



① 3 BED DUPLEX - 3.2.B FIRST FLOOR MECHANICAL PLAN  
1/4" = 1'-0"



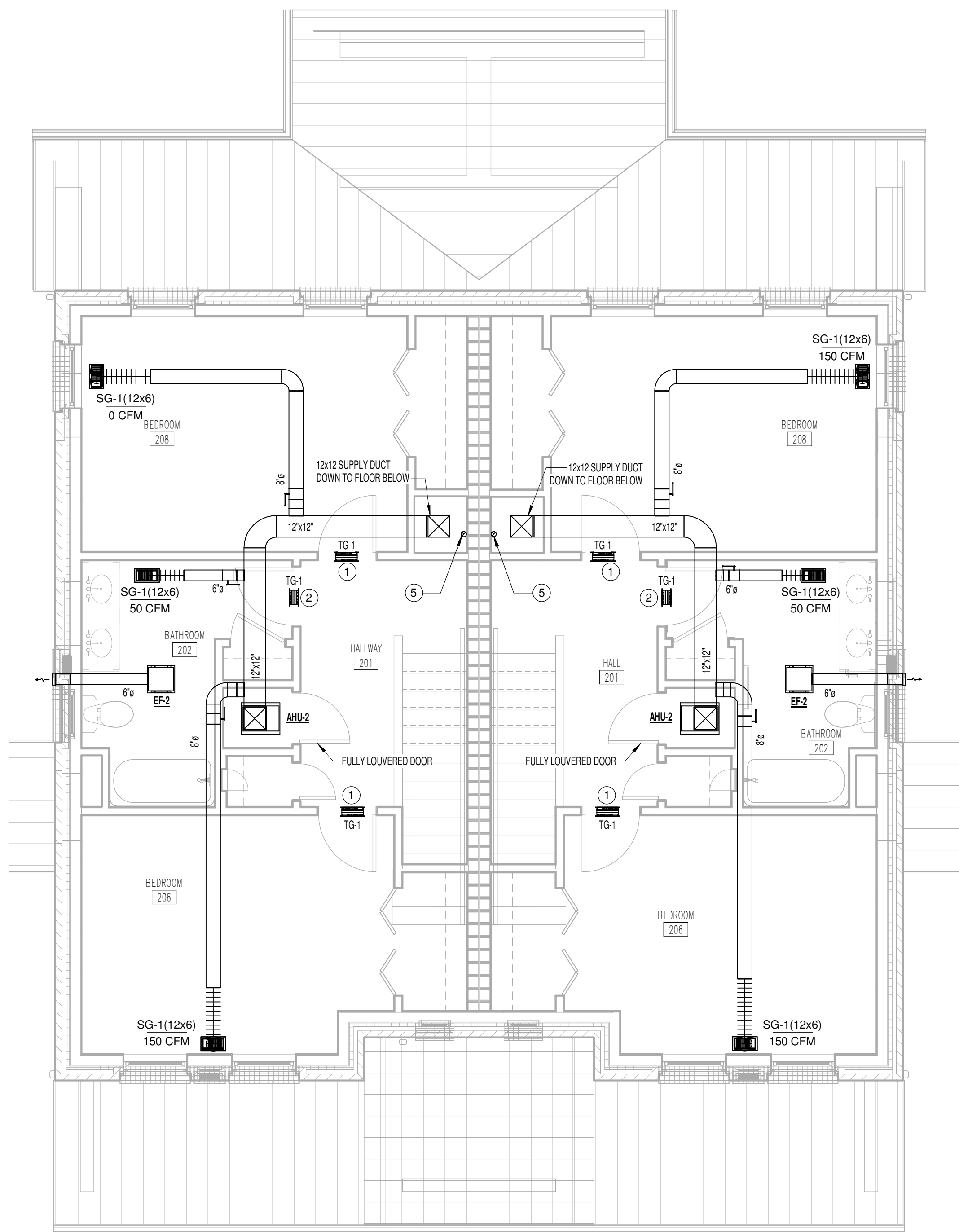


### GENERAL NOTES:

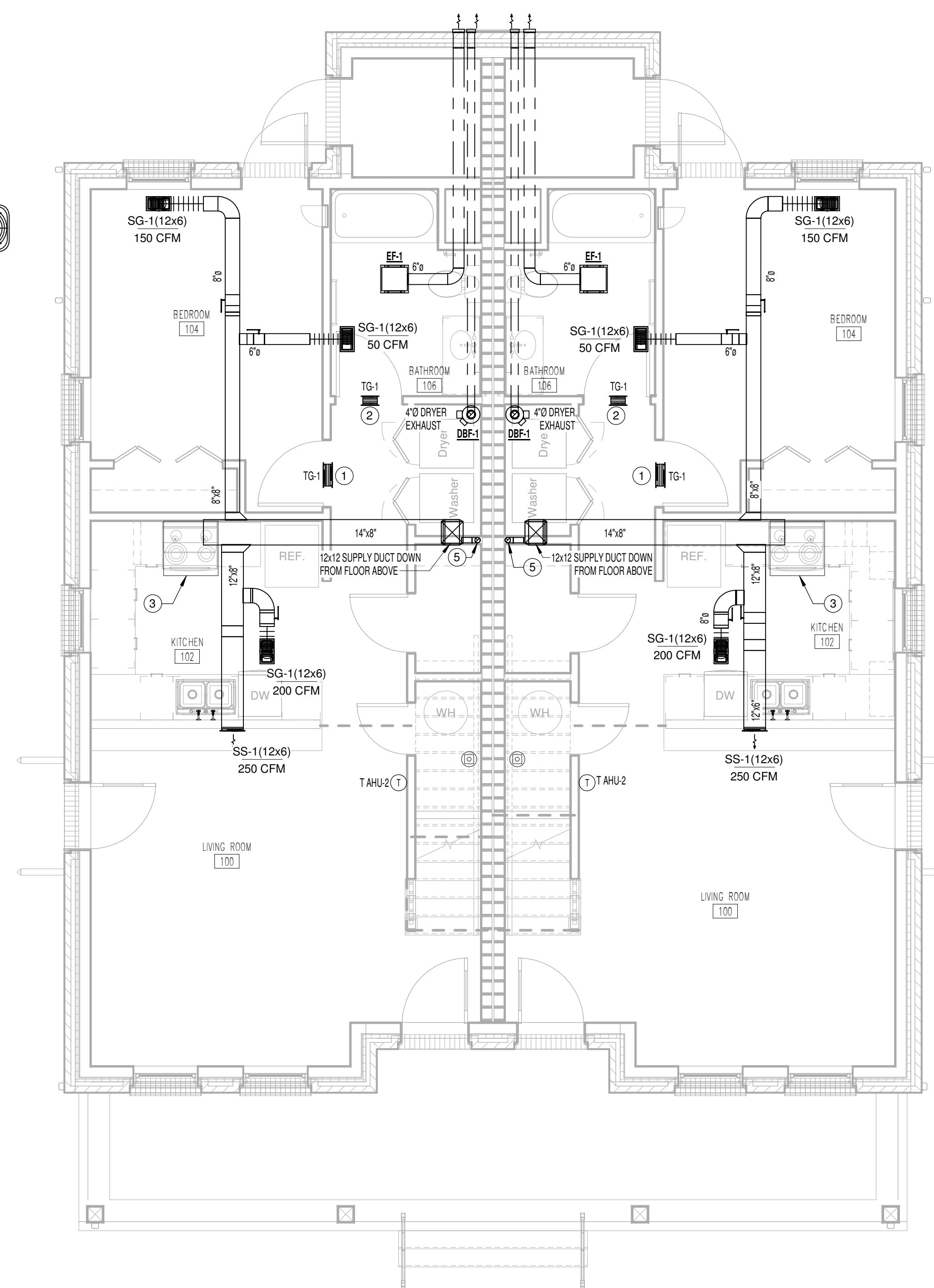
- COORDINATE FINAL DUCT ROUTING WITH STRUCTURAL FRAMING.

### KEY NOTES:

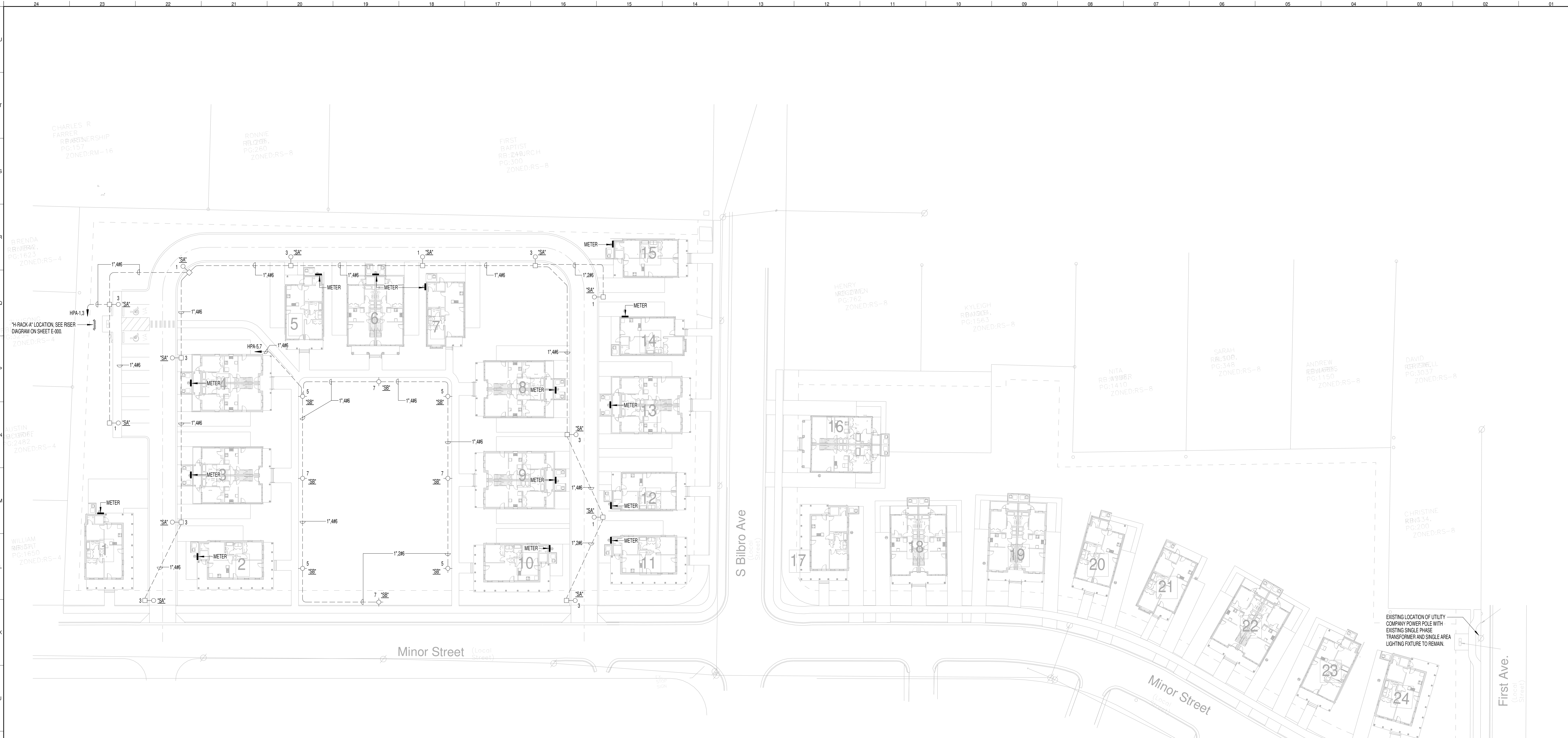
- (1) 12x6 TRANSFER GRILLE CENTERED ABOVE DOOR. COORDINATE TRANSFER GRILLE LOCATION WITH FRAMING (TYP).
- (2) 8x6 TRANSFER GRILLE CENTERED ABOVE DOOR.
- REOPERATING RANGE HOOD WITH CHARCOAL FILTER. PROVIDE AND INSTALLED BY GENERAL CONTRACTOR.
- COORDINATE FINAL LOCATION WITH ARCHITECT. LENGTH OF REFRIGERANT PIPING NOT TO EXCEED MANUFACTURER RECOMMENDATION.
- 3" RADON VENT UP FROM BELOW SLAB THROUGH ROOF. REFER TO DETAIL ON SHEET M-102.



① 3 BED DUPLEX - 3.2.C SECOND FLOOR MECHANICAL PLAN  
1/4" = 1'-0"



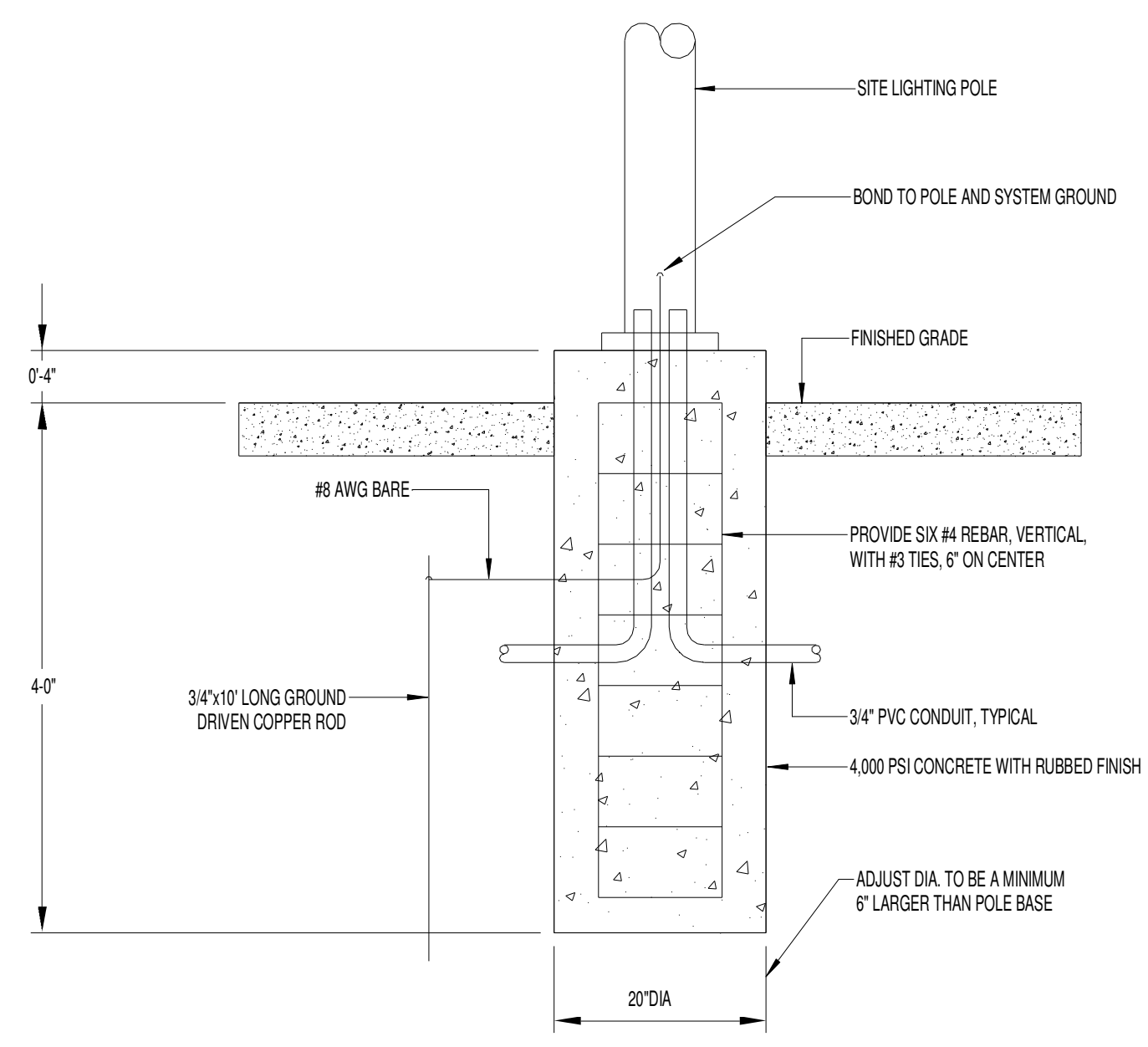
② 3 BED DUPLEX - 3.2.C FIRST FLOOR MECHANICAL PLAN  
1/4" = 1'-0"



1 ELECTRICAL SITE PLAN  
1" = 30'-0"

SITE LIGHTING FIXTURE SCHEDULE							
SYM	CATALOG NUMBER		PERFORMANCE		MOUNTING	DESCRIPTION	
	COMPANY	MODEL NUMBER	WATTS	TEMP BK DELIVERED LUMENS			
SA	SONIFY	FIXTURE: LED 8-1/2" HX 18-1/2" W X 6-1/2" D LMV-R HEAD: POLE MOUNTED MOTION SENSING POLE: 600 W/2" DIA	75	300K	6,934	13 18' POLE	ONE POLE MOUNTED REARLED LIGHT, TYPE II DISTRIBUTION, 5% TILT, BELLEVUE FUNCTIONALITY, POLE MOUNTED MOTION SENSING, UNIVERSAL VOLTAGE (100-277V)
SB	HOLDORNE	FIXTURE: GYVHP000000X NO SUBSTITUTIONS ALLOWED	120	300K	9500	8 12' POLE	RESIDENTIAL STREET DECORATIVE LIGHTING FIXTURE, TYPE II DISTRIBUTION, 5% TILT, 18" DIA, 12" H, 12" W, 12" D, FLUTED POLE WITH ALUMINUM BASE, RED MARKING/PAINTED ELECTRICAL DEPARTMENT STANDARDS

NOTES:  
1. FIXTURE SHALL BE SELECTED BY ARCHITECT, NOTED BY ?? IN MODEL NUMBER.  
2. PROVIDE CONCRETE BASE PER DETAIL.  
3. ALL FIXTURES SHALL HAVE A MAXIMUM 1% THP.  
4. ALL FIXTURES SHALL BE FURNISHED COMPLETE WITH ELECTRICAL DRIVERS WITH MAXIMUM 10% THP.



POLE BASE DETAIL  
NO SCALE USE FOR SA AND SB



## LEGEND

SYMBOL	DESCRIPTION
	METER. PROVIDE AND INSTALL IN ACCORDANCE WITH LOCAL UTILITY COMPANY REQUIREMENTS
	LED LIGHTING FIXTURE. "Y" REFERS TO DESIGNATION IN THE LIGHTING FIXTURE SCHEDULE
	LED LIGHTING FIXTURE. "Y" REFERS TO DESIGNATION IN THE LIGHTING FIXTURE SCHEDULE
	CEILING FAN WITH LIGHT KIT. "X" REFERS TO DESIGNATION IN THE LIGHTING FIXTURE SCHEDULE
	WALL SWITCH. SINGLE POLE (UNLESS NOTED) 1 OR 4 WAY. "WP" INDICATES WEATHERPROOF. "4P" ABOVE FLOOR EXCEPT IN MASONRY WALLS WHERE HEIGHT SHALL BE ADJUSTED TO HAVE BOX EDGE OCCUR AT A MASONRY JOINT.
	3 WAY SWITCH 20 AMP, 277V, MTD 4" AFF. LND.
	4 WAY SWITCH 20 AMP, 277V, MTD 4" AFF. LND.
	JUNCTION BOX. SIZE AND USE AS REQUIRED
	20A, 125V, 2 POLE, 3 WIRE, GROUNDING DUPLEX RECEPTACLE, MTD 18" AFF. LND.
	20A, 125V, 2 POLE, 3 WIRE, GROUNDING DUPLEX RECEPTACLE, MTD 42" AFF. LND.
	208 VOLT, SINGLE PHASE RECEPTACLE, NEMA 14-50R, INSTALL 4" AFF EXTEND 93 W/2 TO PANEL IN UNIT.
	240 VOLT, SINGLE PHASE RECEPTACLE, NEMA 14-30R, INSTALL 4" AFF EXTEND 103 W/2 TO PANEL IN UNIT.
	20A, 125V, 2 POLE, 3 WIRE, GROUNDING QUAD RECEPTACLE, TWO GANG BOX, MTD 18" AFF. LND.
	20A, 125V, 2 POLE, 3 WIRE, GROUNDING QUAD RECEPTACLE, TWO GANG BOX, MTD 42" AFF. LND.
	HEAVY DUTY FUSED DISCONNECT SWITCH. PROVIDE FUSES AS RECOMMENDED BY EQUIPMENT MFR. USE NEMA CONFIGURATION AS REQUIRED
	PANELBOARD, RECESSED OR SURFACE MOUNTED AS INDICATED ON DRAWINGS, TOP 4 FEET ABOVE FINISHED FLOOR OR 4 FEET ABOVE FINISHED FLOOR IN ACCESSIBLE APARTMENT UNITS. ADJUSTED TO OCCUR AT A MASONRY JOINT. SEE PANELBOARD SCHEDULE FOR EQUIPMENT CONTAINED
	HEMERLIN CONDUIT AND CONDUCTORS EXTENDED TO PANELBOARDS "X" CIRCUITS ONLY. CROSS LINES INDICATE THE NUMBER OF NO. 12 AWG CONDUCTORS WHERE MORE THAN TWO CIRCUITS SHARING THE SAME NEUTRAL SHALL BE CONNECTED TO DIFFERENT PHASES WITHIN THE PANELBOARD REGARDLESS OF NUMBERING INDICATED ON THE DRAWINGS.
	OVERHEAD WIRING UNDERGROUND WIRING
	PHONE OUTLET. PROVIDE JUNCTION BOX WITH COVERPLATE AND RJ45 JACK. EXTEND CAT 5E TO MODULAR WIRING CABINET, 18" AFF LND.
	TELEVISION OUTLET. PROVIDE JUNCTION BOX WITH COVERPLATE AND F-TYPE CONNECTOR EXTEND RG6 TO MODULAR WIRING CABINET, 18" AFF LND.
	SINGLE STATION ALARM SMOKE DETECTOR WALL OR CEILING MOUNTED AS INDICATED ON PLANS. CONNECT TO 120V MOUNT TOP OF DETECTOR IF BELOW CEILING. INTERLOCK ALL DETECTORS IN UNITS. MODEL NO. IN COPIES.
	SINGLE STATION ALARM SMOKE DETECTOR, ADA COMPLIANT WALL OR CEILING MOUNTED AS INDICATED ON PLANS. CONNECT TO 120V MOUNT TOP OF DETECTOR IF BELOW CEILING WHERE WALL MOUNTED. INTERLOCK ALL DETECTORS IN UNITS. 50W BRAND MODEL NO. T0165L.
	DOOR CHIME STROBE. WHEELLOCK CO. RSS-3MCM OR EQUAL. PROVIDE LOW VOLTAGE WIRING FROM DOORBELL CHIME.
	RANGE HOOD. CONNECT BELOW CABINET WITH 120 V CIRCUIT INDICATED ON DRAWING
	DISHWASHER. PROVIDE 120 VOLT CONNECTION BELOW COUNTER. INSTALL IN ADJACENT CABINET.
	EXHAUST FAN, 120 VOLTS. PROVIDE MEANS OF DISCONNECT PER NEC.
	WATER HEATER, 240 VOLTS, 4.5KW PROVIDE 30A, 2 POLE, DISCONNECT SWITCH AND CONNECT 102WG TO PANEL IN UNIT.
	MODULAR WIRING CABINET, RECESSED OR SURFACE MOUNTED AS INDICATED ON PLANS, TOP 4'-0" AFF. USE HUBBELL CO. MODEL NO. NS93M14 WITH 6-PORT PHONE AND 4-PORT FOR COAX. PROVIDE 1" DIA CONDUIT FROM MIMC TO DEMARK POINT TO BE LOCATED NEXT TO METER CENTER. PROVIDE NEMA 5-30R IN WIRING CABINET AND CONNECT TO ROOM LIGHTING CIRCUIT.
	DOOR BELL BUTTON, USE NUTONE COMPANY MODEL BK125/WH, MOUNT AT 42" AFF.
	DOOR BELL CHIME, INCLUDED WITH DOOR BELL, MOUNT AT 48" AFF.
	AREA LIGHT. SEE SITE LIGHTING FIXTURE SCHEDULE ON SHEET ES-101.

## ELECTRICAL ABBREVIATIONS

ABBREVIATIONS	DESCRIPTION
A	AMPERE
AFF	ABOVE FINISHED FLOOR - MEASURED FROM FLOOR TO CENTER OF DEVICE, EXCEPT AS OTHERWISE SPECIFICALLY NOTED.
ADA	AMERICANS WITH DISABILITIES ACT OF 1990
AFG	ABOVE FINAL GRADE
C	CONDUIT
G	GROUND
GF	INDICATES RECEPTACLE OR CIRCUIT BREAKER, AS APPLICABLE, TO HAVE GROUND FAULT PROTECTION
MM	MM (THOUSAND CIRCULAR MILS)
NEC	NATIONAL ELECTRICAL CODE
N	NEUTRAL
PH	PHASE
SO	SPACE ONLY
TSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR
UND	UNLESS NOTED OTHERWISE
VF	VERIFY IN FIELD
WP	INDICATES DEVICE TO HAVE WEATHERPROOF COVER, TAMM MODEL NO. W4320V OR EQUAL.

- ### GENERAL ELECTRICAL NOTES
- CONTRACTOR IS STRONGLY ENCOURAGED TO VISIT THE JOB SITE AND CAREFULLY EXAMINE THOSE PORTIONS OF THE SITE AFFECTED BY THIS WORK SO AS TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT EXECUTION OF THE WORK.
  - CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND PERMITS. ALSO, THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL WORK WITH LOCAL UTILITY COMPANY. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR METERING EQUIPMENT AND ALL ELECTRICAL EQUIPMENT AND WIRING FED FROM THE MAIN SERVICE ENTRANCE.
  - ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE EDITION OF THE NATIONAL ELECTRICAL CODE, NFPA 70. SHOULD PLANS AND CODES CONFLICT, THE CODE TAKES PRECEDENCE. MAKE NO CHANGES, EVEN IN THE CASE OF CONFLICT, WITHOUT FIRST OBTAINING APPROVAL OF THE ENGINEER.
  - ALL MATERIALS SHALL BE LISTED AND LABELED BY UNDERWRITERS LABORATORY, INC.
  - UNLESS OTHERWISE NOTED, ALL POWER CIRCUIT CONDUCTORS SHALL BE COPPER #12 AWG MINIMUM WITH THIRTY-TWO (32) VOLT INSULATION. SERVICE ENTRANCE AND FEEDERS SHALL BE INSTALLED IN CONDUIT. BRANDED CIRCUIT WIRING SHALL BE IN METALLIC CABLE. "MCM" PROVIDE BRANDED CIRCUIT WIRING TO CONNECT ALL DEVICES, FIXTURES, HVAC UNITS, ETC TO CIRCUITS INDICATED ON DRAWINGS. UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC AND EXPOSED ABOVE GROUND CONDUITS SHALL BE SCHEDULE 80 PVC.
  - A GREEN COPPER GROUND WIRE SHALL BE INSTALLED IN ALL CONDUIT SYSTEMS PER NEC AND SHALL BE BONDED TO ALL ENCLOSURES, BOXES, AND EQUIPMENT.
  - BONDED JUMPERS SHALL BE USED TO BOND CONDUIT TO ENCLOSURES, BOXES, AND EQUIPMENT WHERE KNOCKOUTS ARE USED.
  - "PROVIDE" AS USED HERE AND ON THE DRAWINGS, IS AN ALL INCLUSIVE TERM REQUIRING CONTRACTOR TO FURNISH, INSTALL, WIRE, AND CONNECT ALL SPECIFIED EQUIPMENT AS WELL AS COMPONENTS, ACCESSORIES, AND MOUNTING HARDWARE TO INSURE THAT SPECIFIED EQUIPMENT FUNCTIONS TO MEET SYSTEM REQUIREMENTS.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT OTHER FACILITIES AND EQUIPMENT FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR REPAIR OR REINFORCEMENT OF FACILITIES, EQUIPMENT, OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE COMPLETION OF THIS WORK. ELECTRICAL CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO TENNESSEE ONE CALL, (800) 391-1111, PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
  - THE CONTRACTOR SHALL PROVIDE PROTECTION OF ALL HATED PENETRATIONS PER DETAIL. ELECTRICAL BOXES INSTALLED ON OPPOSITE SIDE OF A FIRE RATED WALL SHALL HAVE A TWO FOOT MINIMUM HORIZONTAL SEPARATION.

- ### LIGHTING NOTES
- CONTRACTOR SHALL FURNISH AND INSTALL LIGHT SWITCHES FOR ALL LIGHTING AT LOCATIONS AS SHOWN ON THE DRAWINGS.
  - CONFIRM EXACT LIGHT FIXTURE LOCATIONS WITH OWNER ARCHITECT.
  - EXHAUST FANS SHALL BE FED FROM ROOM LIGHTING CIRCUITS.
  - LIGHT FIXTURES AND CEILING FANS SHALL BE SELECTED BY OWNER ARCHITECT.
  - PRIOR TO ORDERING THE SPECIFIED LIGHT FIXTURES, THE CONTRACTOR SHALL VERIFY THE FIXTURE IS SUITABLE FOR THE CEILING TYPE. FOR EXAMPLE, A FIRE RATED FIXTURE SHALL BE INSTALLED IN A FIRE RATED ASSEMBLY. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER PRIOR TO PROCEEDING.

- ### COMMUNICATIONS NOTES
- CONTRACTOR SHALL FURNISH AND INSTALL TELEPHONE CABLE FROM THE TELEPHONE TERMINAL LOCATION TO EACH DWELLING UNIT. TELEPHONE LOCATIONS IN EACH UNIT SHALL BE DETERMINED AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE TELEPHONE SYSTEM REQUIREMENTS WITH LOCAL TELEPHONE PROVIDER.
  - CONTRACTOR SHALL FURNISH AND INSTALL TELEVISION CABLE FROM THE CABLE TELEVISION SERVICE ENTRANCE TO EACH DWELLING UNIT. CABLE TELEVISION OUTLET LOCATIONS IN EACH UNIT SHALL BE DETERMINED AT THE TIME OF BUILDOUT. CONTRACTOR SHALL FURNISH AND INSTALL CABLE TELEVISION CABLE, BOXES, TERMINATIONS, ETC. REQUIRED FOR A FULLY OPERATIONAL SYSTEM. COORDINATE SYSTEM REQUIREMENTS WITH LOCAL TELEVISION SUPPLIER.
  - ALL COMMUNICATIONS SERVICE CABLES/CONDUCTORS SHALL ENTER THE BUILDING UNDERGROUND IN CONDUITS AS SPECIFIED BY THE SERVICE PROVIDERS. COORDINATE SERVICE ENTRANCE LOCATIONS WITH GENERAL CONTRACTOR/DEVELOPER.
  - EMPTY DUCTS SHALL HAVE A FULL ROPE INSTALLED.

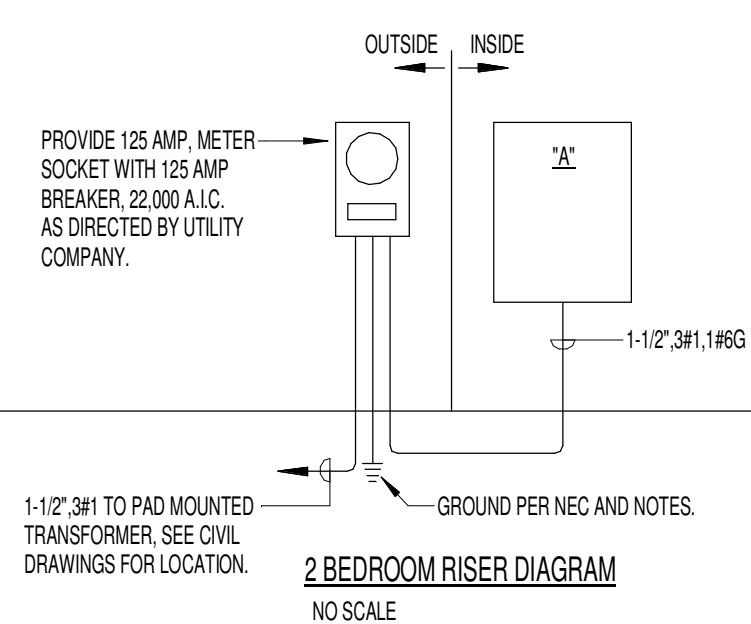
- ### POWER NOTES
- CONTRACTOR SHALL FURNISH AND INSTALL FUSED DISCONNECTS FOR ALL HVAC EQUIPMENT WITH FUSES AS PER MANUFACTURER RECOMMENDATIONS, AMPACITY, POLES, AND TYPE NEMA ENCLOSURE OF DISCONNECT SWITCHES AS REQUIRED. FURNISH AND INSTALL A WEATHERPROOF, EPD DUPLEX RECEPTACLE OUTLET WITHIN 2 FEET OF EACH HVAC PIECE OF EQUIPMENT.
  - MOUNT ALL SWITCHES AND OTHER ELECTRICAL EQUIPMENT IN COMPLIANCE WITH APP. CODE PROVISIONS OF THE ADA.
  - ALL KITCHEN, TOILET, UTILITY SINK, LAUNDRY, AND EXTERIOR HVAC SERVICE RECEPTACLES SHALL BE GFCI. ALL EXTERIOR RECEPTACLES SHALL HAVE APPROVED WEATHERPROOF WIRE COVERS AS PER CURRENT APPLICABLE NEC, ARTICLE 408.
  - ELECTRICAL BOXES INSTALLED ON OPPOSITE SIDES OF A FIRE RATED WALL SHALL HAVE A TWO FOOT MINIMUM HORIZONTAL SEPARATION.
  - ARC-FAULT BREAKERS SHALL BE INSTALLED ON BREAKERS SERVING OUTLETS IN ALL LIVING SPACES PER NEC.
  - CONTRACTOR SHALL CONNECT ALL EQUIPMENT SHOWN ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE ALL COMPONENTS NECESSARY (CONDUIT, CONDUCTORS, CABLE, BOXES, ETC.) TO CONNECT EQUIPMENT.
  - CONTRACTOR SHALL FURNISH AND INSTALL ALL EQUIPMENT NECESSARY (CONDUIT, CONDUCTORS, BOXES, ETC.) TO CONNECT ALL ALARMS. CONTRACTOR SHALL INTERCONNECT ALL ALARMS TOGETHER INSIDE EACH UNIT.

## LIGHTING FIXTURE SCHEDULE

SYM	CATALOG NUMBER	NO.	WATTS*	TYPE	MOUNTING	DESCRIPTION	
A	OSTWIN	OW-LDL08R-4D1030W	1	10	LED	SURFACE	4" ROUND DOWNLIGHT WITH JUNCTION BOX 3000K, 90 CRI, 750 LUMENS
B	PRONANCE HOME	80036 FINISH: ESPRESSO BLADE FINISH; DARK CHESTNUT	2	6.5	LED	DOWNWOOD OR FLUSH	INTERIOR CEILING FAN 600 LUMENS, 3000K
C	SIGNIFY	LINCOS110EEL19930LNV W/ACDIM	1	2.5	LED	SURFACE	UNDERCABINET LIGHTING 3000K, 391 LUMENS, 90CRI
D	OSTWIN	OW-LFV23-24D2530-HK	1	25	LED	SURFACE	24" VANTY LIGHT 1750 LUMENS, 3000K, 80 CRI
E	CONTECH LIGHTING	R2RM140K4MVIS-CPTRIM: ST232ZL-???	1	10	LED	RECESSED	EXTERIOR DOWNLIGHT WITH BLACK TRIM 1100 LUMENS, 90 CRI, 4000K
F	OSTWIN	OW-CLMS-23W-14N2030-BZ	1	20	LED	WALL	DECORATIVE SCENCE 1250 LUMENS, 3000K, 80 CRI
G	WILLIAMS	75R-3-140/336-OPTIONS-DRV-LNV	1	26.9	LED	WALL, 84" AFF	3' UTILITY STRIP LIGHT 4000 LUMENS, 80 CRI, 3500K
H	LEVITON	D40-1985D-LED	1	10	LED	SURFACE	LENSED ATTIC LIGHT 600 LUMENS, 3000K.

- THE FINISH OF ALL FIXTURES (NOTED BY "Y" IN THE MODEL NUMBER) SHALL BE VERIFIED WITH AND APPROVED BY THE ARCHITECT.
- REFER TO THE ARCHITECT'S REFLECTED CEILING PLAN FOR THE EXACT LOCATION OF FIXTURES.
- ALL FIXTURES SHALL BE FURNISHED COMPLETE WITH LAMPS AND BALLASTS. UNLESS NOTED OTHERWISE, FLUORESCENT LAMPS SHALL BE 3000K, WITH A MINIMUM CRI OF 82. FLUORESCENT BALLASTS SHALL BE GENERIC ELECTRONIC WITH A MAXIMUM THD OF 10%, THD OF 10%.
- ALL FIXTURES IN KITCHEN OR FOOD PREP AREAS SHALL BE LENSED OR HAVE SHATTER PROOF LAMPS.
- PROVIDE TENMAT FIRE RATED COVERS FOR ALL RECESSED FIXTURES IN FIRE RATED CEILINGS.
- INSTALL FIXTURE F ON GARAGE COLLECTION SIDE OF BUILDINGS.
- REFER TO ARCHITECTURAL FOR MOUNTING HEIGHTS FOR FIXTURES HV, HC, HR, H4, HT.

PANEL: A		VOLTAGE: 120/240				PHASE: 1		WIRE: 3		BUS: CU		HVAC LOAD			
BUS RATING: 125 AMP		MAIN: NO-MLO				ENCLOSURE: NEMA 1		WIRE: 3		BUS: CU		HVAC LOAD			
LUIS/PHASE: #1		ENTRY: BOTTOM				AIC: 10,000		ENCLOSURE: RECESSED							
#	AMP	POLE	DESCRIPTION	LOAD	A	B	LOAD	DESCRIPTION	POLE	AMP	#	INDOOR UNIT WATTS	WATTS		
1	20AG	1	KITCHEN RECEPT.	720.0	4,720.0	-	-	RANGE	2	50	2	576.0	576.0		
3	20AG	1	KITCHEN RECEPT.	540.0	-	-	4,540.0	4,540.0	1	1	4	7,800.0	7,800.0		
5	20AG	1	REFRIGERATOR	800.0	3,300.0	-	-	2,500.0	2	30	6	3,456.0	3,456.0		
7	20AG	1	DISHWASHER	1,200.0	-	-	-	3,700.0	2,500.0	1	1	8	1,000.0	1,000.0	
9	20AG	1	SPARE	0.0	2,250.0	-	-	2,250.0	1	1	4	8,000.0	8,000.0		
11	20AG	1	HOODMICHOWAVE	1,200.0	-	-	-	3,450.0	2,500.0	2	30	12	1,300.0	1,300.0	
13	20AF	1	LIVINGKIT LIGHTS	250.0	2,850.0	-	-	2,600.0	1	1	16	1,000.0	1,000.0		
15	20AF	1	BED LTRISM DETEFP	300.0	-	-	-	2,900.0	2,900.0	1	1	16	1,300.0	1,300.0	
17	20AF	1	BED RECEPTACLES	900.0	2,800.0	-	-	1,900.0	1	20	18	1,000.0	1,000.0		
19	20AF	1	LIVING RECEPTACLES	1,080.0	-	-	-	2,880.0	1,800.0	1	1	8	1,000.0	1,000.0	
21	20	1	BATH RECEPTACLES	180.0	1,380.0	-	-	1,200.0	1	20	22	4,500.0	4,500.0		
23	20AF	1	BED RECEPTACLES	900.0	-	-	-	900.0	0.0	SPARE	1	20	24	4,500.0	4,500.0
25	20	1	BATH RECEPTACLES	360.0	360.0	-	-	0.0	0.0	SPARE	1	20	26	4,500.0	4,500.0
27	20	1	BATH RECEPTACLES	360.0	-	-	-	360.0	0.0	SPARE	1	20	28	4,500.0	4,500.0
29	20AF	1	BED RECEPTACLES	900.0	900.0	-	-	0.0	0.0	SPARE	1	20	30	4,500.0	4,500.0
AF-AFCI TYPE: AG-AFCI/G COMB TYPE	LOCK-ON	DEVICE-15	TOTAL	18,560.0	-	-	-	18,880.0	0.0	VA	3	23,136.0	23,136.0		
			TOTAL CONNECTED					37,390.0	0.0	VA		56,440.0	56,440.0		



- ### ELECTRICAL RISER DIAGRAM NOTES
- THIS SERVICE HAS BEEN DESIGNED FOR 120/240 VOLT, SINGLE PHASE, THREE WIRE.
  - CONTRACTOR SHALL PROVIDE GROUNDING ELECTRODE SYSTEMS AND CONDUCTORS PER NEC 250.50 AT A MINIMUM AND ADDITIONAL REQUIREMENTS AS SHOWN ON THE RISER DIAGRAM.
  - CONTRACTOR SHALL PROVIDE GROUNDING ELECTRODE CONDUCTORS TO ALL METALLIC PIPING SYSTEMS AND BOND AS PER NEC 250.52 (A)(1).
  - CONTRACTOR SHALL PROVIDE GROUNDING ELECTRODE CONDUCTOR TO METAL BUILDING FRAME AND BOND PER NEC 250.52 (A)(2).
  - CONTRACTOR SHALL PROVIDE CONCRETE ENCASED ELECTRODE IN BUILDING FOUNDATION AND BOND PER NEC 250.52 (A)(3).
  - CONTRACTOR SHALL PROVIDE GROUNDING ELECTRODE RODS (3" BY 18" COPPER) AND BOND PER NEC 250.52 (A)(5).
  - ALL UNDERGROUND AND ENCASED CONNECTIONS SHALL BE EXOTHERMIC. EXPOSED CONNECTIONS MAY BE COMPRESSION TYPE.
  - ALL COMPONENTS SHALL BE COPPER UNLESS NOTED OTHERWISE.

PANEL: B		VOLTAGE: 120/240				PHASE: 1		WIRE: 3		BUS: CU		HVAC LOAD		
BUS RATING: 125 AMP		MAIN: NO-MLO				ENCLOSURE: NEMA 1		WIRE: 3		BUS: CU		HVAC LOAD		
LUIS/PHASE: #1		ENTRY: BOTTOM				AIC: 10,000		ENCLOSURE: RECESSED						
#	AMP	POLE	DESCRIPTION	LOAD	A	B	LOAD	DESCRIPTION	POLE	AMP	#	INDOOR UNIT WATTS	WATTS	
1	20AG	1	KITCHEN RECEPT.	540.0	4,540.0	-	-	4,000.0	RANGE	2	50	2	576.0	576.0
3	20AG	1	REFRIGERATOR	800.0	3,300.0	-	-	2,500.0	DRYER	2	30	6	3,456.0	3,456.0
5	20AG	1	DISHWASHER	1,200.0	-	-	-	3,700.0	2,500.0	1	1	8	1,000.0	1,000.0
9	20AG	1	SPARE	0.0	2,250.0	-	-	2,250.0	1	1	4	8,000.0	8,000.0	
11	20AG	1	HOODMICHOWAVE	1,200.0	-	-	-	3,450.0	2,500.0	2	30	12	1,300.0	1,300.0
13	20AF	1	LIVINGKIT LIGHTS	250.0	4,100.0	-	-	3,850.0	1	1	12	1,000.0	1,000.0	
15	20AF	1	BED LTRISM DETEFP	300.0	-	-	-	4,200.0	3,900.0	1	1	16	1,300.0	1,300.0
17	20AF	1	BED RECEPTACLES	720.0	2,520.0	-	-	1,800.0	1,800.0	2	30	18	1,000.0	1,000.0
19	20AF	1	LIVING RECEPTACLES	1,080.0	-	-	-	2,880.0	1,8					

Consultants:

CIVIL ENGINEER:  
**SITE ENGINEERING CONSULTANTS, INC.**  
850 MIDDLE TN BLVD.  
MURFREESBORO, TN 37129  
1.615.890.7901

LANDSCAPE ARCHITECT:  
**RAGAN SMITH**

1500 MEDICAL CENTER PKWY., STE 2J  
MURFREESBORO, TN 37129  
1.615.546.6500

STRUCTURAL ENGINEER:  
**HAINES STRUCTURAL GROUP**

800 SOUTH GAY ST., STE 1625  
KNOXVILLE, TN 37902  
1.865.329.9920

MECHANICAL/PLUMBING ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

713 SOUTH CENTRAL STREET, STE 101  
KNOXVILLE, TN 37902  
1.865.248.0164

ELECTRICAL ENGINEER:  
**FACILITY SYSTEMS CONSULTANTS, LLC**

713 SOUTH CENTRAL STREET, STE 101  
KNOXVILLE, TN 37902  
1.865.248.0164

Project Information:

**22054**

**MHA - MERCURY HOUSING PHASE I**

415 NORTH MAPLE ST.  
MURFREESBORO, TN 37130



Consultant:



# ISSUED BY: DATE

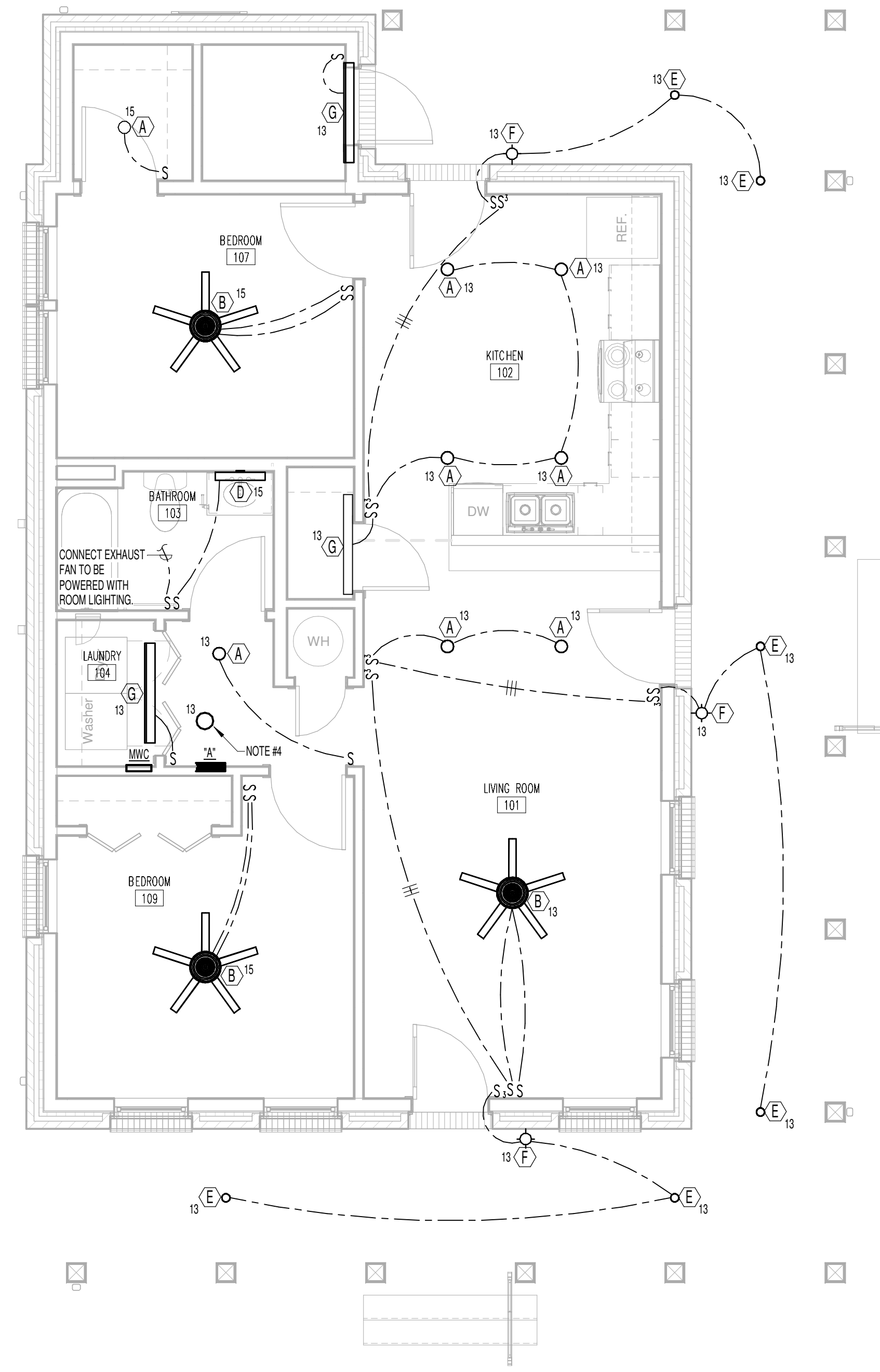
Issue Date: MAY 11, 2023  
PIC: J. HOLIWAY  
PM: W. RÖDER  
PA: ...  
Drawn By: KMP  
Checked By: J. HOLIWAY, L. HEADLA

Sheet Information:

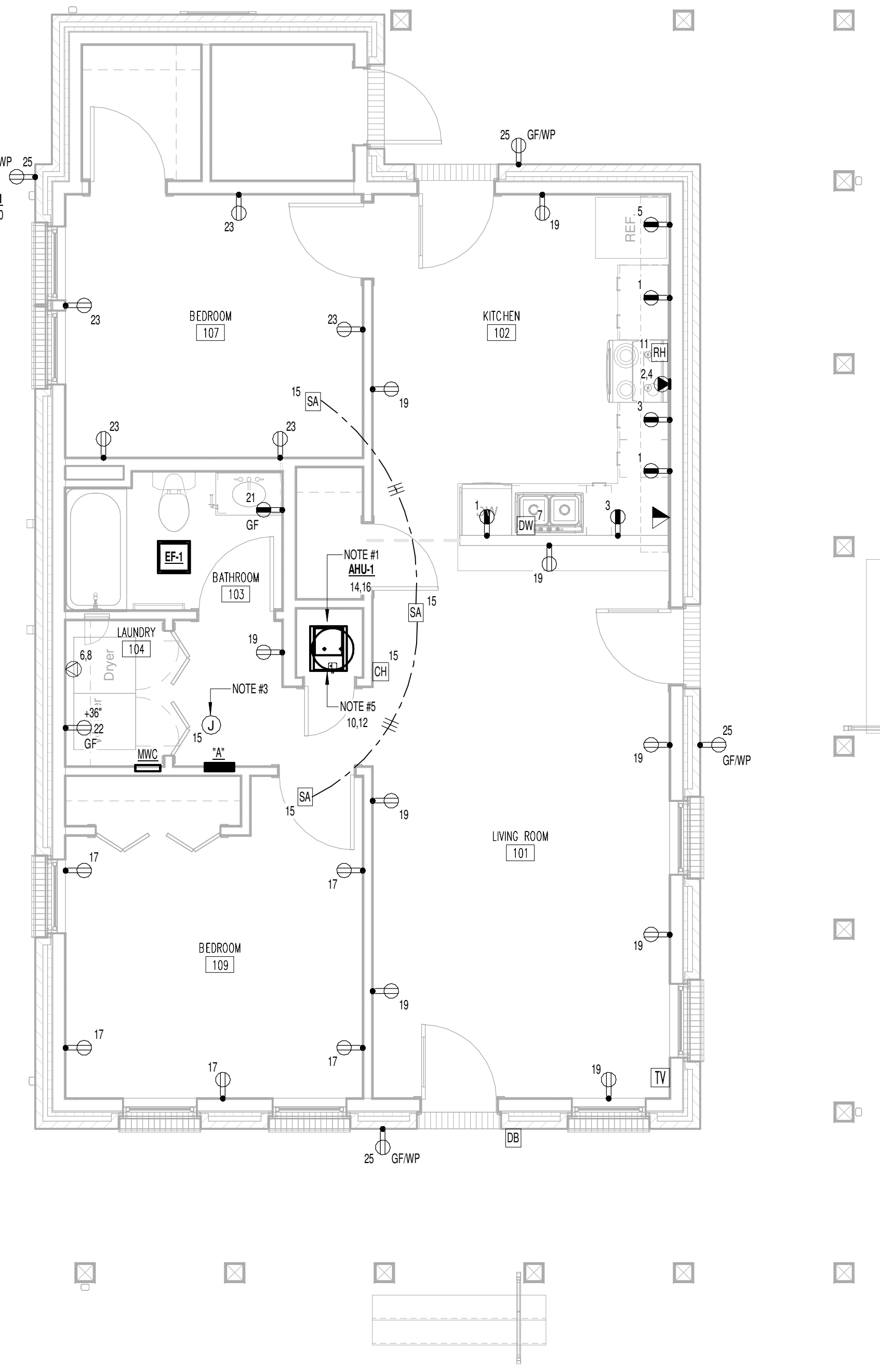
**E-111**

2.1.A - ELECTRICAL PLAN

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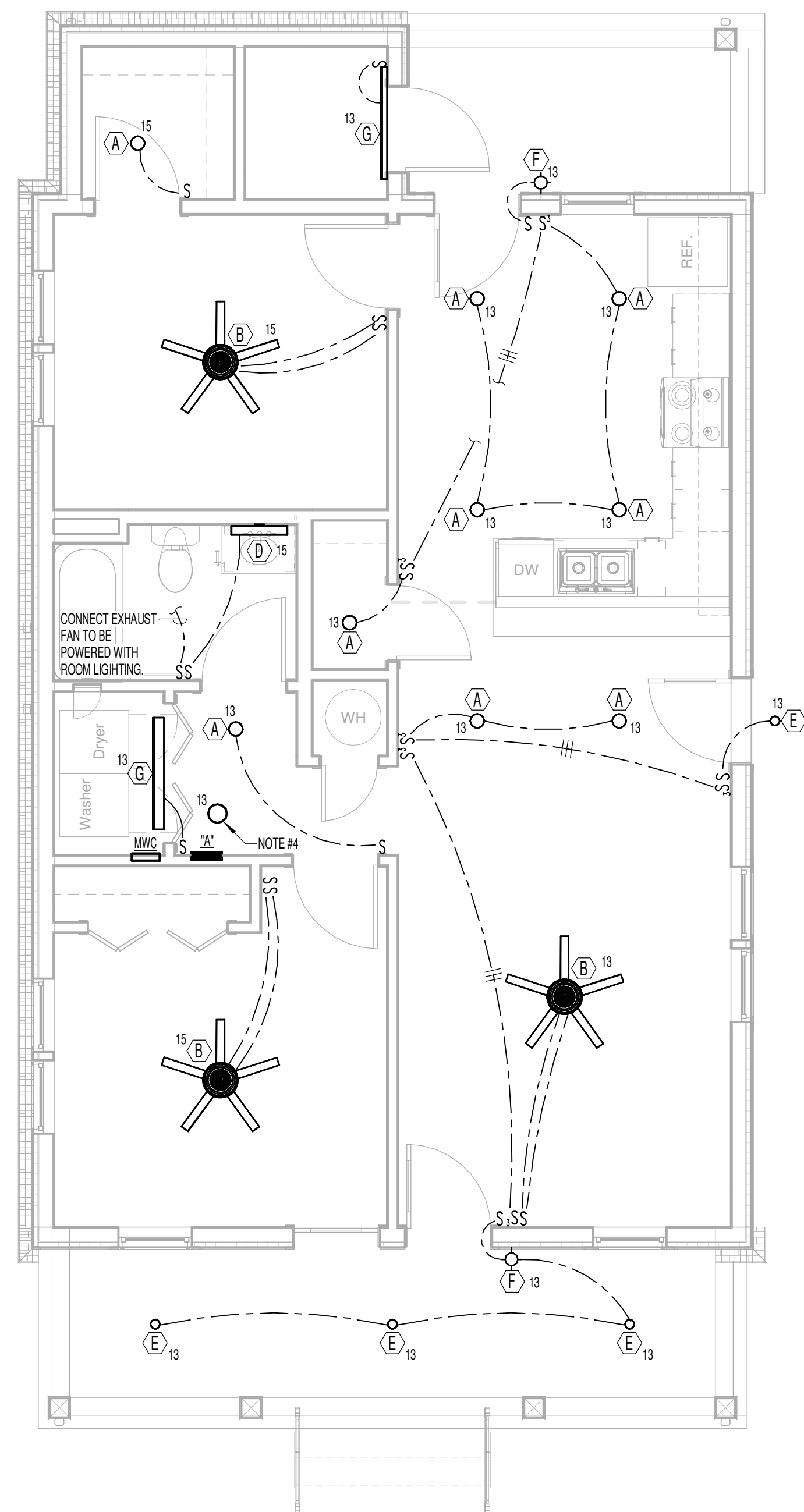
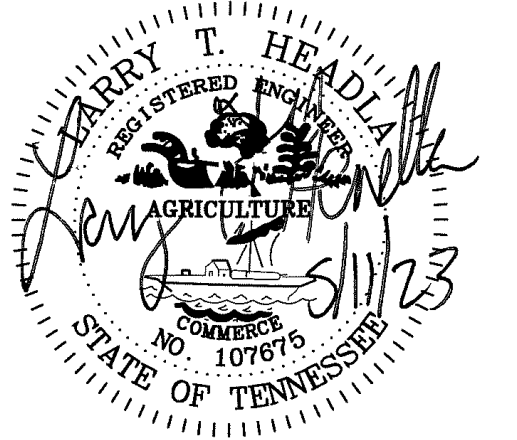


1 2 BED SINGLE - 2.1.A LIGHTING PLAN  
1/4" = 1'-0"

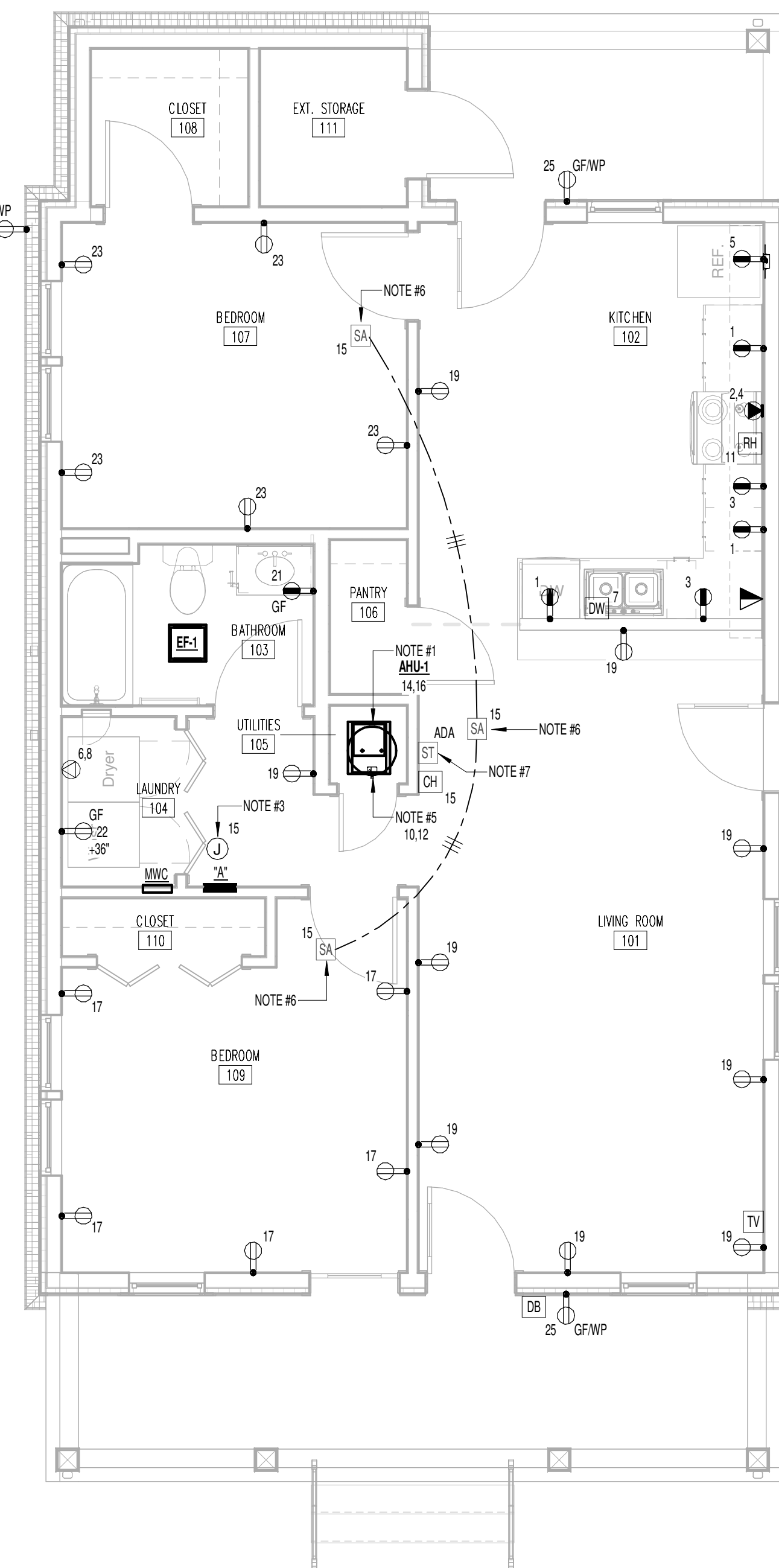


2 2 BED SINGLE - 2.1.A POWER PLAN  
1/4" = 1'-0"

REFERENCE NOTES:  
1. INSTALL FUSED DISCONNECT SWITCH AND CONNECT AIR HANDLING UNIT, 240 VOLTS, 50 AMP. EXTEND #8WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.  
2. INSTALL WATERPROOF DISCONNECT SWITCH AND CONNECT HEAT PUMP, 240 V, 30 AMP. EXTEND #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION.  
3. FOR FUTURE RADON FAN LOCATED IN ATTIC, FIELD VERIFY EXACT LOCATION.  
4. FUTURE TYPE "N" LOCATED IN ATTIC SWITCH TO BE LOCATED AT ATTIC ACCESS DOOR.  
5. INSTALL FUSED DISCONNECT SWITCH AND CONNECT WATER HEATER, 240 VOLT, 30 AMP. #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.



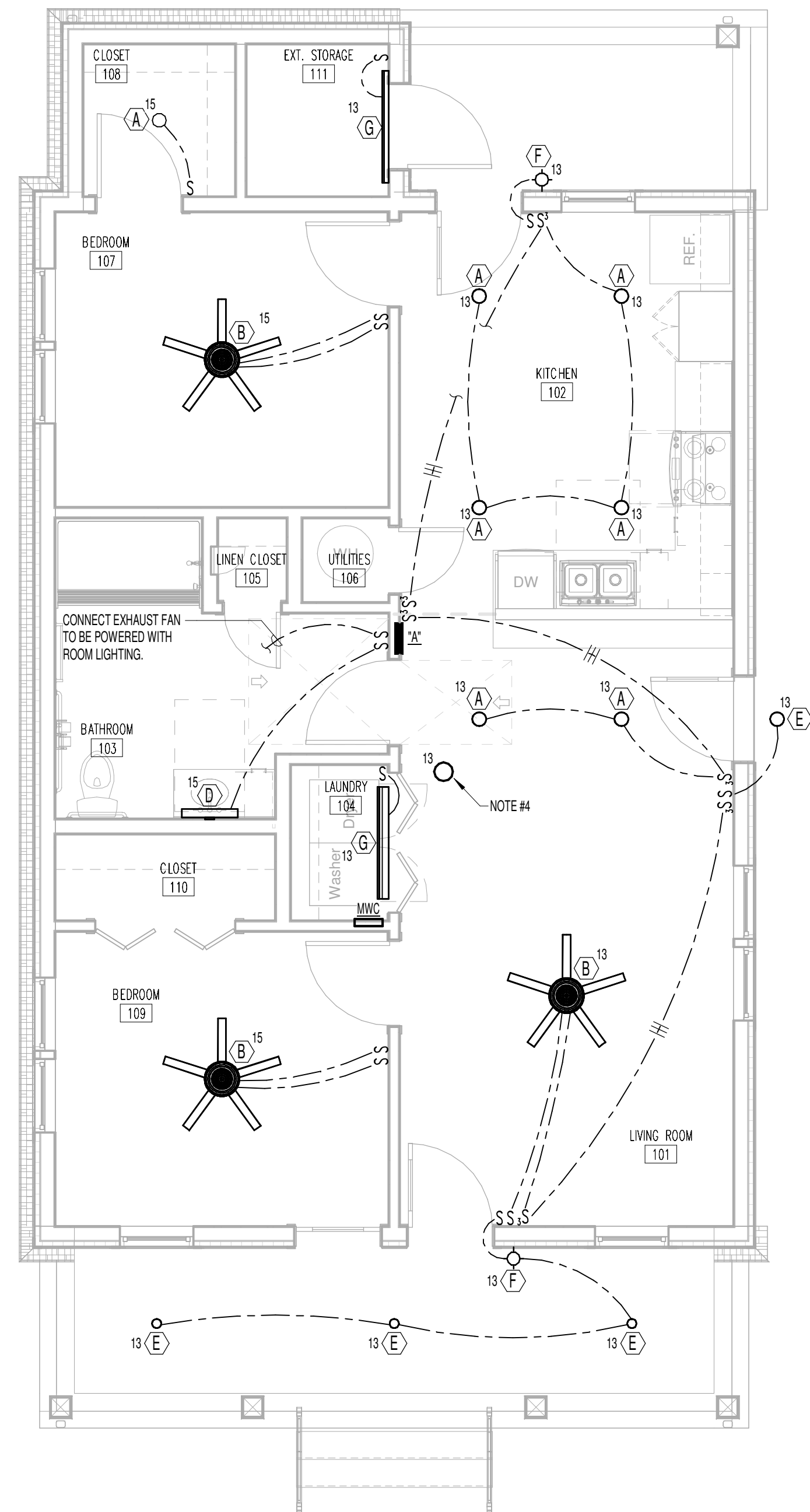
1 2 BED SINGLE - 2.1.B LIGHTING PLAN  
1/4" = 1'-0"



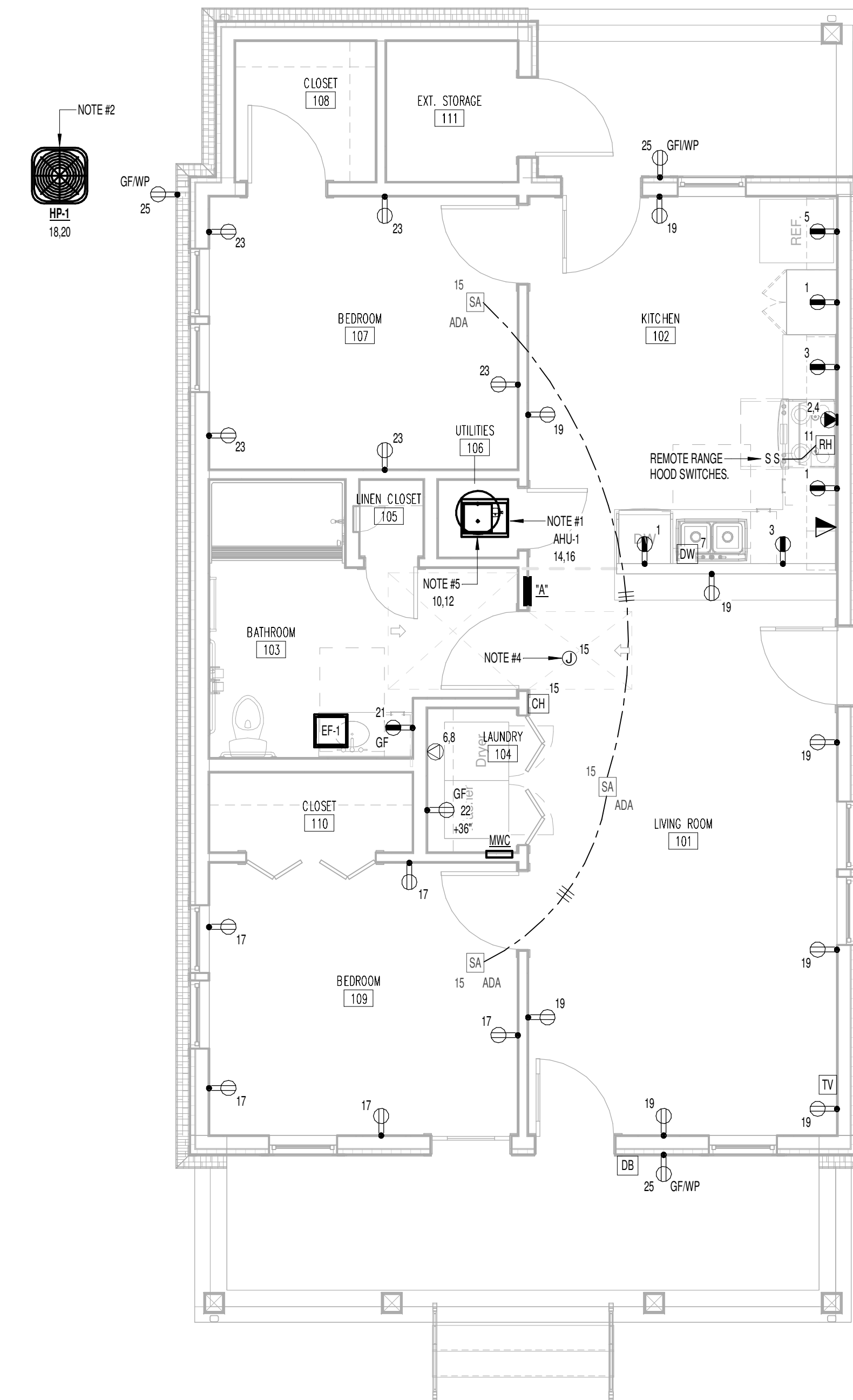
2 2 BED SINGLE - 2.1.B POWER PLAN  
1/4" = 1'-0"

REFERENCE NOTES:

1. INSTALL FUSED DISCONNECT SWITCH AND CONNECT AIR HANDLING UNIT, 240 VOLTS, 50 AMP. EXTEND #8 WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.
2. INSTALL WEATHERPROOF DISCONNECT SWITCH AND CONNECT HEAT PUMP, 240 V, 30 AMP. EXTEND #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION.
3. FOR FUTURE RAINDRAIN FAN LOCATED IN ATTIC, FIELD VERIFY EXACT LOCATION.
4. FIXTURE TYPE "F" LOCATED IN ATTIC. SWITCH TO BE LOCATED AT ATTIC ACCESS DOOR.
5. INSTALL FUSED DISCONNECT SWITCH AND CONNECT WATER HEATER, 240 VOLT, 30 AMP. #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.
6. PROVIDE ADA SINGLE STATION SMOKE DETECTORS IN LIEU OF NON-ADA SINGLE STATION SMOKE DETECTORS IN HEARING/SIGHT IMPAIRED UNITS.
7. PROVIDE STROBE CONNECTED TO DOORBELL/CHIME IN HEARING/SIGHT IMPAIRED UNITS.



1 2 BED SINGLE - 2.1.B - UFAS - LIGHTING PLAN  
1/4" = 1'-0"



2 2 BED SINGLE - 2.1.B - UFAS - POWER PLAN  
1/4" = 1'-0"

REFERENCE NOTES:  
1. INSTALL FUSED DISCONNECT SWITCH AND CONNECT AIR HANDLING UNIT; 240 VOLTS, 50 AMP; EXTEND #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.  
2. INSTALL WEATHERPROOF DISCONNECT SWITCH AND CONNECT HEAT PUMP; 240 V, 30 AMP; EXTEND #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION.  
3. FOR FUTURE RAINFALL LOCATED IN ATTIC; FIELD VERIFY EXACT LOCATION.  
4. FIXTURE TYPE 'YF' LOCATED IN ATTIC; SWITCH TO BE LOCATED AT ATTIC ACCESS DOOR.  
5. INSTALL FUSED DISCONNECT SWITCH AND CONNECT WATER HEATER; 240 VOLT, 30 AMP; #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.



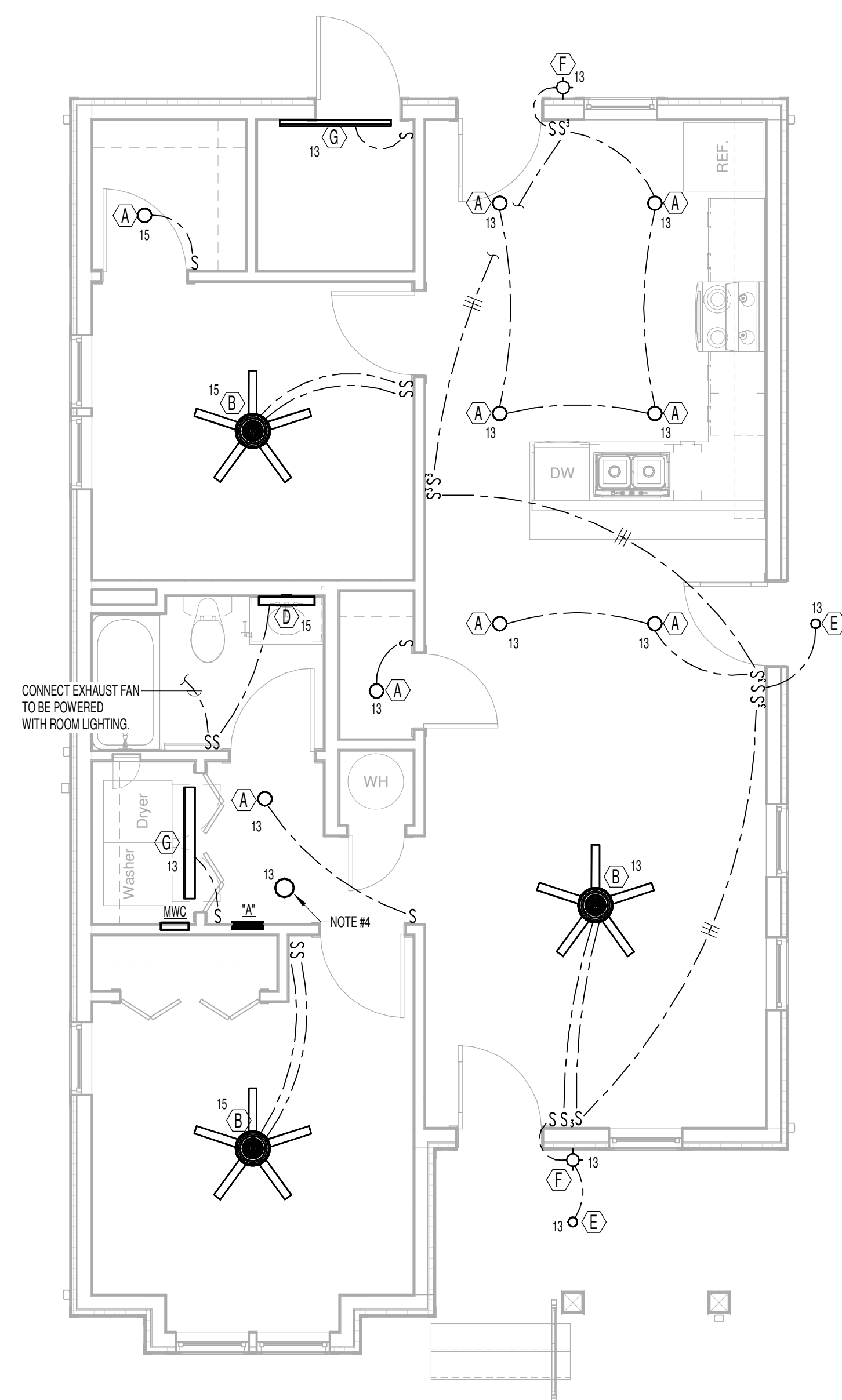
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Issue Date: MAY 11, 2023  
PIC: J. HOLIWAY  
PM: W. RODER  
PA: --  
Drawn By: Author  
Checked By: J. HOLIWAY, L. HEADLA

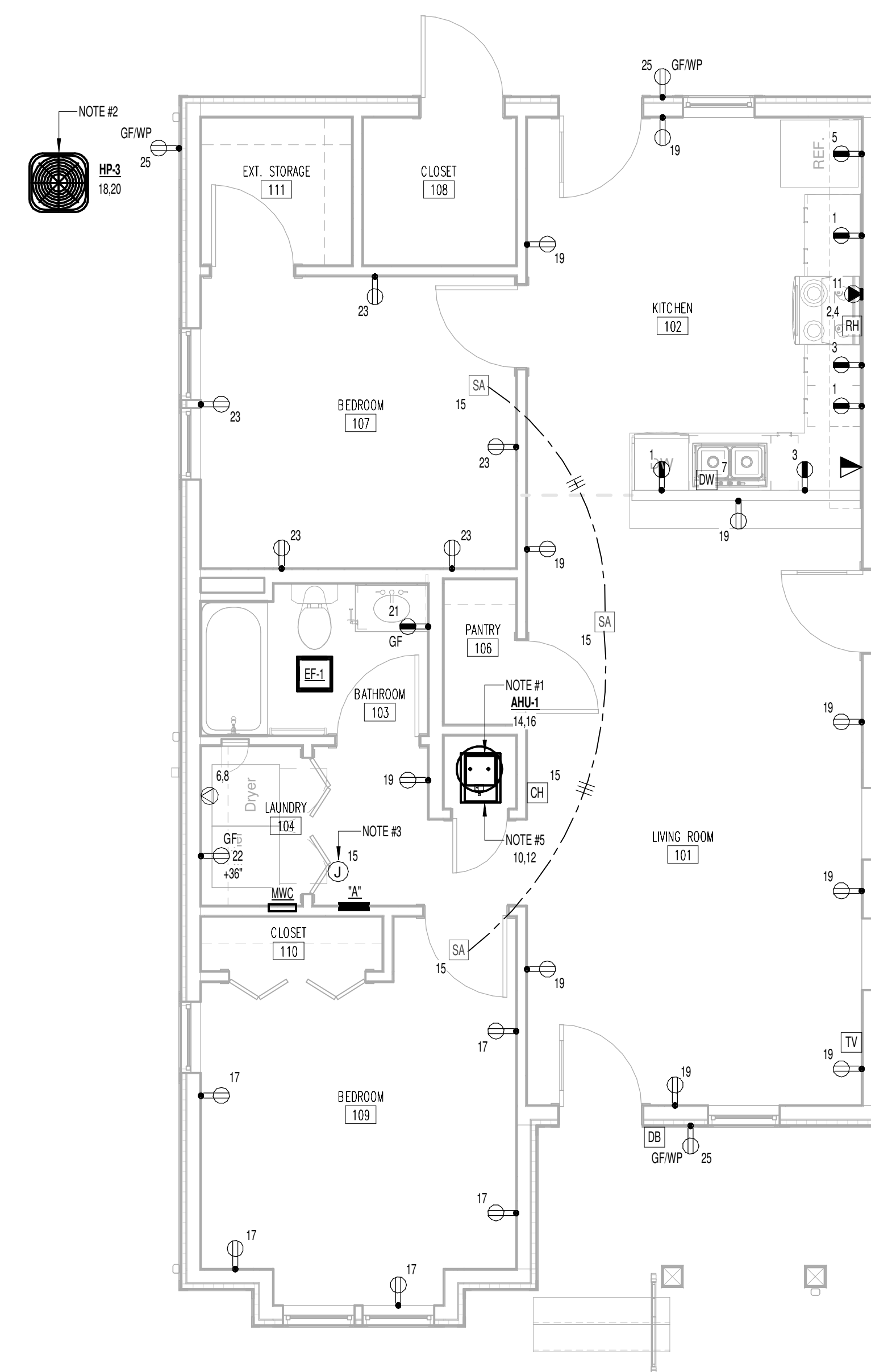
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## E-131

2.1.C - ELECTRICAL PLAN



1 2 BED SINGLE - 2.1.C LIGHTING PLAN  
1/4" = 1'-0"



2 2 BED SINGLE - 2.1.C POWER PLAN  
1/4" = 1'-0"

- REFERENCE NOTES:
1. INSTALL FUSED DISCONNECT SWITCH AND CONNECT AIR HANDLING UNIT, 240 VOLTS, 50 AMP. EXTEND #12WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.
  2. INSTALL WEATHERPROOF DISCONNECT SWITCH AND CONNECT HEAT PUMP, 240 V, 30 AMP. EXTEND #12WG TO PANEL AND CONNECT TO CIRCUIT INDICATED. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION.
  3. FOR FUTURE ROOM FAN LOCATED IN ATTIC, FIELD VERIFY EXACT LOCATION.
  4. FIXTURE TYPE "F" LOCATED IN ATTIC. SWITCH TO BE LOCATED AT ATTIC ACCESS DOOR.
  5. INSTALL FUSED DISCONNECT SWITCH AND CONNECT WATER HEATER, 240 VOLT, 30 AMP. #12WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.



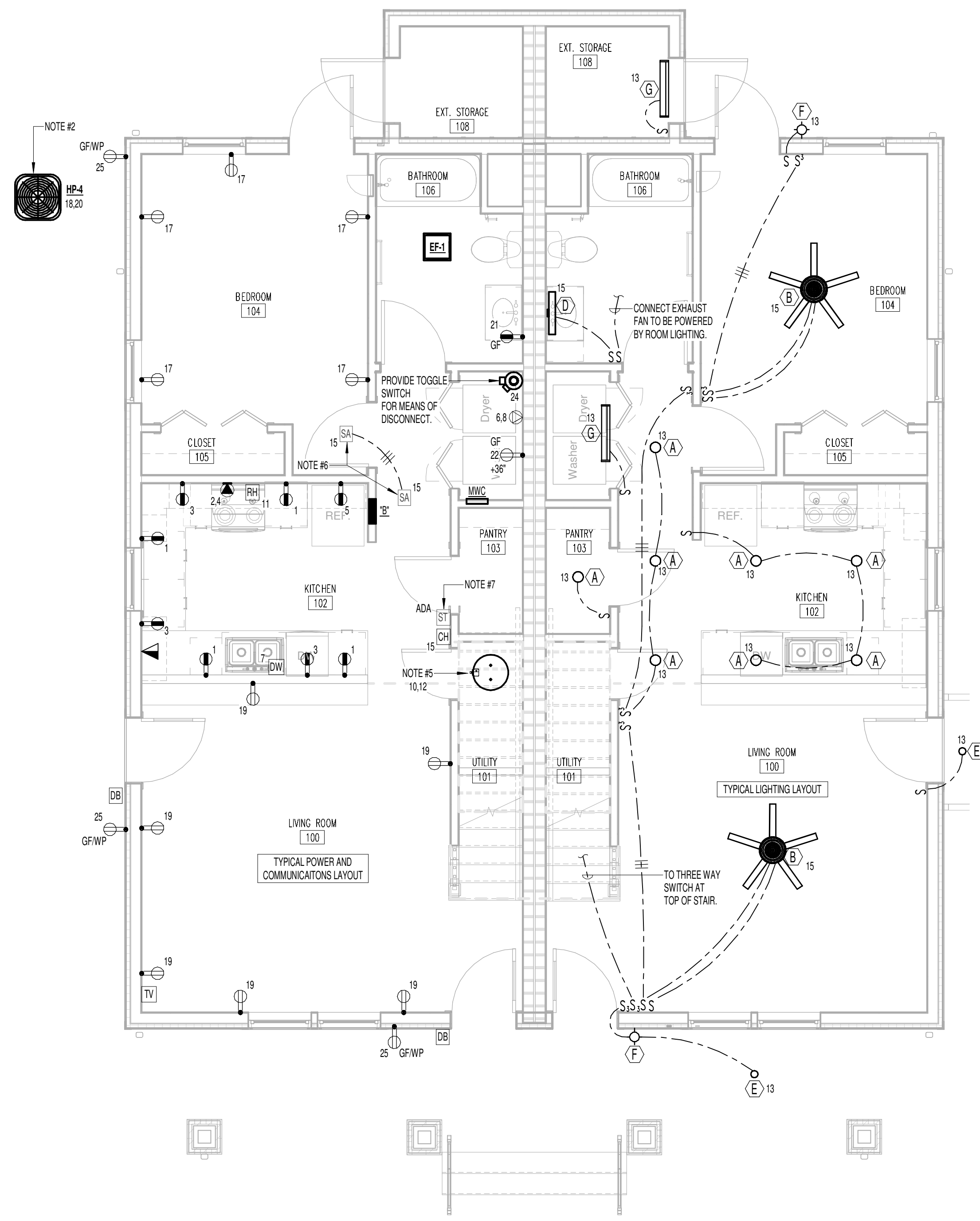
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Issue Date: MAY 11, 2023  
PIC: J. HOLLIWAY  
PM: W. RÖDER  
PA: --  
Drawn By: KMP  
Checked By: J. HOLLIWAY, L. HEADLA

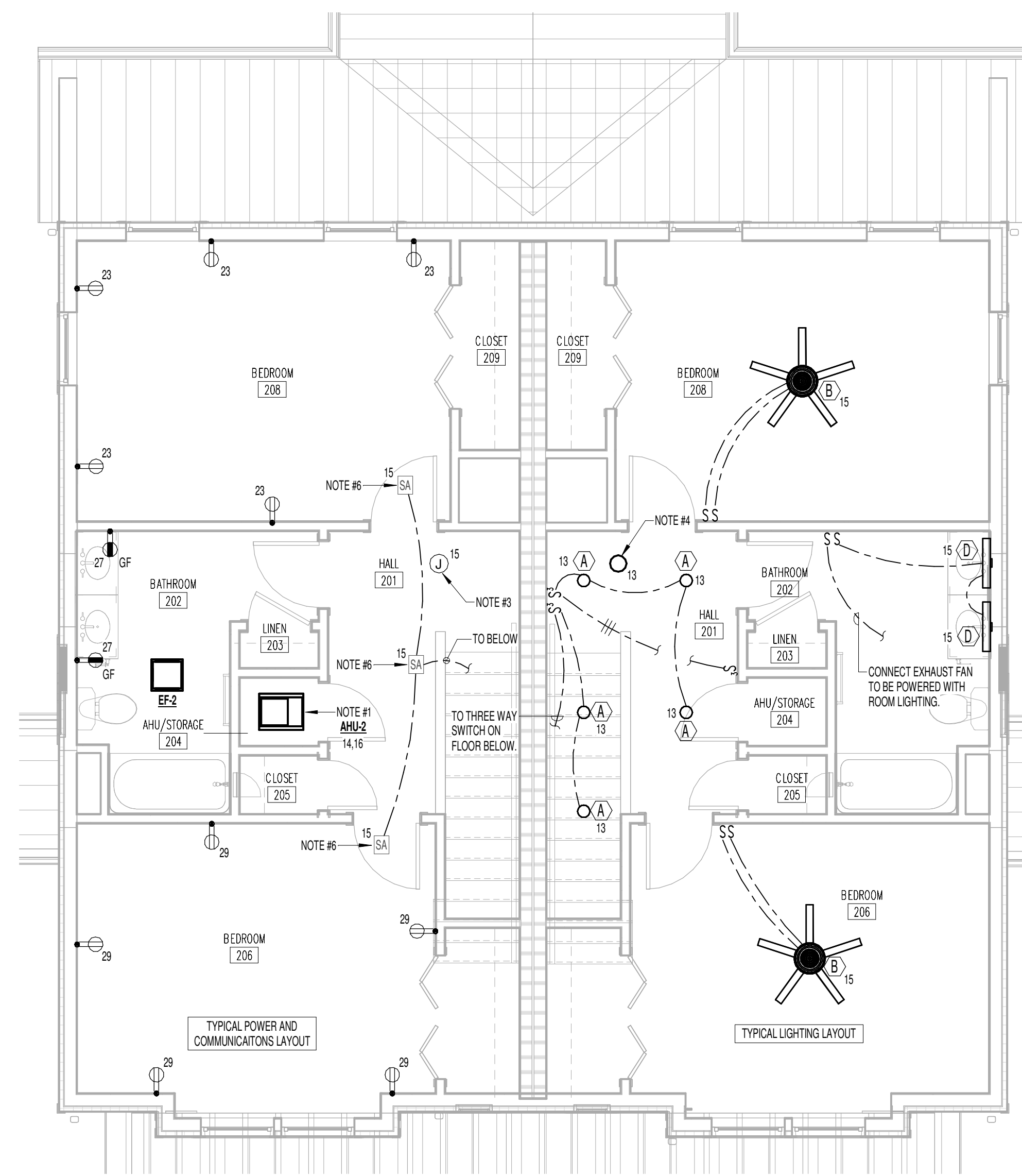
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## E-141

### 3.2.A - ELECTRICAL PLAN



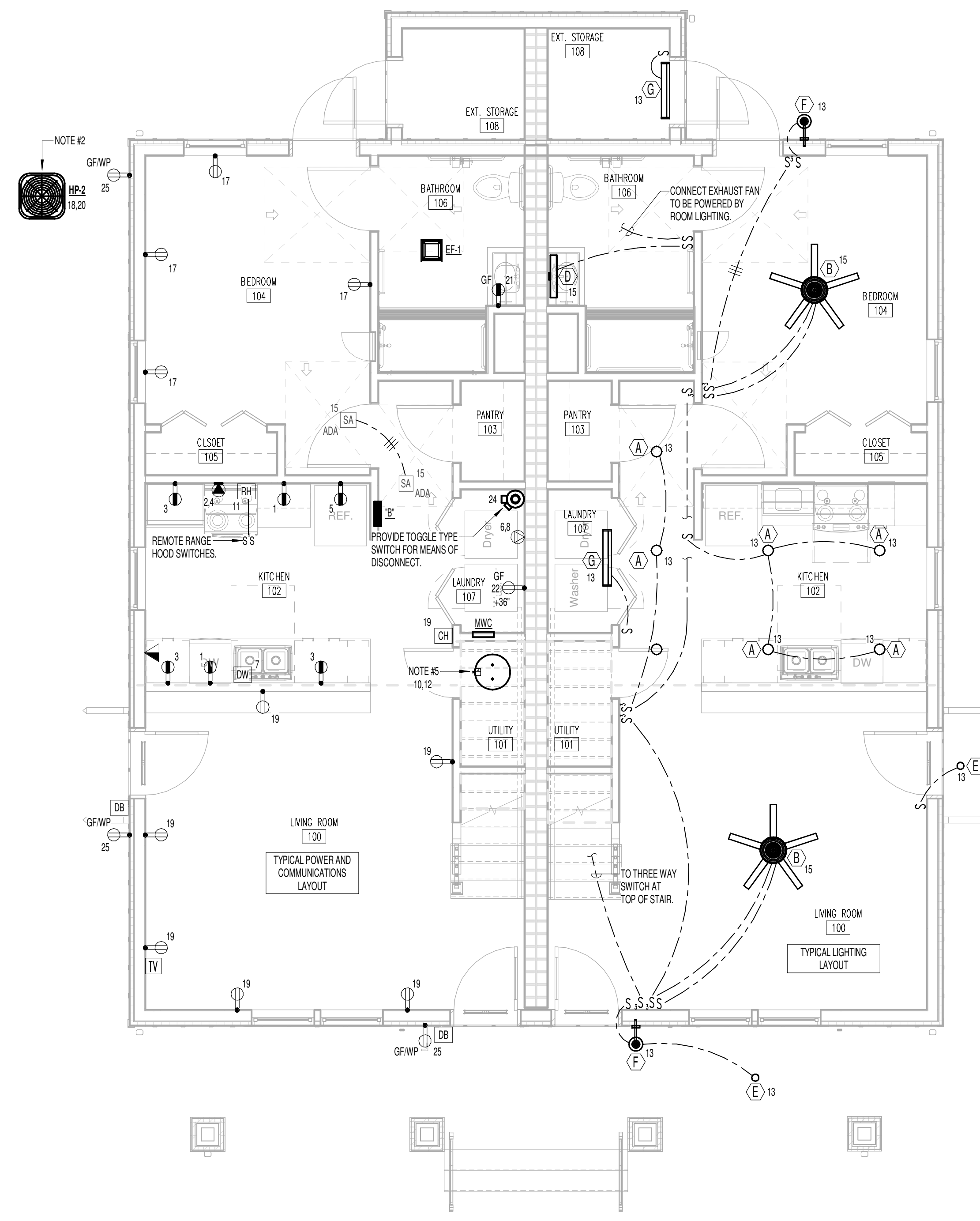
1 3 BED DUPLEX - 3.2.A FIRST FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"



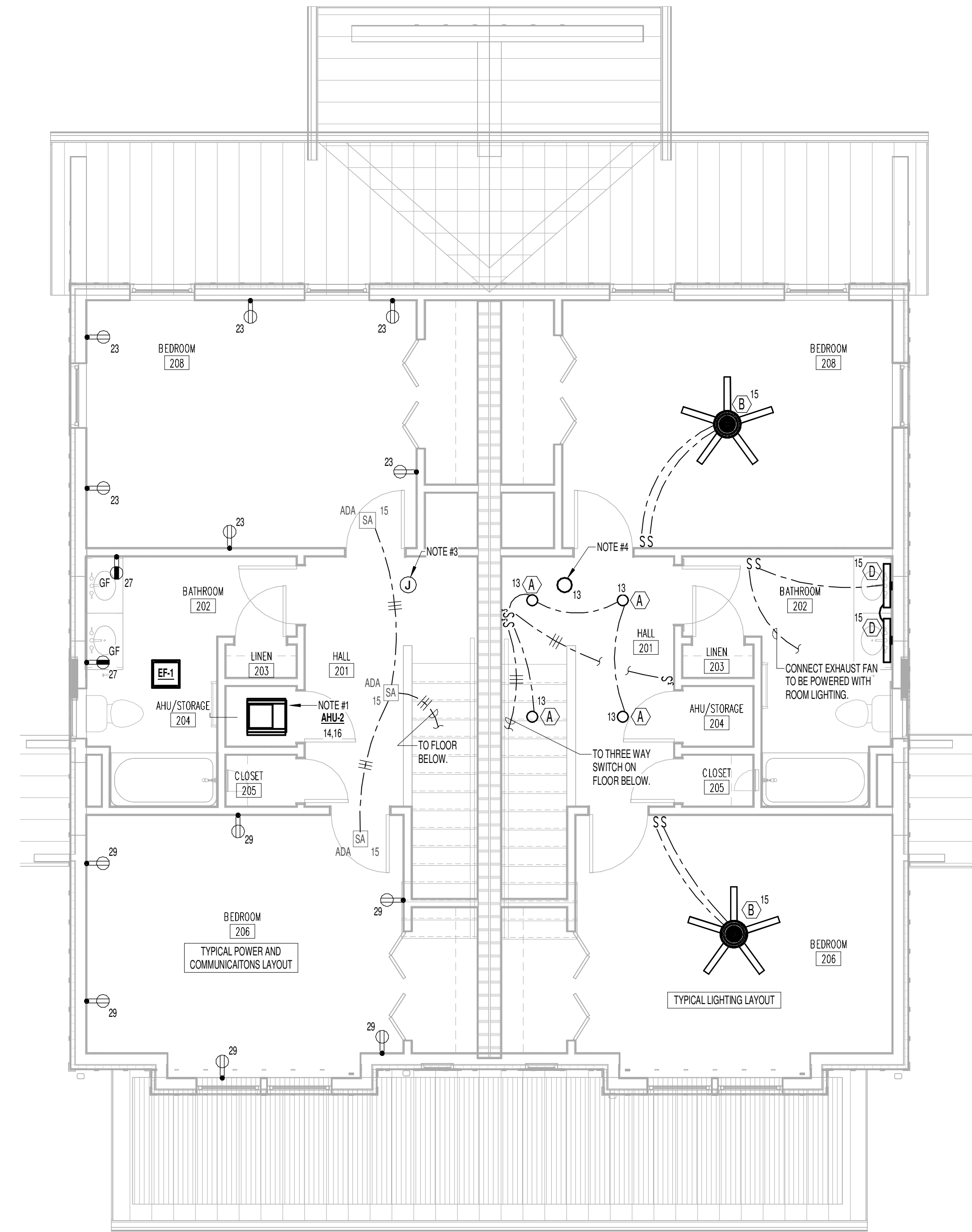
2 3 BED DUPLEX - 3.2.A SECOND FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"

- REFERENCE NOTES:
1. INSTALL FUSED DISCONNECT SWITCH AND CONNECT AIR HANDLING UNIT, 240 VOLTS, 60 AMP. EXTEND #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.
  2. INSTALL WEATHERPROOF DISCONNECT SWITCH AND CONNECT HEAT PUMP, 240 V, 30 AMP. EXTEND #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION.
  3. FOR FUTURE RAJON FAN LOCATED IN ATTIC. FIELD VERIFY EXACT LOCATION.
  4. FUTURE TYPE "H" LOCATED IN ATTIC. SWITCH TO BE LOCATED AT ATTIC ACCESS DOOR.
  5. INSTALL FUSED DISCONNECT SWITCH AND CONNECT WATER HEATER, 240 VOLT, 30 AMP. #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.
  6. PROVIDE ADA SINGLE STATION SMOKE DETECTORS IN L1E1 NON-ADA SINGLE STATION SMOKE DETECTORS IN HEARING/SIGHT IMPAIRED UNITS.
  7. PROVIDE STROBE CONNECTED TO DOORBELL/LHME IN HEARING/SIGHT IMPAIRED UNITS.





① 3 BED DUPLEX - 3.2.A - UFAS - FIRST FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"



② 3 BED DUPLEX - 3.2.A - UFAS - SECOND FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"

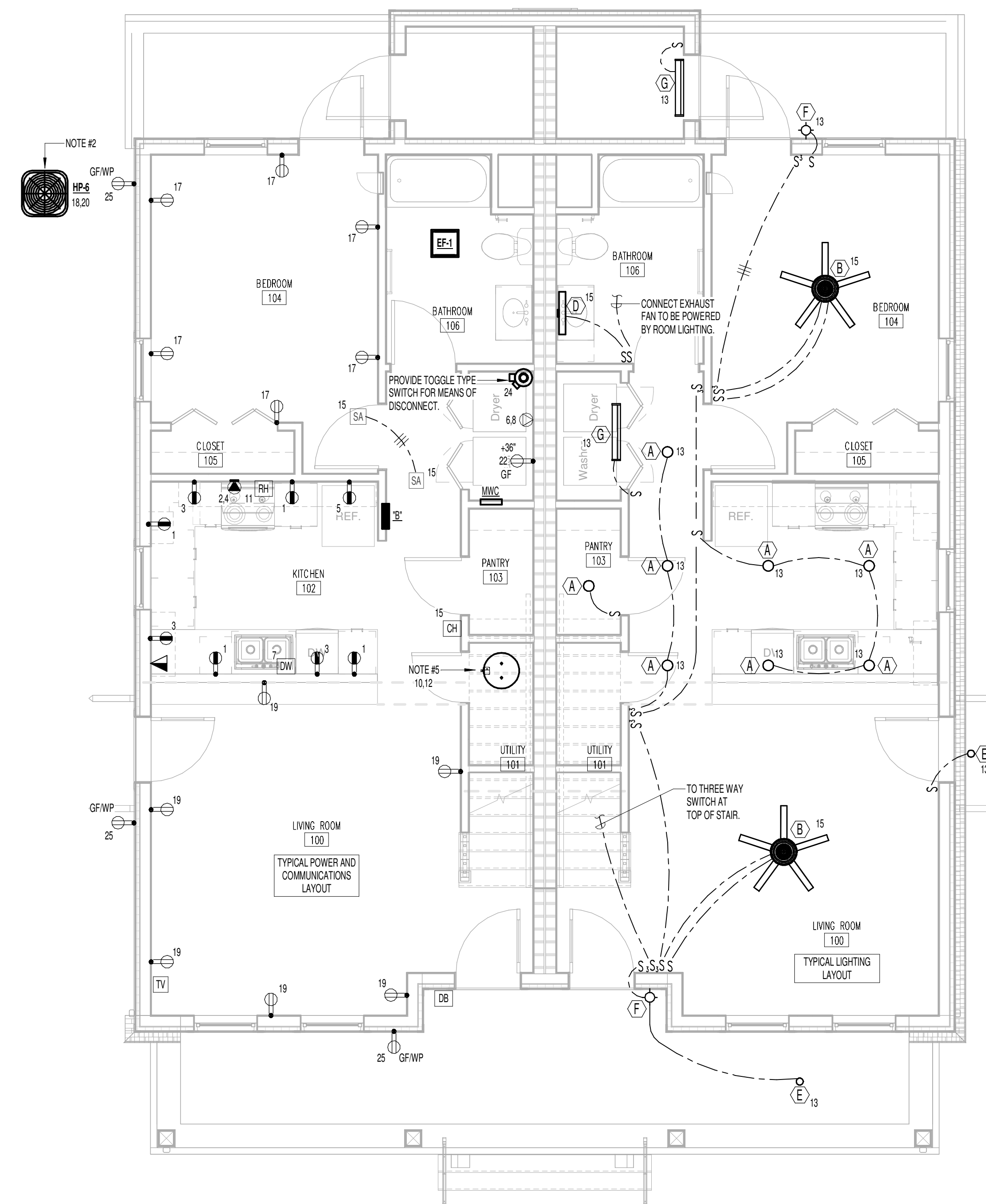
- REFERENCE NOTES:
1. INSTALL FUSED DISCONNECT SWITCH AND CONNECT AIR HANDLING UNIT, 240 VOLTS, 80 AMP. EXTEND #8WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.
  2. INSTALL WEATHERPROOF DISCONNECT SWITCH AND CONNECT HEAT PUMP, 240 V, 30 AMP. EXTEND #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION.
  3. FOR FUTURE ROOM FAN LOCATED IN ATTIC, FIELD VERIFY EXACT LOCATION.
  4. FIXTURE TYPE "F" LOCATED IN ATTIC SWITCH TO BE LOCATED AT ATTIC ACCESS DOOR.
  5. INSTALL FUSED DISCONNECT SWITCH AND CONNECT WATER HEATER, 240 VOLT, 30 AMP. #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.



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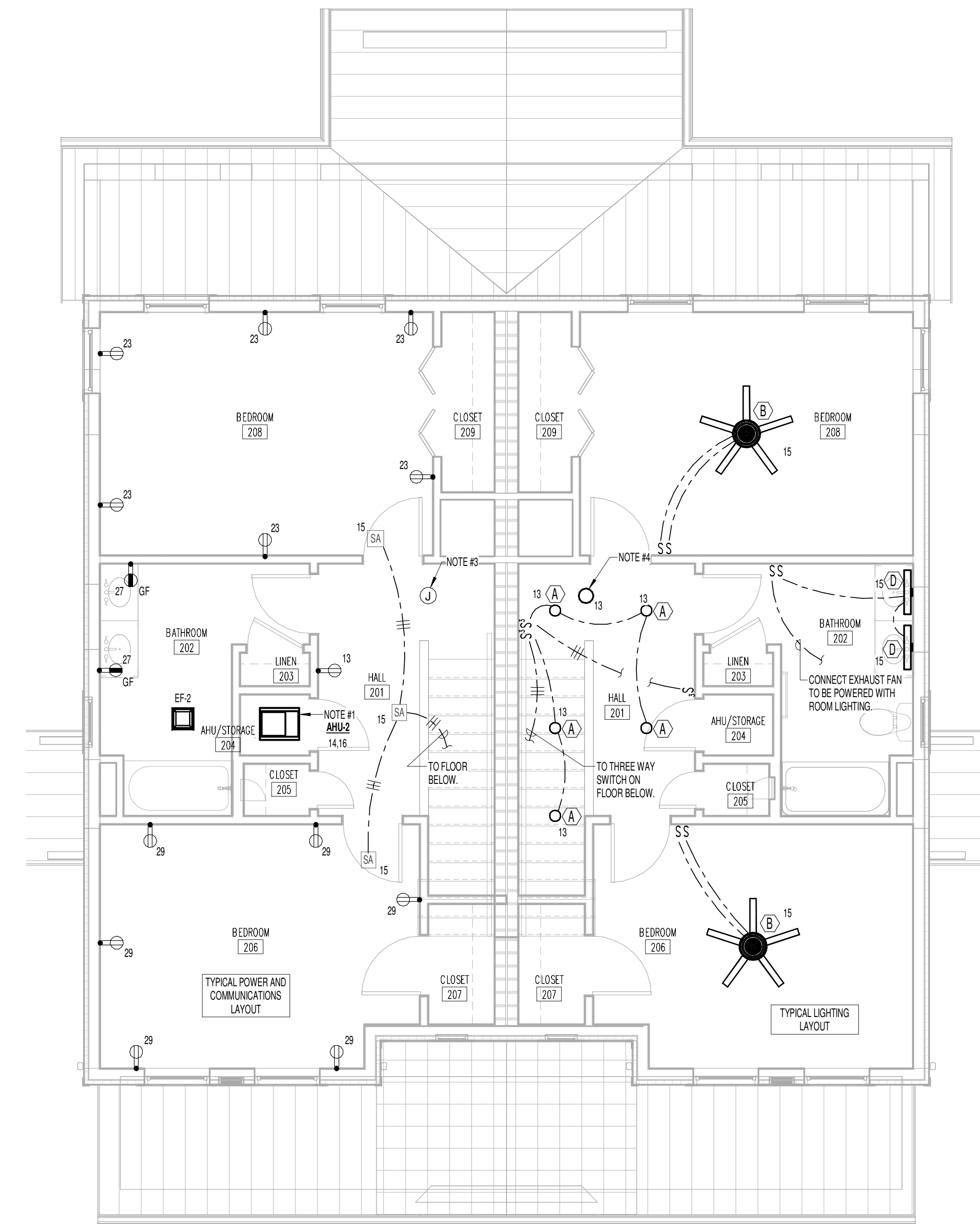
Issue Date: MAY 11, 2023  
PIC: J. HOLIWAY  
PM: W. RODER  
PA: --  
Drawn By: S. HUFFAKER  
Checked By: J. HOLIWAY, L. HEADLA

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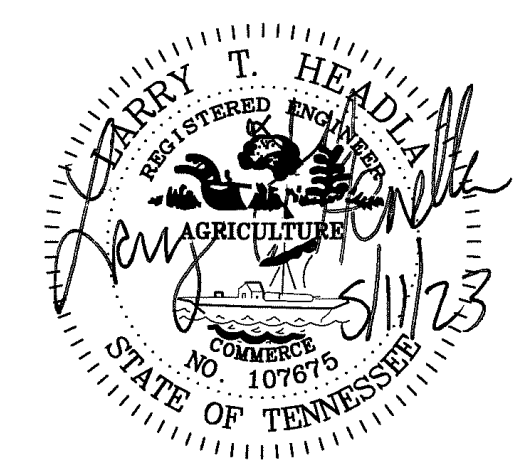


1 3 BED DUPLEX - 3.2.B FIRST FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"

- REFERENCE NOTES:
1. INSTALL FUSED DISCONNECT SWITCH AND CONNECT AIR HANDLING UNIT, 240 VOLTS, 60 AMP. EXTEND #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.
  2. INSTALL WEATHERPROOF DISCONNECT SWITCH AND CONNECT HEAT PUMP, 240 V, 30 AMP. EXTEND #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION. FOR FUTURE RADON FAN LOCATED IN ATTIC, FIELD VERIFY EXACT LOCATION.
  3. FUTURE TYPE "1" LOCATED IN ATTIC. SWITCH TO BE LOCATED AT ATTIC ACCESS DOOR.
  4. FUTURE TYPE "1" LOCATED IN ATTIC. SWITCH TO BE LOCATED AT ATTIC ACCESS DOOR.
  5. INSTALL FUSED DISCONNECT SWITCH AND CONNECT WATER HEATER, 240 VOLT, 30 AMP. #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.



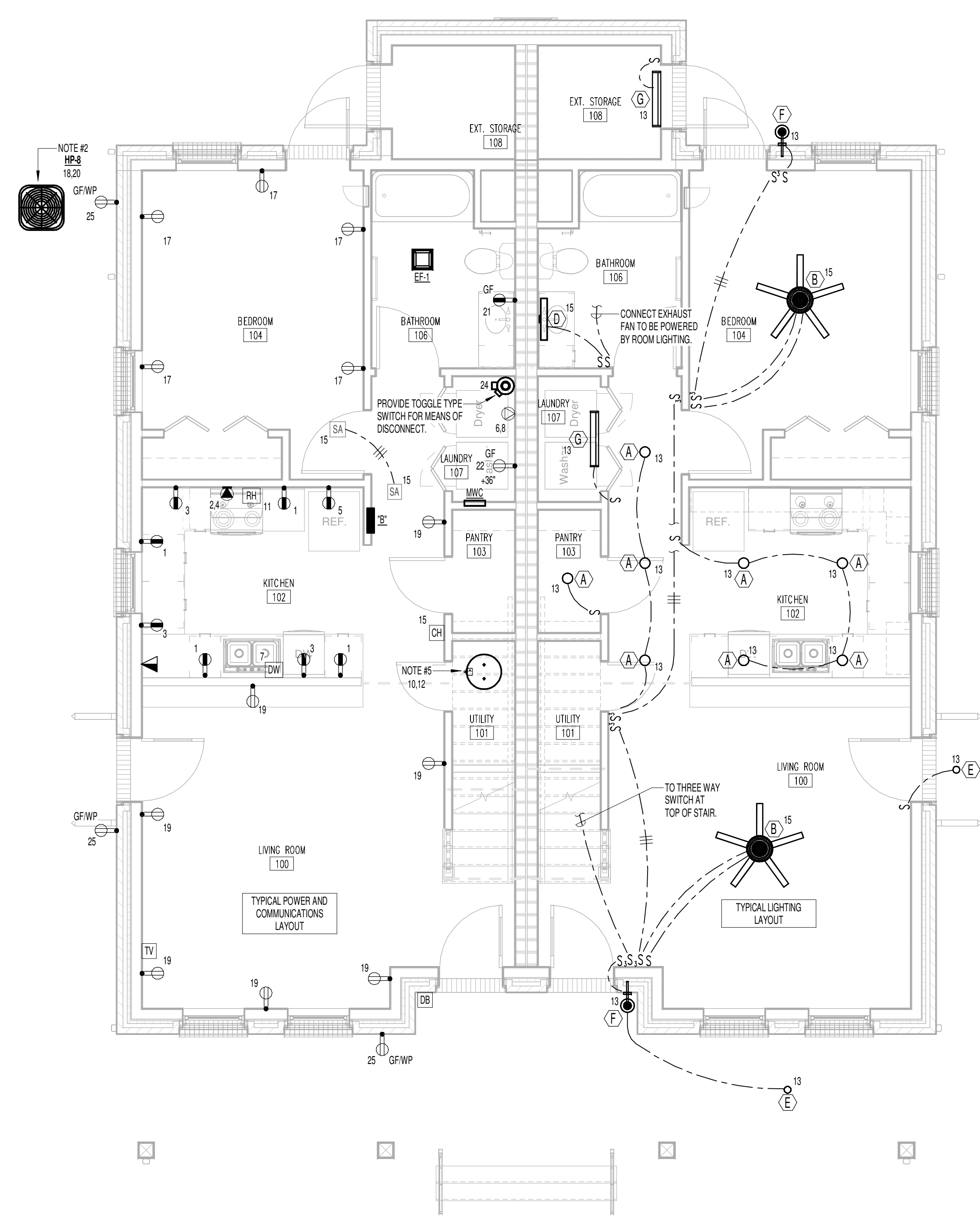
2 3 BED DUPLEX - 3.2.B SECOND FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"



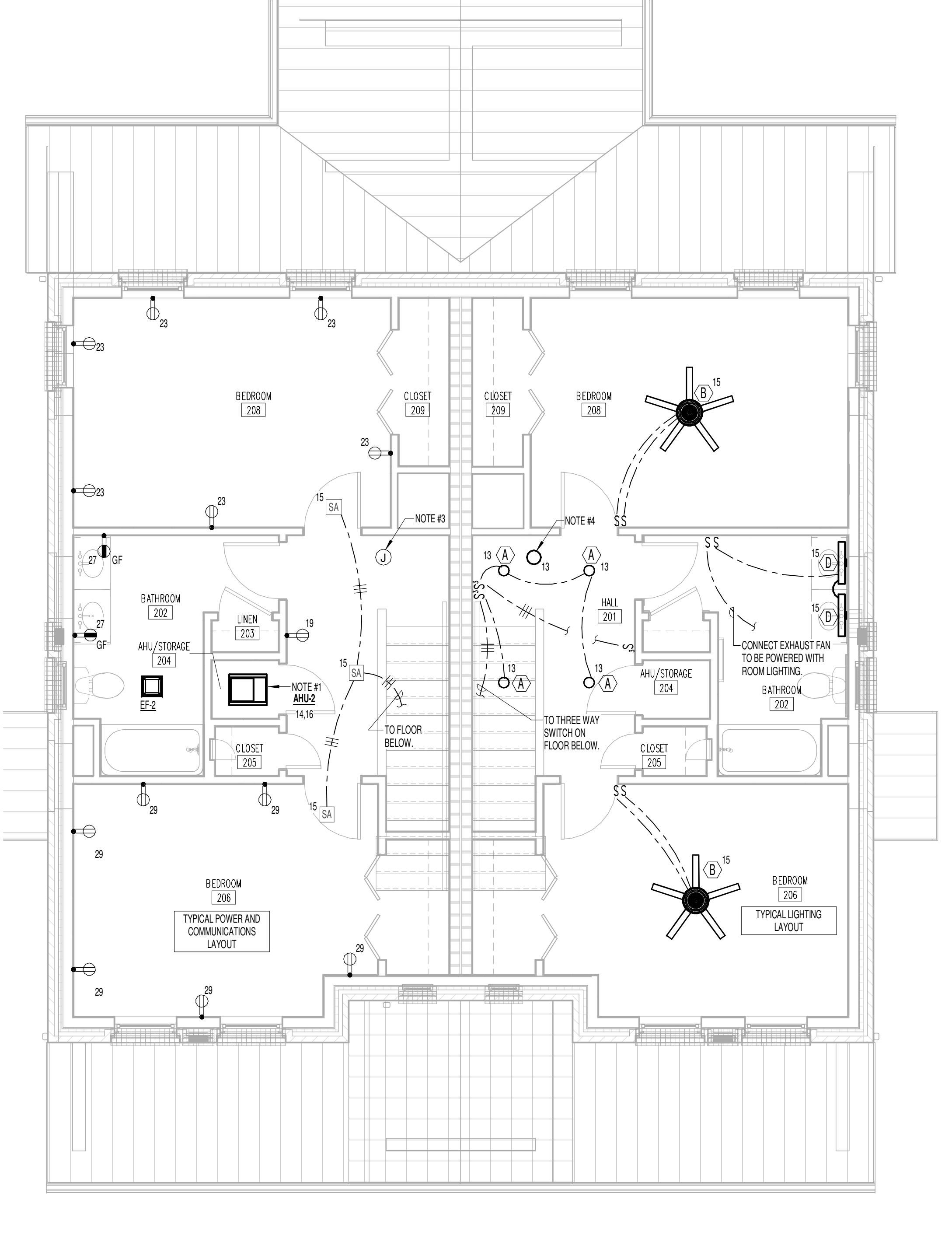
#	ISSUED BY:	DATE

Issue Date:	MAY 11, 2023
PIC:	J. HOLIWAY
PM:	W. RÖDER
PA:	---
Drawn By:	Author
Checked By:	J. HOLIWAY, L. HEADLA

Sheet Information:



① 3 BED DUPLEX - 3.2.C FIRST FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"



② 3 BED DUPLEX - 3.2.C SECOND FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"

- REFERENCE NOTES:**
1. INSTALL FUSED DISCONNECT SWITCH AND CONNECT AIR HANDLING UNIT, 240 VOLTS, 60 AMP. EXTEND #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.
  2. INSTALL WEATHERPROOF DISCONNECT SWITCH AND CONNECT HEAT PUMP, 240 V, 30 AMP. EXTEND #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION.
  3. FOR FUTURE RADON FAN LOCATED IN ATTIC, FIELD VERIFY EXACT LOCATION.
  4. FIXTURE TYPE "H" LOCATED IN ATTIC. SWITCH TO BE LOCATED AT ATTIC ACCESS DOOR.
  5. INSTALL FUSED DISCONNECT SWITCH AND CONNECT WATER HEATER, 240 VOLT, 30 AMP, #10WG TO PANEL AND CONNECT TO CIRCUIT INDICATED.